

February 9, 2026

Mr. Matthew J. Mandia, Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via hardcopy and digital: matt@mtjoytwp.org

**RE: COVER LETTER AND PROJECT NARRATIVE
Preliminary/Final Land Development Plan for MESA Substation
Mount Joy Township - Lancaster County, PA
HEI Job No. 251195-001**

Dear Mr. Mandia:

Municipal Emergency Services Authority of Lancaster County (MESA) is the equitable owner of a 0.645-acre property located East of Harthorne Electric (1892 W Main Street) in the General Commercial (C-2) Zoning District. This lot was identified as Lot #1 on the subdivision plan recorded at J-109-15 in 1978. There is a PP&L Right-of-way through the lot. The existing access drive to Hawthorne Electric will serve as access to the site. An Access Easement is shown on the plan and an agreement will be created.

The applicant proposes to construct a sub-station with associated parking for ambulances and staff to serve the local area.

The proposed development will be served by an on-lot well. Public sewer will serve the property by a proposed force main to connect to public sewer northwest of the property. Capacity and Design Approval letters will be forwarded to the Township upon receipt. Note also that the Hawthorne electric property, which currently has an on-lot septic system, will connect to public sewer as well

Stormwater will be managed with one sub-surface infiltration bed. The limits of earth disturbance do not exceed one (1) acre and a NPDES permit is not required for this project. Erosion and Sedimentation Control Plans have been submitted to the Lancaster County Conservation District.

Modifications of the Mount Joy Township Subdivision and Land Development and Stormwater Management Ordinances are being requested with this application. A separate modification request letter is included with this submission.

Our submission consists of the following:

1. Two (2) copies of the Cover Letter and Project Narrative
2. One (1) copy of the Signed Application Form
3. One (1) copy of the Modification Request Letter
4. Two (2) copies of the PCSM and E&S Report
5. Two (2) copies of the Preliminary/Final Development Plan and E&S Plans
6. Eight (8) copies of the Preliminary/Final Land Development Plan and E&S Plans (11"x17")
7. Two (2) copies of the Vehicle Movement Exhibit
8. SALDO & Waiver Fee of \$1,100 (includes application fee of \$500.00 + (4) \$150 waiver fees = \$600.00)
9. Escrow Fee of \$10,750 (\$10,000 LD Escrow + \$750 Waiver Escrow)

Please note that an electronic copy of this submission package has been submitted directly to the Borough Engineer. Thank you for your assistance with this submittal. Please feel free to contact our office if you should need any additional information or if you should have any questions, comments, or concerns related to this application package.

Sincerely,
HARBOR ENGINEERING, INC.



Steven P. Gergely, RLA

C: Mr. Marc Hershey mhershey@mesalancasterpa.gov (Digital)
Mr. Ben Craddock, PE – Lancaster Civil Eng. Co. – bencraddock@lancastercivil.com
(Digital)

Digital File



MOUNT JOY TOWNSHIP

LANCASTER COUNTY, PENNSYLVANIA

Application for Consideration of a Subdivision and/or Land Development Plan

For Mount Joy Township Use Only:

M.J.T.P.C. File No.:	2026-02- FLDP	Date of Receipt/Filing:	02/10/2026
School District:	Donegal	Mount Joy	

The undersigned hereby applies for approval under Chapter 119, Subdivision and Land Development, of the Code of the Township of Mount Joy for the Plan submitted herewith and described below:

Plan & Project Information

Plan Name:	Preliminary/Final Land Development Plan For MESA Substation		
Plan No.:	251195-001	Plan Date:	02/09/2026
Location:	South side of W Main Street, East of 1892 W Main Street		
Property Owner:	David L. Hawthorne		
Owner Address:	4750 Bossler Road, Elizabethtown, PA, 17022		
Telephone No.:			
E-mail:			
Deed Reference:	6292886	Tax Parcel No.:	461-82955-0-0000
Plan Type:	Sketch	<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> Final
	Lot Line Change	<input type="checkbox"/> Minor Agricultural or Land Development	
Description:	New construction of an ambulance service station with parking and associated stormwater facilities.		
Zoning District:			
Is a zoning change necessary?	No	If yes, please specify:	
Is/was a zoning variance, special exception, or conditional use approval necessary?		If yes, attach ZHB decision.	
Total Acreage:	0.645 Ac		
Name of applicant (if other than owner):	Municipal Emergency Services Authority of Lancaster County c/o Marc Hershey		
Address:			
Telephone No.:	717-361-8220		
E-mail:	mhershey@mesalancasterpa.gov		
Firm which prepared plan:	Harbor Engineering, Inc		
Address:	41 South Main Street, Manheim, PA		
Phone No.:	717-665-9000		
Person responsible for plan:	Steve Gergely, RLA		
E-mail:	sgergely@harborengineering.com		

◆ SUPERVISORS ◆ PARK & RECREATION BOARD ◆ PLANNING COMMISSION ◆ ZONING HEARING BOARD

8853 ELIZABETHTOWN ROAD, ELIZABETHTOWN, PA 17022
PHONE (717) 367-8917 –FAX (717) 367-9208
www.mtjoytp.org

Proposed Lots and Units

	# of Lots	# of Units		# of Lots	# of Units
Total #	1		Mixed Use		
Agricultural			Single Family Detached		
Commercial			Multifamily (attached-sale)		
Industrial			Multifamily (attached-rental)		
Institutional	1		Other:		
Total Square Feet of Ground Floor Area (building footprint):			4,416 SF		
Total Square Feet of Existing Structures (all floors):			0 SF		
Total Square Feet of Proposed Structures (all floors):			4,416 SF		
Total Square Feet (or Acres) of Proposed Parkland/Other Public Use:			N/A		
Linear feet of new street:			N/A		
Identify all street(s) not proposed for dedication:			N/A		

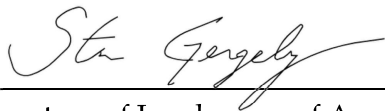
Type of water supply proposed:

	Public (Live)		Community
	Public (Capped)	1	Individual

Type of sanitary sewage disposal proposed:

1	Public (Live)		Community
	Public (Capped)		Individual

The undersigned hereby represents that, to the best of his knowledge and belief, all information listed above is true, correct and complete.



(Agent for Applicant)

Signature of Landowner of Applicant

02/09/2026

Date

March 10, 2026

Board of Supervisors
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via digital submission (matt@mountjoypa.org)

**RE: Modification Request Letter - REVISED
MESA Substation
Mount Joy Township - Lancaster County, PA
HEI Job No. 251195-001**

Dear Supervisors:

On behalf of our client, Municipal Emergency Service Authority of Lancaster County (MESA), we are requesting the following modifications:

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

1. Section 119-25.(A) – Preliminary Plan Application

This section of the Ordinance requires that a Preliminary Plan application be submitted to the Township.

We are requesting a waiver of the requirement to submit a Preliminary Land Development Plan application and instead propose that the plan be processed as a Preliminary/Final Land Development Plan. We request this waiver based upon the following justifications:

1. The plan submission fully addresses the requirements of both a Preliminary Plan and a Final Plan submission.
2. No public streets are proposed for the site.
3. The plans submitted meet the criteria of a Final Land Development Plan in regard to the information shown.

Based on the justifications provided above, we believe that waiving the requirement to submit a Preliminary Subdivision and Land Development Plan is warranted and that the submitted plan is adequate to meet the Township design criteria.

2. 119-52.J.(3)(a), 119-53.B(2), 119-53.C Improvement of Existing Streets, Sidewalks, Curbs

This section of the Ordinance requires that all existing streets at the perimeter of the development be improved according to Township specifications.

We are requesting a deferral of the requirements to improve West Main Street per the ordinance and the Official Township Map which include providing additional right-of-way, sidewalk, and

curbing along the property's frontage. We request this deferment based upon the following justification:

1. There are no sidewalks, curbing, bicycle/pedestrian pathway, or an eastbound/westbound through lane located on adjacent or nearby properties.
2. Improvements along West Main Street would not benefit the applicant or Township. Additionally, West Main Street is a state highway and would require PennDOT Approvals.
3. A deferral will allow the Township to require sidewalks or pathway in the future if a comprehensive pedestrian network is established.

Based on the justification provided above, we believe that deferring the improvements along West Main Street is justified.

3. Section 119-31.C(3) - Existing Features

This section of the ordinance requires that existing features be located upon or within two hundred (200) feet of the tract.

We request a modification of this requirement to provide the existing features within approximately 200 feet of the subject tract. The proposed plan is relatively minor. Additionally, detailed survey data has been provided for existing site features in the area surrounding the tract and surrounding the proposed force sewer main. In our opinion, locating all existing features within 200 feet of the tract would provide no further benefit to the review agency and the detailed survey provided is an acceptable alternative.

Based upon the justifications provided above, we believe that this modification request meets the intention of the ordinance.

4. Section 119-53.C.(2)(a) – Curb Height

This section of the ordinance requires an exposed curb height of 8”.

We request this modification to allow a 6” revealed curb height for around the access drive and along the parking areas based upon the following justifications:

1. The 6” curb height will adequately define the access drive and parking areas as well as direct stormwater runoff.
2. The 6” curb height will function better for parked vehicles for bumper and door opening clearance.
3. The curb will be privately owned and maintained.

We submit that using the 6” curb height is a reasonable adjustment of the ordinance standard.

5. Section 119-56.D – Utility Easement Width

This section of the ordinance requires that utility easements have a minimum width of 30’

We request this modification to allow a reduced easement width for the sanitary sewer forcemain and potential future sewer extension area. As shown on the plan, the easement is shown at 10-ft to the south and east of the proposed building, and 20-ft from the western edge of the building to the proposed connection at the existing manhole. Note that the easement also jogs around existing buildings on the Meadowbrook Realty, LLC property to less than 20-ft in some areas. We request this modification based on the following justifications.

1. The size of the PP&L right of way limits available building area on the site. The proposed building has been placed 10-ft from the southern property line in order to provide an adequate size to serve MESA’s needs. The easement behind and to the east of the building is being established to allow for a future forcemain connection from the property to the east, if that property owner wishes to connect to the public sewer in the future. Because this is the only property to the east that could potentially connect, the lesser width should be adequate to accommodate a line and maintenance.
2. The location of the existing buildings on the Meadowbrook Realty, LLC property do not allow for a full 20-ft width in some areas.
3. The Elizabethtown Regional Sewer Authority (ERSA) requires 20-ft easements. The areas of non-compliance were discussed with ERSA prior to finalizing the design for their concurrence and they agreed that the proposed easement widths will be acceptable given the circumstances.

Based upon the justifications provided, we submit that the reduced easement width is necessary and justified.

6. Section 119-32.B – Wetland Study

This section of the ordinance requires that a wetlands study be completed for all subdivision and land development plans.

We are requesting a waiver of the requirement to not provide a wetland study for this project. Justification for this waiver is as follows:

1. The Hawthorne Electric site is covered with over 85% impervious surfaces including building, pavement, and gravel areas. The vacant site is in a lawn condition with no low-lying areas or wetland vegetation. There are also no watercourses or visible springs on either property.
2. The National Wetlands Inventory Mapper shows no wetlands on or immediately adjacent to the subject property.
3. There are no hydric soils present on either property.

Based upon the justifications provided above, we submit that waiving the requirement to provide a wetland study is justified.

7. Section 119-32.C(6) – Traffic Impact Study Fee in Lieu

This section of the ordinance requires that when a developer believes that a traffic impact study and report are not warranted, they may ask the Planning Commission to waive the preparation of the study and make a contribution of \$1.50 per square foot of usable building floor area in a commercial, industrial, or institutional subdivision and land development.

We are requesting that the Township waive the fee in lieu of providing a traffic study based on the formula described in the Ordinance. The cost of the fee in lieu of providing a traffic study in this case would be \$6,624 (4,416 SF x \$1.50). We request this modification based on the following justifications:

1. The proposed sub-station will generate very little traffic. The sub-station will have 4 – 6 staff in a 24-hour period. The shifts change at 6 AM and 6 PM. Each shift change will have 2 – 3 vehicles entering and leaving during those times. Service calls are unpredictable with respect to time and frequency, but it's anticipated that there will be 4 – 7 ambulance calls in a 24-hour period based on MESA's historical volumes at the current Norlanco location.
2. No new access drives are being proposed as part of this plan.
3. The proposed use is a non-profit municipal service use that will benefit the surrounding area.

Based on the justification outlined above, we submit that waiving the traffic impact fee in lieu is a reasonable request in this instance.

STORMWATER MANAGEMENT ORDINANCE

1. Section 113-37.C.(1).(a)[4] – Minimum Pipe Diameter – Vehicular Loading

This section of the ordinance requires that outside of the public street right-of-way under vehicular loading the minimum pipe diameter shall be 15 inches.

We are requesting a modification to allow for 8" diameter pipes to be used in various locations. The pipes have been designed to convey 100-year peak flows. Due to the limited flows, a larger pipe is unnecessary. The pipes that are subject to vehicular loading will have sufficient cover. The conveyance pipes have been sized and have adequate capacity to convey the design storm event. The conveyance pipes are outside of the Township right-of-way and will be privately owned and maintained.

Based on the justifications provided, we believe that this modification sufficiently meets the intent of the ordinance.

2. Section 113-43.I(5) - Existing Features

This section of the ordinance requires that existing features be located upon or within two hundred (200) feet of the tract.

March 10, 2026
Modification Request Letter
MESA Substation
HEI Project No.: 251195-001
Page 5 of 5

We request a modification of this requirement to provide the existing features within approximately 200 feet of the subject tract. The proposed plan is relatively minor. Additionally, detailed survey data has been provided for existing site features in the area surrounding the tract and surrounding the proposed force sewer main. In our opinion, locating all existing features within 200 feet of the tract would provide no further benefit to the review agency and the detailed survey provided is an acceptable alternative.

Based upon the justifications provided above, we believe that this modification request meets the intention of the ordinance.

Thank you for your consideration of these modification requests. If you should have any questions or require any additional information, please do not hesitate to contact my office.

Sincerely,
HARBOR ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "St. Gergely", written in a cursive style.

Steven P. Gergely, RLA

C: Digital File

WATER AND SEWER FEASIBILITY REPORT
MESA Substation - West Main Street
Mount Joy Township

1892 West Main Street (Hawthorne Electric site) is currently served with a well and on-lot septic. The vacant lot east of 1892 West Main Street is currently not served by any private or public water or sewer facilities. The adjacent properties are served by on-lot water and sewer facilities. Public sewer is available roughly 1,000 feet west of the project site. A force main is proposed to be extended to serve both the MESA site as well as Hawthorne Electric. The nearest public water suppliers are Mount Joy Borough Authority and Elizabethtown Area Water Authority. The nearest Elizabethtown Authority water line is 300' south of the site, but is separated by the Amtrak rail line and right of way. The nearest Elizabethtown line along West Main Street is roughly 2,300' to the west. The nearest Mount Joy Authority water line is roughly 1.1 miles east along West Main Street. The subject properties are not located within the identified service areas of either Authority. It is not practical or feasible for the property to connect to public water facilities unless the service areas are expanded.



PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

FOR

MESA SUBSTATION

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PA

CERTIFICATE OF OWNERSHIP ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DAVID L. HAWTHORNE, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

DAVID L. HAWTHORNE _____

NOTARY _____

MY COMMISSION EXPIRES _____, 20____.

LANDOWNER ACKNOWLEDGEMENT OF BMP'S

I, THE UNDERSIGNED, HEREBY REPRESENT THAT NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY STORM WATER MANAGEMENT BMP'S, FACILITIES, AREAS, OR STRUCTURES WITHOUT THE WRITTEN APPROVAL OF MOUNT JOY TOWNSHIP. THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE STORMWATER MANAGEMENT SITE PLAN.

DAVID L. HAWTHORNE _____, 20____

CERTIFICATION OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

MARCH 10, 20____, Stu Gergely

STORM DRAINAGE PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT.

MARCH 10, 20____, Stu Gergely

CERTIFICATION OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

_____, 20____

CARBONATE GEOLOGY CERTIFICATION

I, _____, HEREBY CERTIFY THAT THE PROPOSED STORMWATER FACILITIES ARE UNDERLAIN BY CARBONATE GEOLOGY.

_____, 20____

MOUNT JOY TOWNSHIP PLANNING COMMISSION FINAL PLAN REVIEW CERTIFICATE

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

CHAIRMAN OR THEIR DESIGNEE _____ VICE CHAIRMAN OR THEIR DESIGNEE _____

LANCASTER COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. _____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON _____, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

CHAIRPERSON OR THEIR DESIGNEE _____

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

CHAIRMAN OR THEIR DESIGNEE _____ VICE CHAIRMAN OR THEIR DESIGNEE _____

CERTIFICATE OF OWNERSHIP ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DAVID L. HAWTHORNE, BEING _____ OF HAWTHORNE ELECTRIC, INC., WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

_____, 20____

NOTARY _____

MY COMMISSION EXPIRES _____, 20____.

UTILITY LIST :

CABLE PROTECTION SERVICES INC
PO BOX 4816
MIDLOTHIAN, VA. 23112
DEBBIE KING
debbie.king@cbps.com
804-562-3409

AT&T
1100 3RD AVENUE
ALTOONA, PA. 16602
PAT SUTTON
ps4364@att.com
814-321-6470

USIC
9045 RIVER RD
STE 300
INDIANAPOLIS, IN. 46240-6400
RICKY COVINGTON
rickycovington@usidcl.com
317-671-3653

ELIZABETHTOWN AREA WATER AUTHORITY
211 W HUMMELSTOWN ST
ELIZABETHTOWN, PA. 17022
AUSTIN CALAMAN
acalam@etown-water.com
717-367-7448 EXT. 101

ELIZABETHTOWN REGIONAL SWR AUTHORITY
235 ERSB DR
ELIZABETHTOWN, PA. 17022
BROOK MILLER
brook@erspa.com
717-367-5947

PENNSYLVANIA ELECTRIC CO
341 WHITE POND DRIVE
AKRON, OH. 44320
MELLYSSA ADAMS
madams@firstenergycorp.com
330-252-4013

MOUNT JOY TOWNSHIP LANCASTER COUNTY
8853 ELIZABETHTOWN RD
ELIZABETHTOWN, PA. 17022
KEN EBERSOLE
KEN@MTJOYTP.ORG
717-673-2054

PPL ELECTRIC UTILITIES CORPORATION
4810 LYCOMING MALL
MONTGOMERYVILLE, PA. 17574
PAMELA SEITZER
pseitzer@pplweb.com
570-368-5394

UGI UTILITIES INC
1301 AIP DR
MIDDLETOWN, PA. 17057-5987
GEOFFREY FERGUSON
GFERGUSON@UGI.COM
610-807-3118

SHEET INDEX

*1 OF 11	COVER SHEET
*2 OF 11	PLAN NOTES
*3 OF 11	EXISTING CONDITIONS AND DEMOLITION PLAN
*4 OF 11	LAYOUT PLAN
*5 OF 11	EASEMENT PLAN
*6 OF 11	GRADING AND UTILITY PLAN
*7 OF 11	SANITARY SEWER PROFILE
*8 OF 11	SITE DETAILS
*9 OF 11	PCSM DETAILS
*10 OF 11	PCSM DETAILS
*11 OF 11	SANITARY SEWER DETAILS

E51 OF 4	E&S CONTROL PLAN
E52 OF 4	E&S NARRATIVE AND DETAILS
E53 OF 4	E&S DETAILS
E54 OF 4	E&S DETAILS

*SHEET TO BE RECORDED

MODIFICATIONS

MODIFICATIONS OF THE FOLLOWING SECTIONS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE BEING REQUESTED:

- § 119-25.(A) - PRELIMINARY PLAN APPLICATION
ACTION: _____ DATE _____
- § 119-52.J.(3)(a), 119-53.B(2), 119-53.C - IMPROVEMENT OF EXISTING STREETS, SIDEWALKS, CURBING (DEFERRAL)
ACTION: _____ DATE _____
- § 119-31.C.(3) - EXISTING FEATURES
ACTION: _____ DATE _____
- § 119-53.C.(2)(a) - CURB HEIGHT
ACTION: _____ DATE _____
- § 119-56.D - UTILITY EASEMENT WIDTH
ACTION: _____ DATE _____
- § 119-32.B - WETLAND STUDY
ACTION: _____ DATE _____
- § 119-32.C(6) - TRAFFIC IMPACT STUDY FEE IN LIEU
ACTION: _____ DATE _____

MODIFICATIONS OF THE FOLLOWING SECTIONS OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE ARE BEING REQUESTED:

- § 113-37.C.1)(a)[4] - MINIMUM PIPE DIAMETER, VEHICULAR LOADING
ACTION: _____ DATE _____
- § 113-43.J(5) - EXISTING FEATURES
ACTION: _____ DATE _____

SOIL LEGEND

THE SOIL TYPES PRESENT ON THE SITE ARE PER THE USDA WEB SOIL SURVEY FOR OF LANCASTER COUNTY, PA.
SYMBOL - NAME (SLOPE) HYDRO GROUP
*DbA - Duffield silt loam, 0 to 3% slopes B
*HoB - Hagerstown silt loam, 3 to 8% slopes B
*PRIME FARMLAND SOIL

ANTICIPATED CONSTRUCTION SCHEDULE

BEGIN CONSTRUCTION SUMMER 2026
COMPLETE CONSTRUCTION SUMMER 2027

INSPECTION SCHEDULE

MOUNT JOY TOWNSHIP SHALL BE NOTIFIED A MINIMUM OF 24 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

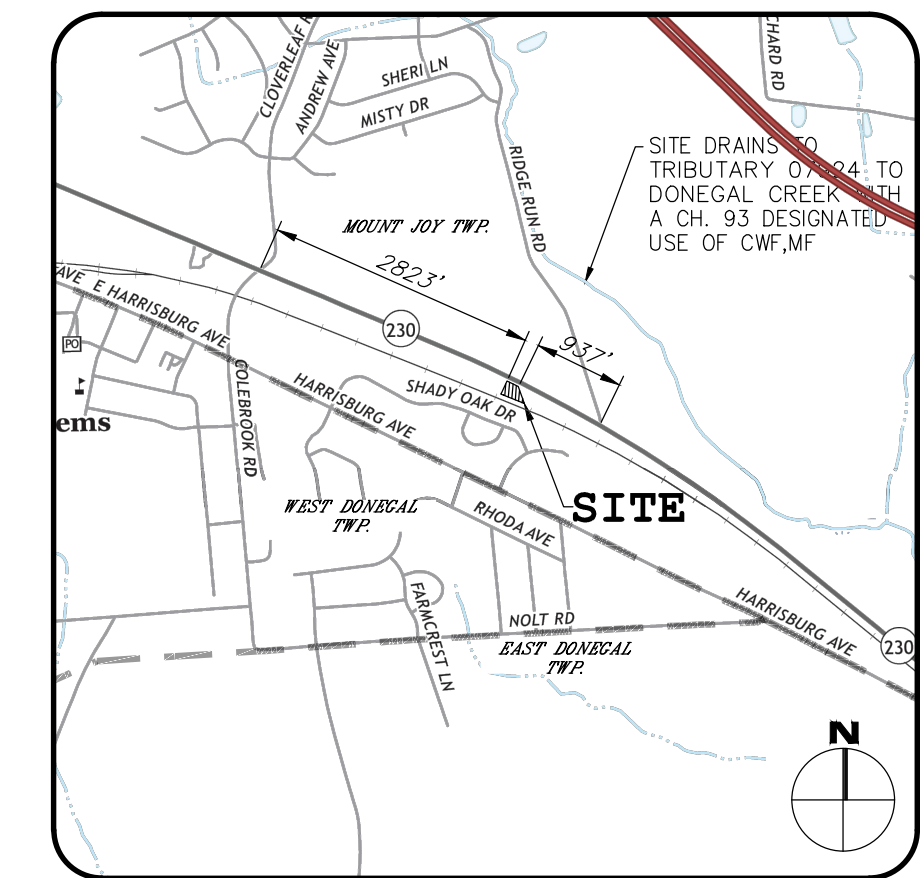
- UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY E&S DEVICES.
- UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS & GROUND COVERS.
- DURING THE CONSTRUCTION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES.
- UPON THE FINAL COMPLETION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
- AFTER REVIEW OF THE AS-BUILT DRAWINGS, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL SECURITY FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS, REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.

EXISTING PLANS AND AGREEMENTS

- A. FINAL PLAN FOR JOHN K. & ETHEL P. KREIDER, HENRY L. & EDNA F. KREIDER AND ROY J. & LOIS JEAN PETERMAN* PREPARED BY D.C. GOHN DATED MARCH 9, 1978, LAST REVISED AUGUST 11, 1978 AND RECORDED ON AUGUST 24, 1978 AS SUBDIVISION PLAN BOOK J-109, PAGE 15.
- PENNDOT HIGHWAY PLAN ENTITLED DRAWINGS FOR CONSTRUCTION AND CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. 129, SECTION NO. 3, STA. 1744-77 TO STA. 3704-78 APPROVED MAY 25, 1936.
- PER REFERENCE PLAN #1, THE PENNSYLVANIA POWER & LIGHT CO. (PPL) RIGHT-OF-WAY AS STATED IN DEED BOOK O, VOLUME 33, PAGE 237 DOES NOT SPECIFY A RIGHT-OF-WAY WIDTH. THE WIDTHS FOR EXISTING AND FUTURE PP&L FACILITIES WERE OBTAINED FROM PP&L OFFICIALS AT THE TIME OF THE PREPARATION OF REFERENCE PLAN #1.

I, STEVEN P. GERGELY, CERTIFY THAT THIS LIST IS COMPLETE AND CORRECT.

MARCH 10, 20____, Stu Gergely



LOCATION MAP

SCALE: 1"=2000'

ZONING DATA

ZONING DISTRICT:	GENERAL COMMERCIAL DISTRICT (C2)
MIN. LOT SIZE:	10,000 SF
MIN. LOT WIDTH:	75 FT
MIN. LOT DEPTH:	100 FT
MIN. FRONT YARD:	35 FT (15 FT PARKING)
MIN. SIDE YARD:	15 FT (BUILDING & PARKING)
MIN. REAR YARD:	25 FT (15 FT PARKING)
MAX. BUILDING COVERAGE:	50%
MAX. LOT COVERAGE:	65%
MAX. BUILDING HEIGHT:	40 FT
OFF-STREET PARKING:	3 SPACES/4 EMPLOYEES ON TWO LARGEST SHIFTS
REQUIRED OFF-STREET PARKING:	-
PROVIDED OFF-STREET PARKING:	9

NOTE: MUNICIPAL USES ARE EXEMPT FROM THE MINIMUM LOT WIDTH, LOT AREAS, LOT DEPTH, YARD SETBACKS, IMPERVIOUS SURFACE AREA, PARKING AND ALL OTHER REQUIREMENTS OF CHAPTER 135.

ZONING VARIANCES

THE FOLLOWING VARIANCES ARE BEING REQUESTED FOR 1892 WEST MAIN STREET (TAX PARCEL ID 461-63146-0-0000) AT THE MOUNT JOY TOWNSHIP ZONING HEARING BOARD.

- VARIANCE TO SECTION 135-135.F(2) - MAXIMUM LOT COVERAGE REQUIREMENTS.
ACTION: _____ DATE _____
- VARIANCE TO SECTION 135-135.E(2) - SIDE YARD PARKING LOT SETBACKS.
ACTION: _____ DATE _____
- VARIANCE TO SECTION 135-135.E(3)(b) - REAR YARD PARKING LOT SETBACKS.
ACTION: _____ DATE _____

SITE DATA

EXISTING LAND USE:	VACANT	1892 WEST MAIN STREET	ELECTRICAL CONTRACTOR
PROPOSED LAND USE:	AMBULANCE STATION (MUNICIPAL USE)		ELECTRICAL CONTRACTOR
TOTAL LOT AREA:	28,138 SF (0.645 ACRES)	±33,921 SF (±31,621 SF NET)	±0.779 AC (±0.726 AC NET)
TOTAL NUMBER OF LOTS:	1	1	
UNITS OF OCCUPANCY:	1	1	
DENSITY:	1.55 UNITS/ACRE	1.38 UNITS/ACRE	
EXISTING BUILDING COVERAGE:	2.77%± (771 SF / 28,138 SF)	18.7%± (5,916 SF / 31,621 SF)	
PROPOSED BUILDING COVERAGE:	14.4%± (4,048 SF / 28,138 SF)	18.7%± (5,916 SF / 31,621 SF)	
EXISTING LOT COVERAGE:	8.3%± (2,348 SF / 28,138 SF)	85.4%± (26,996 SF / 31,621 SF)	
PROPOSED LOT COVERAGE:	35.9%± (10,090 SF / 28,138 SF)	88.5%± (27,979 SF / 31,621 SF)	
PROPOSED WATER SERVICE:	ON-LOT WELL	ON-LOT WELL	
PROPOSED SEWER SERVICE:	PUBLIC	PUBLIC	

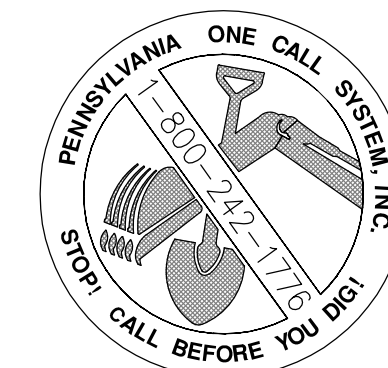
OWNER OF RECORD / SOURCE OF TITLE

PROPERTY ADDRESS: WEST MAIN STREET (NO ADDRESS GIVEN)

DAVID L. HAWTHORNE
4750 BOSSLER ROAD, ELIZABETHTOWN, PA 17022
TAX ACCOUNT NO.: 461-82955-0-0000
DOCUMENT ID: 6292886
PLAN REFERENCE: J-109-15, LOT 1

PROPERTY ADDRESS: 1892 WEST MAIN STREET
HAWTHORNE ELECTRIC INC
1892 WEST MAIN STREET, MOUNT JOY, PA 17552
TAX ACCOUNT NO.: 461-63146-0-0000
DOCUMENT ID: 05412647

ONE - CALL SYSTEM



Pennsylvania Act 287 (1974)
Amended by Act 50 (2017)
requires 3 working days notice from excavators who are about to Dig, Blast, Auger, Bore, Grade, Trench or Demolish anywhere in the Commonwealth.
Contractor Shall Place A One-Call (1-800-242-1776) Prior to Construction.

SERIAL NO.: 20253250048



NO	BY	DATE	REVISION
1	BRK	02/10/2026	PER. TWP. ENGINEER & AUTHORITY REVIEW COMMENTS

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
c/o J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
COVER SHEET
AS NOTED

SEAL

DRAWN BY: BRK CHECKED BY: SPG

DATE: FEBRUARY 9, 2026

PROJECT NO.: 251195-001

SHEET: 1 OF 11

NOTES:

SURVEY NOTES:

- 1. THE BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY IS BASED ON A SURVEY EXECUTED BY TRIMBLE SURVEYORS, LLC (250 S. SPRUCE STREET, LITIZ PA 17543, PHONE: 717-626-0028) PERFORMED IN NOVEMBER AND DECEMBER, 2025. ADDITIONAL SITE FEATURES AND TOPOGRAPHY TAKEN FROM LANCASTER COUNTY GIS DATA, UDAR DATA, AND FIELD OBSERVATION.
2. THIS PROPERTY WAS SURVEYED USING THE CURRENT DEED OR DEEDS OF RECORDS AND WITHOUT THE BENEFIT OF A TITLE SEARCH.
3. SITE BENCHMARK: MAG NAIL WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY, 20' SOUTH OF THE WHITE LINE FOR THE EAST BOUND LANE OF ROUTE 230 AND 58.5 FEET WEST OF PPL POLE #33428 S299173. ELEVATION: 418.32. DATUM: NAVD 1988
4. HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) STATE PLANE COORDINATES (SOUTH ZONE).
5. UNDERGROUND UTILITIES LOCATIONS AND WERE DETERMINED FROM USING NOTATION ON OR PA ONE CALL UTILITY MARKINGS AND THE BEST AVAILABLE PLAN INFORMATION. THE LOCATIONS ARE APPROXIMATE AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR BLASTING. TRIMBLE SURVEYORS, LLC ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF THE UTILITIES OMITTED OR INACCURATELY SHOWN. THREE MANHOLES ARE LOCATED ON THE WESTERN ADJOINING PROPERTY NEAR THE RAILROAD TRACKS. THE MANHOLES APPEAR TO BE RELATED TO AN UNDERGROUND SEPTIC SYSTEM. HOWEVER NO VISIBLE EVIDENCE IS PRESENT TO DETERMINE THE EXTENT OR LOCATION OF POSSIBLE UNDERGROUND FACILITIES OR STRUCTURES RELATED TO THE MANHOLES.

GEOGRAPHIC INFORMATION SYSTEM NOTE:

- 7. PORTIONS OF THE TOPOGRAPHIC AND PLANIMETRIC FEATURES WERE TAKEN FROM THE LANCASTER COUNTY GIS DEPARTMENT AND THE PENNSYLVANIA SPATIAL DATA ACCESS (PASDA) DATA ACQUIRED FOR THIS PROJECT AND FIELD OBSERVATION. THE FOLLOWING TEXT IS TAKEN FROM THE LANCASTER COUNTY GIS DISCLAIMER: THIS DRAWING WAS PREPARED FOR THE USE OF THE LANCASTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS (GIS) DEPARTMENT AND IS INTENDED TO BE USED FOR REFERENCE AND ILLUSTRATIVE PURPOSES ONLY. THIS DRAWING IS NOT A LEGALLY RECORDED PLAN, SURVEY, OFFICIAL TAX MAP OR ENGINEERING SCHEMATIC AND IT IS NOT INTENDED TO BE USED AS SUCH. THIS DRAWING IS A COMPILATION OF RECORDS, INFORMATION AND DATA DEVELOPED AND MAINTAINED BY VARIOUS LANCASTER COUNTY OFFICES; MAP LAYERS WERE CREATED FROM DIFFERENT SOURCES AT DIFFERENT SCALES, OR RELATIVE GEOGRAPHIC POSITION OF ANY FEATURE IS ONLY AS ACCURATE AS THE SOURCE INFORMATION. IF YOU HAVE QUESTIONS ABOUT ANY OF THE DATA SHOWN ON THIS MAP, DIRECT THEM TO THE LANCASTER COUNTY GEOGRAPHIC INFORMATION SYSTEM (GIS) DEPARTMENT AT (717) 391-7550.

GENERAL AND MUNICIPAL NOTES:

- 1. ANY CHANGES TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF HARBOR ENGINEERING, INC.
2. ALL EASEMENTS SHALL BE KEPT FREE OF STRUCTURES, FILL AND OTHER ENCROACHMENTS THAT MAY ADVERSELY AFFECT THE EASEMENT.
3. MOUNT JOY TOWNSHIP SHALL BE NOTIFIED IN THE EVENT SINKHOLES ARE ENCOUNTERED DURING CONSTRUCTION. THE SERVICES OF A REGISTERED ENGINEER OR GEOLOGIST SHALL BE OBTAINED TO ASSIST IN RECOMMENDING CONSTRUCTION TECHNIQUES AND PERMANENT FACILITIES NECESSARY TO AVOID FURTHER SINKHOLE CREATION AND WITH REGARD TO THE REPAIR OF ANY EXISTING SINKHOLES.
4. MOUNT JOY TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA, PARK, IMPROVEMENT, PLANTINGS, STREET OR ALLEY NOT DEDICATED AND ACCEPTED FOR PUBLIC USE.
5. NO AREAS ARE BEING DEDICATED TO MOUNT JOY TOWNSHIP.
6. ALL IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP IMPROVEMENTS SPECIFICATIONS MANUED IN EFFECT AT THE TIME OF CONSTRUCTION.
7. THE FLAGGING OF SHULDS OR OTHER ARE PROHIBITED WITHIN THE CLEAR SIGHT TRIANGLE THAT EXCEED A HEIGHT OF 30 INCHES AND ANY TREE LIMBS EXTENDING INTO THE CLEAR SIGHT TRIANGLE MUST BE LIMBED TO A HEIGHT GREATER THAN 8 FEET.
8. FOR ANY FIELD REVISIONS OR DEVIATIONS FOR THE APPROVED PLANS, THE APPLICANT MUST OBTAIN APPROVAL FROM MOUNT JOY TOWNSHIP PRIOR TO PROCEEDING WITH SUCH REVISION(S).
9. ALL MONUMENTS AND LOT MARKERS TO BE SET SHALL BE INSTALLED UPON COMPLETION OF FINAL GRADING AND SHALL MEET THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE SECTION 119-57. THE MINIMUM TOP HAVING A FLAT TOP HAVING A DIAMETER OF FOUR (4) INCHES AND A MINIMUM LENGTH OF THIRTY (30) INCHES AND BE MARKED ON THE TOP WITH A COPPER OR BRASS DISC WITH PUNCH MARK AND PROPER INSCRIPTION OF SURVEYOR. LOT MARKERS SHALL CONSIST OF IRON PIPES OR STEEL BARS AT LEAST THIRTY (30) INCHES LONG AND NOT LESS THAN THREE-QUARTERS (3/4) OF AN INCH IN DIAMETER AND FROST-PROOF.

WETLAND NOTE:

- 1. BASED UPON INFORMATION ON THE NATIONAL WETLANDS INVENTORY WEBSITE, THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTY.

FLOOD PLAIN NOTE:

- 1. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP #42071C018F DATED APRIL 5, 2016.

CONTRACTOR NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR THE CONSTRUCTION AND DEMOLITION PROPOSALS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED OR DESTROYED EXISTING SITE FEATURES THAT ARE TO REMAIN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING AND SHORING IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
4. ALL UNDERGROUND UTILITY LOCATIONS SHOWN ON THIS PLAN ARE FROM FIELD LOCATION, PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE ONLY. ALL UTILITY LOCATIONS MUST BE VERIFIED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL LEGALLY DISPOSE OF ALL UNDERGROUND AND ABOVEGROUND STRUCTURES, FEATURES, AND MATERIALS AS REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
7. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
8. THE CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE EXTENSIONS/TERMINATIONS WITH THE RESPECTIVE UTILITY OWNERS.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" AS REQUIRED BY THE VARIOUS AUTHORITY REQUIREMENTS.

SANITARY SEWER NOTES:

- 1. ALL SANITARY SEWER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION OF ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS AT THE TIME OF FINAL PLAN APPROVAL BY THE AUTHORITY. ALL DEVIATIONS FROM AUTHORITY SPECIFICATIONS SHALL REQUIRE APPROVAL BY THE AUTHORITY PRIOR TO CONSTRUCTION.
2. SHOP DRAWINGS MUST BE SUBMITTED, REVIEWED AND APPROVED PRIOR TO THE START OF CONSTRUCTION.
3. PRIOR TO THE START OF CONSTRUCTION, A CONSTRUCTION COST OPINION FOR THE ITEMS WITHIN THE PUBLIC RIGHT OF WAY MUST BE PROVIDED TO ESTABLISH FINANCIAL SECURITY.
4. PRIOR TO THE START OF CONSTRUCTION, A CONSTRUCTION SCHEDULE MUST BE PROVIDED TO ESTABLISH THE AMOUNT OF THE CONSTRUCTION ESCROW.
5. A PRECONSTRUCTION CONFERENCE MUST BE HELD PRIOR TO THE START OF CONSTRUCTION.
6. TESTING OF ALL SANITARY SEWER IMPROVEMENTS MUST BE PERFORMED IN THE PRESENCE OF THE AUTHORITY AND IN ACCORDANCE WITH THE AUTHORITY'S SPECIFICATIONS.
7. THE AUTHORITY REQUIRES A MINIMUM OF 24-HOUR NOTICE PRIOR TO INSPECTION OF SANITARY SEWER SYSTEM CONSTRUCTION.
8. AS-BUILT DOCUMENTS MUST BE PROVIDED TO THE AUTHORITY AT THE COMPLETION OF CONSTRUCTION.
9. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ADVANCE OF CONSTRUCTION TO INCLUDE REQUESTING THE UTILITIES TO BE LOCATED IN ACCORDANCE WITH PENNSYLVANIA ONE CALL ACT NO. 287 AND COOPERATE WITH AGENTS OF THESE COMPANIES DURING THE PROGRESS OF THE WORK.

STORMWATER MANAGEMENT NOTES:

- 1. NEITHER THE CONSTRUCTION BY THE LANDOWNER TO THE TOWNSHIP, THE APPROVAL OF THIS PLAN BY THE TOWNSHIP, OR THE COMPLETION OF ANY IMPROVEMENTS BY THE DEVELOPER SHALL OBLIGATE THE TOWNSHIP TO ACCEPT ANY LAND OR IMPROVEMENTS. ACCEPTANCE OF ANY OFFER OF DEDICATION IS A MATTER OF DISCRETION WITH THE TOWNSHIP. UNLESS AND UNTIL THE TOWNSHIP TAKES FORMAL ACTION TO ACCEPT AN OFFER OF DEDICATION, THE TOWNSHIP SHALL HAVE NO OBLIGATION TO MAINTAIN, REPAIR, CONSTRUCT OR RECONSTRUCT SUCH LAND OR IMPROVEMENTS, AND THE LAND AND IMPROVEMENTS SHALL BE DEEMED TO BE PRIVATE.
2. NO AREAS OR FACILITIES ARE BEING OFFERED FOR DEDICATION TO PUBLIC USE.
3. A STORMWATER EASEMENT IS PROPOSED FOR THE STORMWATER MANAGEMENT FACILITY AND TO PROVIDE THE TOWNSHIP WITH ACCESS TO THE FACILITY FROM THE STREET RIGHT-OF-WAY.
4. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT. NO ALTERATIONS TO SWALES, BASINS, BMPs, OR OTHER STORMWATER MANAGEMENT FACILITIES THAT ADVERSELY AFFECT THE FLOW OF STORMWATER SHALL BE PERMITTED.
5. MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES NOT LOCATED WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND FREE OF FILL AND OTHER OBSTRUCTIONS.
6. MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE PER THE O&M PLAN NOTES ON SHEET 2, AND PER THE STORMWATER AGREEMENT WITH THE TOWNSHIP.
7. THE STORMWATER MANAGEMENT AGREEMENT AND DECLARATION OF EASEMENT RECORDED AS PART OF THIS PLAN FURTHER INDICATES THE REQUIRED RESPONSIBILITIES OF OWNERSHIP AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.
8. THE OWNERS AND OCCUPANTS OF THE HEREON SHOWN LOT SHALL OWN AND MAINTAIN THE STORMWATER MANAGEMENT FACILITIES SHOWN AND CONSTRUCTED ON THE PROPERTY. THE MUNICIPALITY SHALL HAVE THE RIGHT TO:
- REPRESENTATIVES OF THE TOWNSHIP MAY ENTER, AT REASONABLE TIMES, UPON ANY PROPERTY, WITHIN THE TOWNSHIP TO INVESTIGATE OR ASCERTAIN THE CONDITION OF THE SUBJECT PROPERTY IN REGARD TO ANY ASPECT REGULATED BY THE STORMWATER ORDINANCE.
- REQUIRE THE OWNER/OCCUPANT TO TAKE CORRECTIVE MEASURES AND ASSIGN A REASONABLE TIME PERIOD FOR SUCH ACTIONS TO BE TAKEN.
- AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COST OF THE WORK AGAINST THE PROPERTY OF THE ENTITY RESPONSIBLE FOR MAINTENANCE.
- IF THE TOWNSHIP DETERMINES, AT ANY TIME, THAT ANY PERMANENT STORMWATER MANAGEMENT FACILITY HAS BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE LANDOWNER OF THE LOT SHALL BE ADVISED OF THE CORRECTIVE MEASURES REQUIRED AND GIVEN A REASONABLE PERIOD OF TIME, WITHIN WHICH TO TAKE SUCH CORRECTIVE ACTION. IF SUCH CORRECTIVE ACTION IS NOT TAKEN BY THE LANDOWNER, THE TOWNSHIP MAY CAUSE THE WORK TO BE DONE AND SHALL TAKE THE APPROPRIATE ACTION TO FILE A MUNICIPAL CLAIM PURSUANT TO THE PA MUNICIPAL CLAIMS AND TAX LIENS ACT, ACT 1923, MAY 16, P.L. 207, AS AMENDED AND SUPPLEMENTED, AS A LIEN UPON THE REAL PROPERTY UPON WHICH THE WORK WAS DONE.
9. REPRESENTATIVES OF THE TOWNSHIP MAY ENTER, AT REASONABLE TIMES, UPON ANY PROPERTY, WITHIN THE TOWNSHIP, TO INVESTIGATE OR ASCERTAIN THE CONDITION OF THE SUBJECT PROPERTY IN REGARDS TO ANY ASPECT REGULATED BY THE TOWNSHIP ORDINANCES.
10. CONSTRUCTION OF STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE CURRENT MOUNT JOY TOWNSHIP AND LANCASTER COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS UNLESS A MODIFICATION HAS BEEN APPROVED.

- 11. THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED FOR IMPERVIOUS AREAS AS SHOWN ON THE PLANS AND ADDITIONAL FUTURE IMPERVIOUS AREA AS NOTED IN THE SITE DATA CHART ON THE COVER SHEET 1 AND THE PCSM PLAN AND BMP DATA TABLE ON SHEET 2.
12. THE IMPERVIOUS SURFACES SHOWN REPRESENT THE MAXIMUM EXPECTED COVERAGE. ANY ADDITIONAL IMPERVIOUS COVER BEYOND THE AMOUNT APPROVED BY THE TOWNSHIP WILL REQUIRE THE OWNER TO IMPLEMENT ADDITIONAL STORMWATER MANAGEMENT CONTROLS IN ACCORDANCE WITH THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE REQUIREMENTS.
13. A REVISION WHICH INVOLVES A CHANGE IN STORMWATER MANAGEMENT CONTROL METHODS OR TECHNIQUES, OR WHICH INVOLVES THE RELOCATION OR REDESIGN OF CONTROL MEASURES, OR WHICH IS NECESSARY BECAUSE SOIL OR OTHER CONDITIONS ARE NOT AS STATED ON THE APPROVED PLAN, SHALL REQUIRE A RESUBMISSION BY THE APPLICANT IN ACCORDANCE WITH THE PLAN REQUIREMENTS AS SET FORTH IN THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
14. THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE NOT LOCATED WITHIN OR AFFECT THE FLOODPLAIN OF ANY WATERCOURSE.
15. SHOULD ANY SINKHOLES, CLOSED DEPRESSIONS, DISAPPEARING STREAMS, LINEAMENTS, FRACTURE TRACES, SURFACE PINNACLES OR SUBSURFACE PINNACLES BE ENCOUNTERED DURING CONSTRUCTION, THE DESIGN CONSULTANT, A PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER, AND THE TOWNSHIP SHALL BE CONTACTED TO DISCUSS POTENTIAL DESIGN CHANGES.
16. PRIOR TO THE FINAL RELEASE OF ANY FINANCIAL SECURITIES, THE DEVELOPER SHALL BE RESPONSIBLE FOR COMPLETING A "RECORD SURVEY" OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE APPROVED STORMWATER MANAGEMENT PLAN, INCLUDING A CD WITH AUTOCAD DATA AND 2 COMPLETE SETS OF AS-BUILT DRAWINGS AT A SCALE OF 40' TO THE INCH SHOWING ALL REQUIRED IMPROVEMENTS FOR REVIEW AND APPROVAL BY THE TOWNSHIP ENGINEER. THE RECORD SURVEY AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE DESIGN PLANS SHALL BE SUBMITTED TO THE TOWNSHIP OR ITS DESIGNEE FOR FINAL APPROVAL. THE RECORD PLAN SHALL INCLUDE A FINAL CERTIFICATION AS REQUIRED BY CHAPTER 113, FROM AN ENGINEER, LANDSCAPE ARCHITECT, SURVEYOR, OR OTHER QUALIFIED PERSON REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA.
17. AN AS-BUILT PLAN MEETING ALL OF THE REQUIREMENTS OF SECTION 113 OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE SUBMITTED PRIOR TO FINAL APPROVAL OF THE INSTALLED IMPROVEMENTS. FOLLOWING EXCAVATION OF THE INFILTRATION BED, THE INFILTRATION RATE WITHIN THE BED IS TO BE TESTED. THE AS-BUILT PLAN SUBMISSION NEEDS TO INCLUDE THE RESULTS OF THE POST-CONSTRUCTION INFILTRATION TESTING.
18. THE DESIGN ENGINEER & MOUNT JOY TOWNSHIP SHALL BE IMMEDIATELY NOTIFIED IF UNSUITABLE SOILS OR OTHER PROHIBITIVE SUBSURFACE CONDITIONS ARE ENCOUNTERED FOR THE STORMWATER SYSTEMS DURING CONSTRUCTION.
19. SHOULD ANY UNFORESEEN CONDITIONS ARISE DURING EXCAVATION OF INFILTRATION FACILITIES (ROCK, ETC.) THE TOWNSHIP AND DESIGN PROFESSIONAL SHALL BE NOTIFIED. OVER EXCAVATION AND ENGINEERED BACKFILL MAY BE REQUIRED.
20. AREAS PROPOSED FOR INFILTRATION BMPs SHALL BE PROTECTED FROM SEDIMENTATION AND COMPACTION DURING THE CONSTRUCTION PHASE TO MAINTAIN MAXIMUM INFILTRATION CAPACITY. STAGING OF EARTHMOVING ACTIVITIES AND SELECTION OF CONSTRUCTION EQUIPMENT SHOULD CONSIDER THIS PROTECTION.
21. THERE ARE NO KNOWN RECORDED STORMWATER MANAGEMENT AGREEMENTS AFFECTING THE SUBJECT PROPERTIES.
22. FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER, THE APPLICANT SHALL SUBMIT THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS.
23. THE TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTING ALL STORMWATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES.

GEOLOGY NOTES:

- 1. A STORMWATER FEASIBILITY AND GEOLOGY STUDY WAS COMPLETED BY HRG ENGINEERING DATED FEBRUARY 9, 2026. THE STUDY INCLUDES THE INFILTRATION TESTING PERFORMED ON SITE AND A SUMMARY OF THE SITE'S SUITABILITY FOR INFILTRATING STORMWATER.
2. IF ANY BEDROCK OR SOIL FEATURES NOT CONSISTENT WITH THIS REPORT ARE OBSERVED DURING CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES, OR FOOTINGS, ALL WORK SHOULD STOP AND A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD BE CONSULTED PRIOR TO CONTINUING WORK.
3. THE SITE IS LOCATED ON THE STONEHENGE FORMATION, WHICH IS A CARBONATE FORMATION PRONE TO KARST TYPE FEATURES THAT TYPICALLY OCCUR IN A CARBONATE ENVIRONMENT.
4. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE INFILTRATION FACILITY THE FOLLOWING NOTES APPLY:
4.1. SHALLOW ROCK PINNACLES ARE IN-PLACE ROCK THAT IS NOT RIPPLEABLE WITH CONVENTIONAL EQUIPMENT. IF SHALLOW ROCK PINNACLES ARE ENCOUNTERED THE ROCK WILL BE REMOVED, SILT LOAM FROM THE SITE, OR SILT LOAM SIMILAR TO NATIVE SOILS, WILL BE INSTALLED TO A DEPTH OF NOT LESS THAN 2 FOOT BELOW THE BED BOTTOM. PRIOR TO INSTALLING THE SILT LOAM THE ROCK SURFACE SHOULD BE PREPARED BY COVERING WITH NOT LESS THAN 8 INCHES OF 1/2" INCH CLEAN STONE AND OVERLAIN WITH A NON-WOVEN GEOTEXTILE. THE SUBGRADE SHOULD BE INSPECTED BY A GEOLOGIST OR GEOTECHNICAL ENGINEER PRIOR TO INSTALLING THE GEOTEXTILE.
4.2. WEATHERED ROCK STRATA IS ROCK THAT IS RIPPLEABLE WITH CONVENTIONAL EQUIPMENT, AND NOT ATTACHED TO A MORE MASSIVE ROCK STRUCTURE. IF WEATHERED ROCK STRATA WITH VOIDS IS ENCOUNTERED, THE STRATA SHOULD BE FILLED WITH A SUITABLE SIZE AGGREGATE TO FILL AND BRIDGE THE VOID. REVERSE GRADED, LARGER TO SMALLER, AGGREGATE SHOULD THEN BE USED TO FILL THE AREA ABOVE THE VOID TO 2 FEET BELOW THE PROPOSED BED BOTTOM. A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD DETERMINE THE SIZE AND THICKNESS OF THE AGGREGATE LAYERS BASED ON THE SIZE OF THE VOID. A NON-WOVEN GEOTEXTILE SHOULD THEN BE PLACED OVER THE AGGREGATE, AND 2 FEET OF SILT LOAM FROM THE SITE, OR SILT LOAM SIMILAR TO NATIVE SOILS, WILL BE INSTALLED TO A DEPTH OF NOT LESS THAN 2 FOOT BELOW THE BED BOTTOM.
5. IF ANY CARBONATE FEATURES SUCH AS SINKHOLES, DISAPPEARING STREAMS, LOOSE OR RAVELED SOILS (A.K.A. SOILS THAT ARE FEATURE AND/OR UNCOMPACT), OR OTHER DELETERIOUS CONDITIONS ARE OBSERVED DURING CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES, OR BUILDING FOOTINGS, ALL WORK SHOULD STOP AND A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD BE CONSULTED PRIOR TO CONTINUING WORK.

NOTE: IF SILT LOAM FROM THE SITE IS NOT AVAILABLE A MIXTURE OF 50% SAND AND 50% SILT WILL BE USED AS THE 2 FT SOIL BACKFILL BELOW THE CLEAN STONE INFILTRATION BED.

OPERATION AND MAINTENANCE PLAN NOTES:

A. MAINTENANCE RESPONSIBILITY:

- 1. THE LAND OWNER, SUCCESSOR AND ASSIGNS SHALL INSPECT, OPERATE AND MAINTAIN THE STORM WATER MANAGEMENT FACILITIES (BMPs) SHOWN AND CONSTRUCTED ON THE PROPERTY IN GOOD WORKING ORDER AS OUTLINED IN THIS OPERATION AND MAINTENANCE PLAN AND THE STORMWATER MANAGEMENT AGREEMENT.
2. THE TOWNSHIP, ITS AUTHORIZED AGENTS AND EMPLOYEES SHALL HAVE PERMISSION TO ACCESS THE PROPERTY, AT REASONABLE TIMES AND UPON PRESENTATION OF PROPER CREDENTIALS, TO INSPECT SWM FACILITIES AND TAKE ANY ACTION NECESSARY. HOWEVER POSSIBLE, THE MUNICIPALITY SHALL NOTIFY THE LANDOWNER PRIOR TO ENTERING THE PROPERTY.
3. THE LAND OWNER SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR MAINTENANCE ACTIVITIES. IN THE EVENT OF A CHANGE, NEW INFORMATION IS TO BE SUBMITTED TO THE BOROUGH WITHIN 10 DAYS OF THE CHANGE.
4. THE STORMWATER MANAGEMENT FACILITIES, AND BMPs SHOWN ON THIS PLAN ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE TOWNSHIP.
5. THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
6. THE RECORD OWNER OF THE DEVELOPMENT SITE SHALL SIGN AND RECORD AN OPERATION AND MAINTENANCE (O&M) AGREEMENT COVERING ALL STORMWATER MANAGEMENT FACILITIES WHICH ARE TO BE PRIVATELY OWNED. THE O&M PLAN AND AGREEMENT SHALL BE RECORDED AS A RESTRICTIVE COVENANT AGREEMENT THAT RUNS WITH THE LAND AS PART OF THIS PLAN.
7. THE LANDOWNER SHALL WORK TO REMEDY ANY DEFICIENCIES OF STORMWATER BMPs THAT ARE FOUND DURING THEIR INSPECTIONS WITHIN A REASONABLE TIME FRAME DEPENDING ON THE GROWING SEASON AND TIME OF THE YEAR.
8. IN THE EVENT THE LANDOWNER FAILS TO OPERATE AND MAINTAIN THE STORMWATER FACILITIES, THE TOWNSHIP OR ITS REPRESENTATIVES MAY ENTER UPON THE PROPERTY AND TAKE WHATEVER ACTION IS DEEMED NECESSARY TO MAINTAIN SAID SWM FACILITIES. THE TOWNSHIP IS UNDER NO OBLIGATION TO MAINTAIN OR REPAIR SAID FACILITIES.
9. IN THE EVENT THE TOWNSHIP TAKES ACTION TO MAINTAIN THE SWM FACILITIES, THE LANDOWNER SHALL REIMBURSE THE TOWNSHIP FOR FOR ALL EXPENSES PLUS ANY APPLICABLE PENALTY PER THE STORMWATER ORDINANCE.
10. DURING CONSTRUCTION THE TEMPORARY OPERATION AND MAINTENANCE OF THE E&S AND PCSM BMPs IS TO BE AS FOLLOWS:
• MAINTENANCE OF ALL STORMWATER AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL COMMENCE IMMEDIATELY AFTER CONSTRUCTION BEGINS.
• IT SHALL BE THE CONTRACTOR'S/CO-PERMITTEE'S RESPONSIBILITY DURING CONSTRUCTION TO PREVENT SOIL FROM POLLUTING NEIGHBORING PROPERTIES, PUBLIC STREETS, AND/OR STORMWATER CONVEYANCE FACILITIES.
• INSPECTION AND MAINTENANCE OF THE E&S BMPs SHALL BE AS DESCRIBED ON THE APPROVED EROSION AND SEDIMENTATION PLAN FOR THE PROJECT.
• UPON REMOVAL OF THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES, IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT THE PERMANENT STORMWATER FACILITIES LOCATED WITHIN THE PROJECT AREA ARE MAINTAINED IN THEIR DESIGN CONDITION AND AS OUTLINED IN THE O&M PLAN AND AGREEMENT FOR THE PROJECT.

B. INSPECTION/MAINTENANCE SCHEDULE:

- 1. TO ASSURE PROPER IMPLEMENTATION OF BMPs, MAINTENANCE AND CARE SWM BMPs SHOULD BE INSPECTED BY A QUALIFIED PERSON, WHICH MAY INCLUDE THE LANDOWNER, OR A DESIGNEE, ACCORDING TO THE FOLLOWING MINIMUM FREQUENCIES:
• ANNUALLY FOR THE FIRST FIVE YEARS
• ONCE EVERY THREE YEARS THEREAFTER
• DURING OR IMMEDIATELY AFTER THE CESSATION OF A 10-YEAR OR GREATER STORM (EQUATING TO AT LEAST 4.5 INCHES OR GREATER OF RAINFALL IN A TWENTY FOUR HOUR PERIOD)
• AS SPECIFIED IN THE O&M AGREEMENT PURSUANT TO §113-63 OF THE STORMWATER MANAGEMENT ORDINANCE
• ADDITIONAL INSPECTION FREQUENCY CRITERIA MAY BE INCLUDED WITHIN THE SPECIFIC LONG-TERM OPERATION AND MAINTENANCE SECTION BELOW.
2. GENERAL OPERATION AND MAINTENANCE TASKS SHALL BE PERFORMED MONTHLY, OR AS NEEDED AFTER RAINFALL EVENTS AND DURING THE GROWING SEASON.

C. GENERAL AND LONG-TERM INSPECTION, MAINTENANCE AND OPERATION INCLUDES:

- 1. GENERAL OPERATION AND MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
• REGULAR INSPECTION, MAINTENANCE AND CARE OF THE STORMWATER MANAGEMENT FACILITIES, AND BMPs BY A QUALIFIED PERSON, WHICH MAY INCLUDE THE LANDOWNER, OR THE OWNER'S DESIGNEE.
• ALL PIPES, SWALES, AND STORMWATER FACILITIES SHALL BE KEPT FREE OF ANY DEBRIS OR OTHER OBSTRUCTION AND IN ORIGINAL DESIGN CONDITION.
• REMOVAL OF SILT FROM ALL PERMANENT STRUCTURES WHICH TRAP SILT OR SEDIMENT IN ORDER TO KEEP THE MATERIAL FROM BUILDING UP IN PIPES, OR BMPs, AND THUS REDUCING THEIR CAPACITY TO CONVEY OR STORE WATER.
• RE-ESTABLISHMENT OF VEGETATION OF SCOURED AREAS OR AREAS WHERE VEGETATION HAS NOT BEEN SUCCESSFULLY ESTABLISHED.
• LAWN CARE, VEGETATION MAINTENANCE, LANDSCAPING AND PLANTING.
2. THE SPECIFIC LONG-TERM OPERATION AND MAINTENANCE SCHEDULE FOR THE PROPOSED BMPs ARE OUTLINED BELOW TO ENSURE PROPER FUNCTION AND OPERATION.

ROOF DRAIN SYSTEM (GUTTERS, DOWNSPOUTS, CLEAN OUTS, CLEANOUT SUMPS, AND ROOF LEADER PIPES):

- THE ROOF GUTTERS, DOWNSPOUTS, PIPING, CLEANOUT SUMPS AND CLEANOUTS SHALL BE INSPECTED FOR BLOCKAGES, DAMAGE AND ACCUMULATION OF TRASH AND SEDIMENT. REPAIR AND CLEAN AS NEEDED.
• AT A MINIMUM SEDIMENT SHALL BE REMOVED ANNUALLY FROM THE ROOF DRAIN SYSTEM AND CLEANOUTS WITH A 12" SUMP INSTALLED PRIOR TO THE PIPES DISCHARGING INTO THE INFILTRATION BED.

STORMWATER CONVEYANCE PIPING AND STRUCTURES:

- THE STRUCTURES, INLETS, AND PIPING SHALL BE INSPECTED FOR DEBRIS, TRASH, AND SEDIMENT AND CLEANED AS NECESSARY.
• THE STRUCTURES, INLETS, AND PIPING SHALL BE INSPECTED FOR DAMAGE AND REPAIRED AS NEEDED.

INFILTRATION BED:

- ALL INLETS, PIPES, SWALES AND INFILTRATION FACILITIES SHALL BE KEPT FREE OF ANY DEBRIS OR OTHER OBSTRUCTION AND IN ORIGINAL DESIGN CONDITION.
• REMOVAL OF SILT FROM ALL PERMANENT STRUCTURES WHICH TRAP SILT OR SEDIMENT IN ORDER TO KEEP THE MATERIAL FROM BUILDING UP IN GRASS WATERWAYS, PIPES, INFILTRATION STRUCTURES, OR BMPs, AND THUS REDUCING THEIR CAPACITY TO CONVEY OR STORE WATER.
• INSPECT CLEANOUTS FOR DAMAGE, DEBRIS AND TRASH. REPAIR AND CLEAN AS NECESSARY.
• MONITOR DEWATERING TIME TO ENSURE COMPLETE DEWATERING WITHIN 72 HOURS FOLLOWING RAINFALL EVENTS EXCEEDING 3.05" IN 24 HOURS OR GREATER. MONITOR THE DEWATERING TIME FOR THE FACILITY BY UNSCREWING THE CLEANOUT CAP LOCATED WITHIN THE BED, AND LOWERING A ROD OR OTHER DEVICE TO THE BOTTOM OF THE STONE TO DETERMINE IF THERE IS STANDING WATER. (THE DEPTH TO THE BED BOTTOM VARIES.) IF STANDING WATER IS FOUND AFTER 72 HOURS, THE FACILITY SHALL BE REPAIRED TO A FUNCTIONING CONDITION. REPAIR MAY INCLUDE THE FLUSHING & CLEANING OF THE PERFORATED PIPING, AND/OR REPLACEMENT OF THE FACILITY PER THE DETAIL. A QUALIFIED PROFESSIONAL MAY BE CONSULTED TO DETERMINE THE CAUSE OF FAILURE AND AN APPROPRIATE REMEDIATION FOR THE FACILITY.
• THE TOWNSHIP MUST BE NOTIFIED IN THE EVENT THAT THE INFILTRATION BED DOES NOT DRAIN WITHIN 72 HOURS.

WATER QUALITY (WO) FILTER BAGS WITHIN INLETS:

- REMOVE INLET GRATES, AND REMOVE TRASH AND DEBRIS AS NEEDED. THE INLET FILTER BAG MAY BE CLEANED FOR REUSE, OR REPLACE INLET FILTER BAG AS NEEDED.
• THE REPLACEABLE INLET FILTER BAG AND ITS ASSOCIATED FRAMING SHALL BE INSPECTED FOR DAMAGE AND REPAIRED AS NEEDED.
• INCREASE THE FREQUENCY OF INSPECTION TO INSPECT FOLLOWING RAIN EVENTS OF MORE THAN 1 INCH IN 24 HOURS, AND AT LEAST BI-WEEKLY DURING SUMMER MONTHS.

D. REPLACEMENT NOTES:

- 1. IN THE EVENT THAT ANY OF THE PROPOSED BMPs BECOME DAMAGED, OR FAIL TO FUNCTION AS DESIGNED (DEWATER WITHIN 72 HRS), THE BMP IS TO BE REPAIRED AND/OR REPLACED PER THE ORIGINAL DESIGN, OR A MODIFIED DESIGNED AS APPROVED BY THE TOWNSHIP.
2. IF THE INFILTRATION BMPs FAIL TO DEWATER WITH 72 HOURS FROM THE END OF A STORM EVENT CORRECTIVE MEASURES SHALL BE TAKEN WHICH MAY INCLUDE REPLACEMENT OF THE FACILITY.
3. ANY FORMATION OF SINKHOLES OR SOLUTION CHANNELS WITHIN THE INFILTRATION FACILITIES SHALL BE REPAIRED. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT, THE TOWNSHIP AND HARBOR ENGINEERING, INC IMMEDIATELY UPON DISCOVERING/ENCOUNTERING ANY SINKHOLE AND THE SERVICES OF A REGISTERED ENGINEER OR GEOLOGIST SHALL BE OBTAINED FOR RECOMMENDATIONS ON SEALING THE FEATURE. THE REPAIR OF THE SINKHOLES MAY REQUIRE A REVISION AND/OR RELOCATION OF THE UNDERGROUND STORMWATER INFILTRATION BEDS. THE REPAIR OF THE SINKHOLES AND ANY MODIFICATIONS TO THE APPROVED PCSM BMPs IS TO BE COORDINATED WITH THE CONSERVATION DISTRICT AND THE TOWNSHIP FOR THEIR REVIEW AND APPROVAL.

E. REPORTING:

- 1. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING RECORDS OF ALL INSPECTIONS OF AND MAINTENANCE TO BMPs AND OTHER STORM WATER MANAGEMENT FACILITIES AS SPECIFIED BY THE TERMS AND CONDITIONS OF THE NPDES PERMIT. IT IS THE RESPONSIBILITY OF OWNER TO INFORM SUCCESSORS OWNERS OF THE PREMISES OF ANY REPORTING REQUIREMENT.
2. A WRITTEN REPORT IS TO BE COMPLETED THAT DOCUMENTS EACH INSPECTION AND ALL PCSM BMP REPAIR AND MAINTENANCE ACTIVITIES CONDUCTED.
3. INSPECTIONS ARE TO BE LOGGED ONTO DEP FORM 3150-FM-BWE0083 DATED 2/2012 AND KEPT ON SITE AT ALL TIMES. AT A MINIMUM THE INSPECTION REPORTS ARE TO INCLUDE THE DATES AND TYPES OF SPECIFIC LONG TERM MAINTENANCE TASKS PERFORMED FOR EACH BMP.
4. THE INSPECTION REPORTS WILL BE PROVIDED TO THE MUNICIPALITY UPON REQUEST.
5. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR CONSERVATION DISTRICT

F. RESPONSIBLE PARTY AT TIME OF PLAN:

SITE ADDRESS: WEST MAIN STREET (NO ADDRESS GIVEN)
MUNICIPAL EMERGENCY SERVICES AUTHORITY c/o J. MARC HERSHEY
380 WEST BAINBRIDGE STREET, ELIZABETHTOWN, PA 17022
(717) 361-8220

MS4-PCSM PLAN & BMP DATA TABLE
Table with 2 columns: Description and Value. Includes overall PCSM plan volume reduction (0F), watershed (Donegal Creek), receiving waterbody (Tributary 07924 to Donegal Creek), NPDES permit No. (X), site address (Mount Joy, PA 17552), responsible party (Municipal Emergency Services Authority), total number of proposed PCSM BMPs (1), and various BMP details like name, type, life cycle, dimensions, area, and volume.

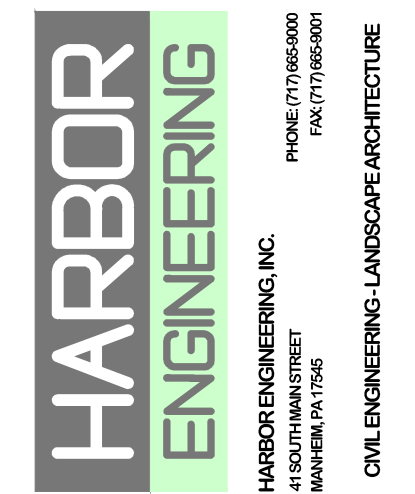


Table with 4 columns: CLIENT (MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY), PROJECT TITLE (PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION), SHEET TITLE (PLAN NOTES), and NO. BY DATE (1, BRK, 02/17/2026, PER, WFP, ENGINEER & AUTHORITY REVIEW COMMENTS, REVISION)

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
FOR
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

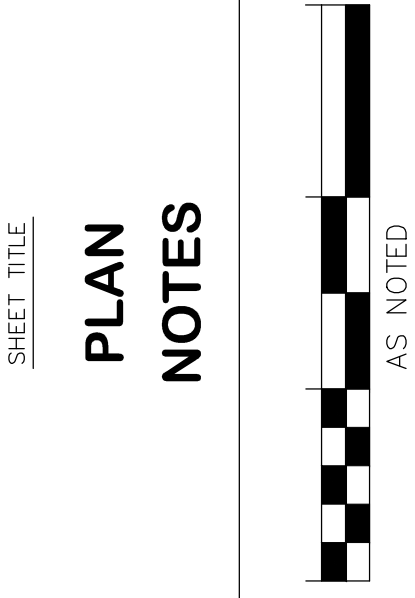
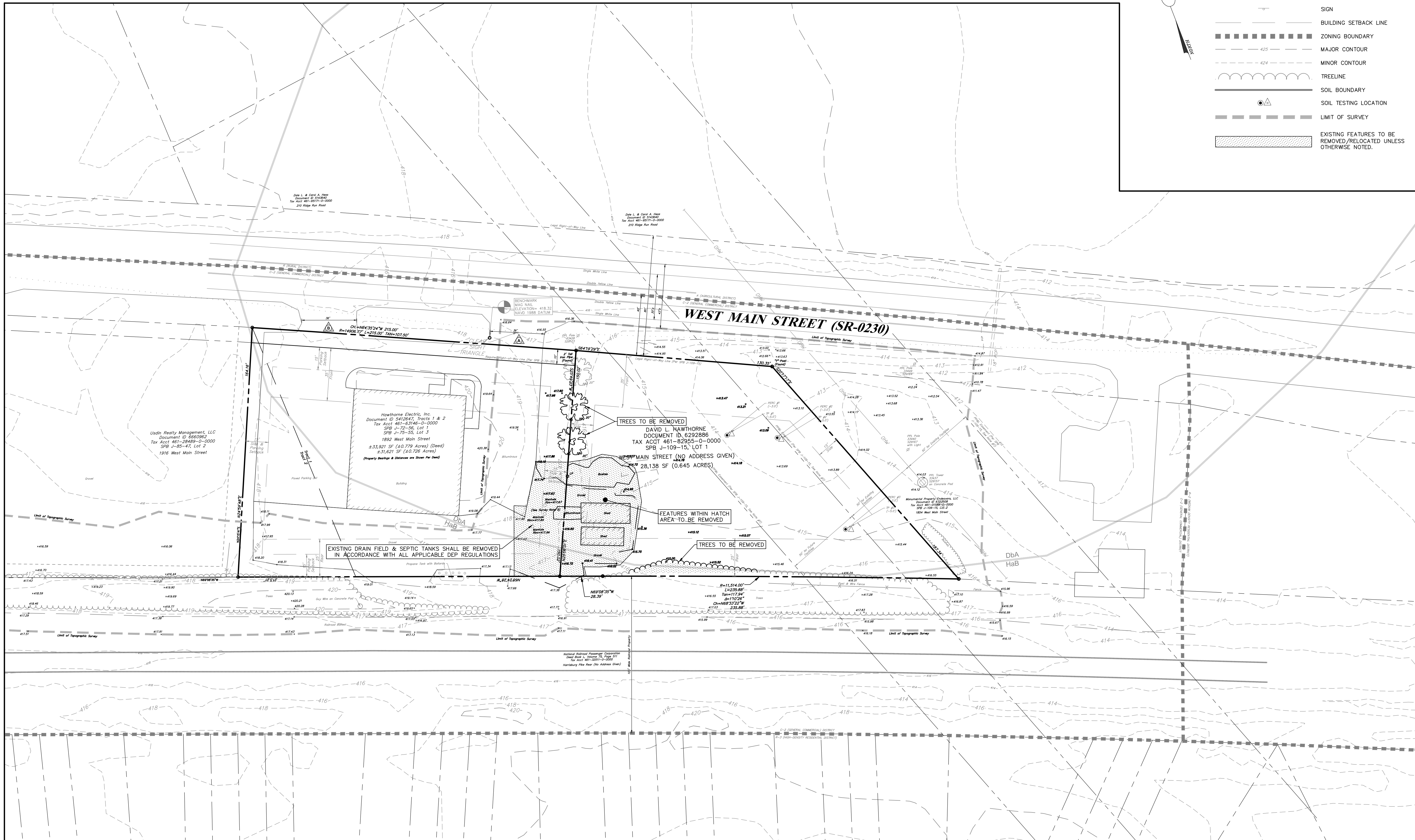
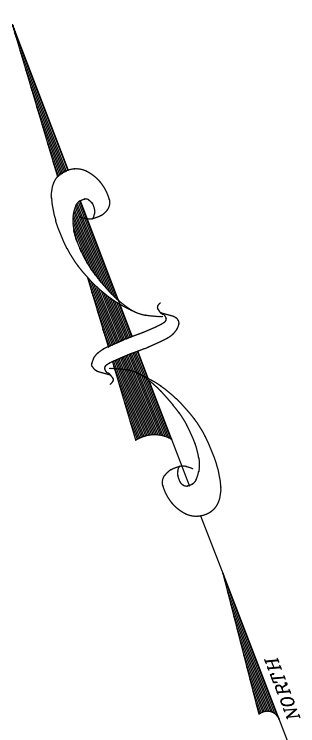


Table with 2 columns: DRAWN BY (BRK), CHECKED BY (SPG), DATE (FEBRUARY 9, 2026), PROJECT NO. (251195-001), SHEET (2 OF 11)



SAFE DISTANCE DATA

DRIVEWAY	POSTED MPH	SLOPE	LEFT DISTANCE REQUIRED	ACTUAL DISTANCE	RIGHT DISTANCE REQUIRED	ACTUAL DISTANCE
▲	55	-0.3	538'	600'+	+0.7	527'
▲	55	-0.4	538'	600'+	+0.4	538'



LEGEND

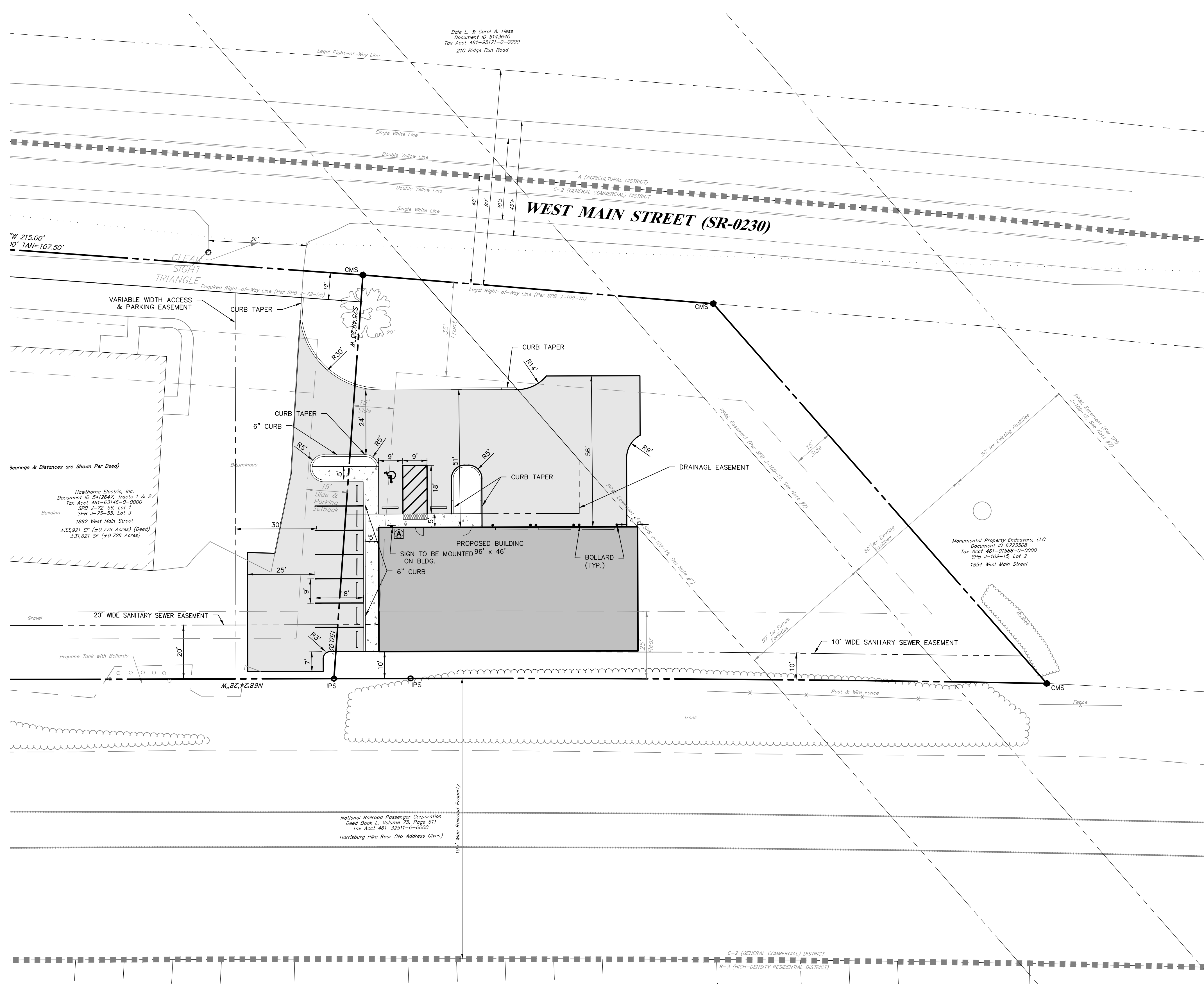
EXISTING FEATURES	
	SEWER MAIN & MANHOLE
	UTILITY POLE
	OVERHEAD WIRE
	EDGE OF PAVEMENT/DRIVEWAY
	RIGHT-OF-WAY LINE
	BOUNDARY & CORNER
	FENCE
	SIGN
	BUILDING SETBACK LINE
	ZONING BOUNDARY
	MAJOR CONTOUR
	MINOR CONTOUR
	TREELINE
	SOIL BOUNDARY
	SOIL TESTING LOCATION
	LIMIT OF SURVEY
	EXISTING FEATURES TO BE REMOVED/RELOCATED UNLESS OTHERWISE NOTED.

NO	BY	DATE	REVISION
1	BRK	02/09/2026	PER. IMP. ENGINEER & AUTHORITY REVIEW COMMENTS

CLIENT
 MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 CO. J. MARC HERSHEY
 380 W. BANBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION

SHEET TITLE
EXISTING CONDITIONS AND DEMOLITION PLAN



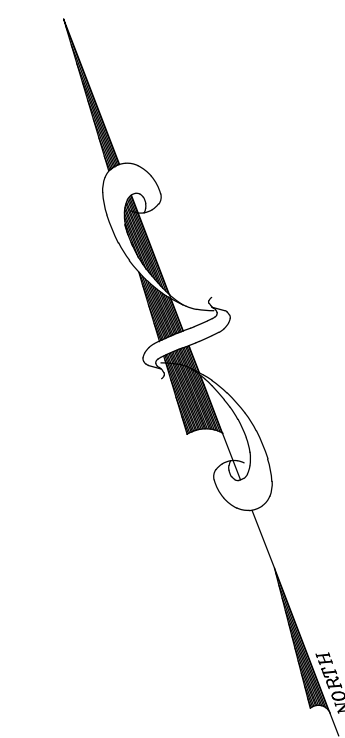
LEGEND

PROPOSED FEATURES

- EDGE OF PAVEMENT/DRIVEWAY
- SIGN
- BUILDING SETBACK LINE
- LOT LINE AND MARKER
- IPS (IRON PIN TO BE SET)
- CMS (CONCRETE MONUMENT TO BE SET)
- CONCRETE
- FULL DEPTH ON-SITE PAVING

SIGNAGE LEGEND

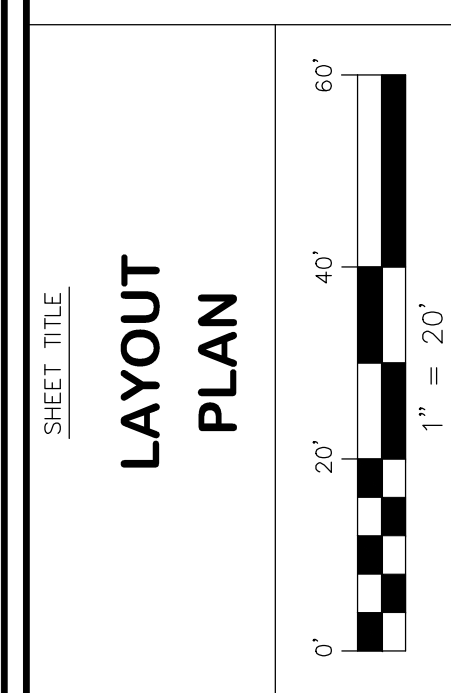
DESCRIPTION	SIZE	PaDOT DESIG.
HANDICAP / VAN ACCESSIBLE	12"x18"	R7-8
	12"x18"	R7-8F
	6"x12"	R7-8P

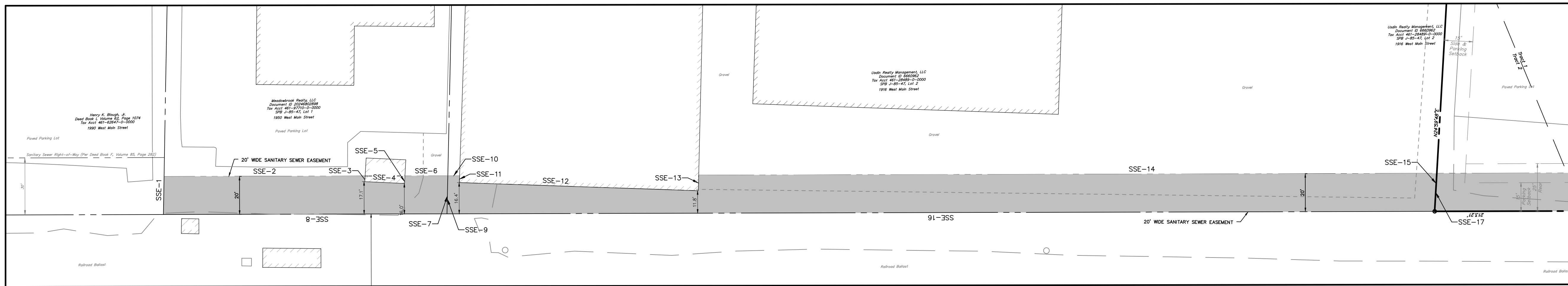


NO.	BY	DATE	REVISION
1	BRK	02/09/2026	PER. TWP. ENGINEER & AUTHORITY REVIEW COMMENTS

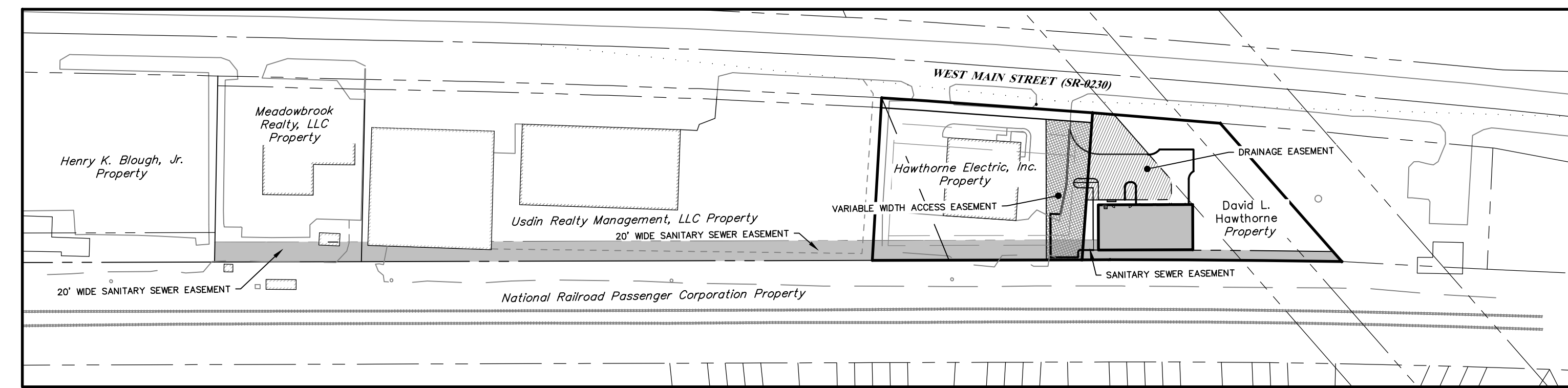
CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 c/o J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA





SANITARY SEWER EASEMENT
1" = 30'



OVERALL EASEMENT PLAN
1" = 100'

ACCESS EASEMENT LINE DATA

LINE	BEARING	LENGTH
AE-1	S25°06'01"W	10.00
AE-2	S25°06'01"W	140.02
AE-3	N69°08'35"W	36.28
AE-4	N20°51'25"E	143.10
AE-5	S64°54'09"E	46.77

DRAINAGE EASEMENT LINE DATA

LINE	BEARING	LENGTH
DE-1	S64°19'29"E	21.83
DE-2	S20°10'47"E	88.73
DE-3	S20°51'25"W	19.84
DE-4	N69°08'35"W	86.58
DE-5	N25°06'01"E	88.85

SEWER EASEMENT LINE DATA

LINE	BEARING	LENGTH
SSE-1	N21°59'53"E	20.00
SSE-2	S69°08'35"E	105.82
SSE-3	S24°11'55"W	2.95
SSE-4	S66°20'41"E	20.92
SSE-5	N24°11'55"E	3.98
SSE-6	S69°08'35"E	22.56
SSE-7	S22°14'29"W	20.01
SSE-8	N69°08'35"W	149.24
SSE-9	N22°14'29"E	20.01

SEWER EASEMENT LINE DATA

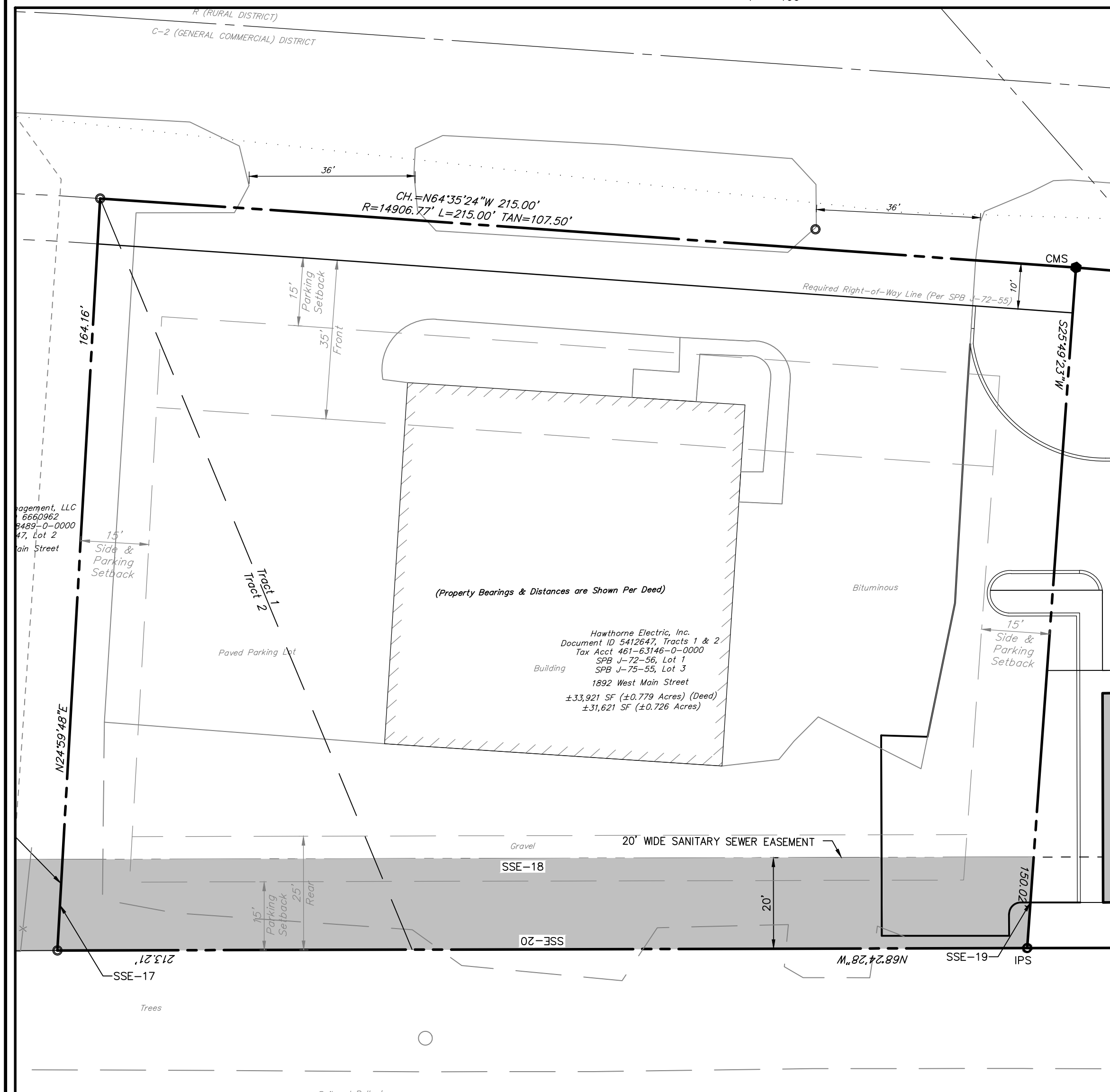
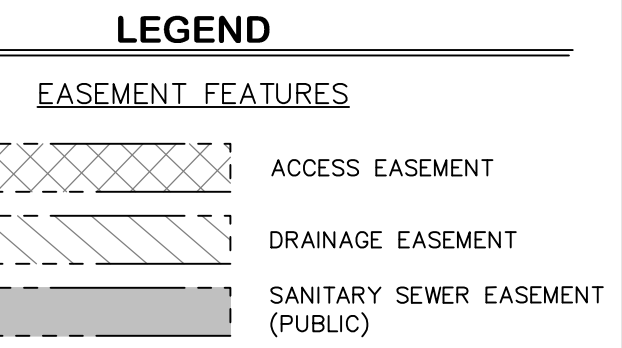
LINE	BEARING	LENGTH
SSE-10	S69°08'35"E	6.19
SSE-11	S22°55'41"W	3.58
SSE-12	S67°03'27"E	125.86
SSE-13	N22°21'52"E	8.17
SSE-14	S69°08'35"E	388.45
SSE-15	N24°15'41"E	20.04
SSE-16	N69°08'35"W	519.80
SSE-17	N24°15'41"E	20.04
SSE-18	S69°08'35"E	213.50

SEWER EASEMENT LINE DATA

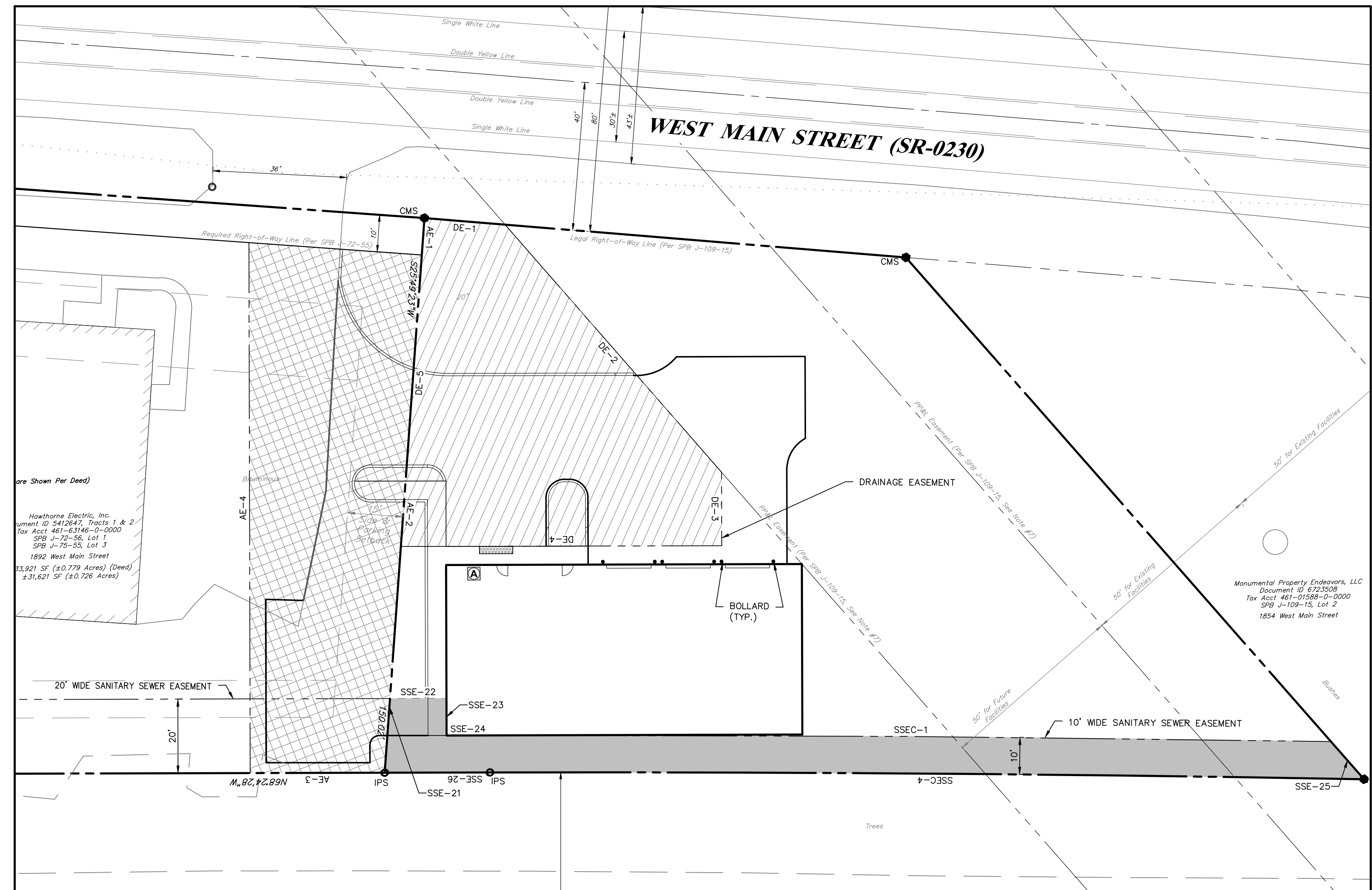
LINE	BEARING	LENGTH
SSE-19	S25°06'01"W	20.05
SSE-20	N69°08'35"W	213.21
SSE-21	N25°06'01"E	10.03
SSE-22	S69°08'35"E	15.23
SSE-23	S20°51'25"W	10.00
SSE-24	S69°08'35"E	11.67
SSE-25	S20°17'17"E	13.52
SSE-26	N69°08'35"W	28.39

SEWER EASEMENT CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
SSEC-1	11524.00	226.98'	113.50'	110°7'43"	S68°34'44"E	226.98'
SSEC-4	11514.00	235.88'	117.94'	110°26'	N68°33'22"W	235.88'



SANITARY SEWER EASEMENT
1" = 20'



ACCESS, DRAINAGE AND SANITARY SEWER EASEMENT
1" = 20'

CLIENT

MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY

PROJECT TITLE

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION

DATE

FEBRUARY 9, 2026

PROJECT NO.

251195-001

REVISION

NO	BY	DATE
1	BRK	02/07/2026

ENGINEER & AUTHORITY REVIEW COMMENTS

1. BRK 02/07/2026

PROJECT TITLE

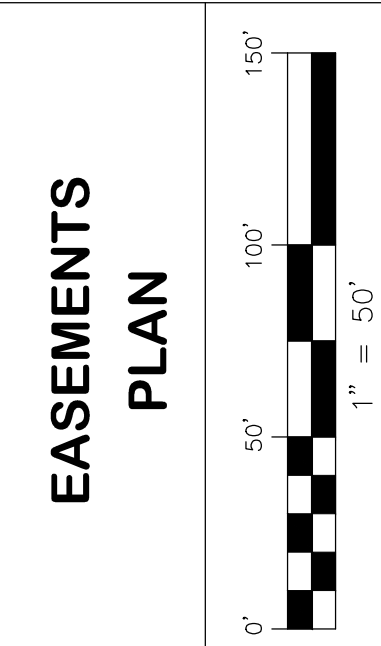
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION

DATE

FEBRUARY 9, 2026

PROJECT NO.

251195-001



SEAL

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CHECKED BY: SPG

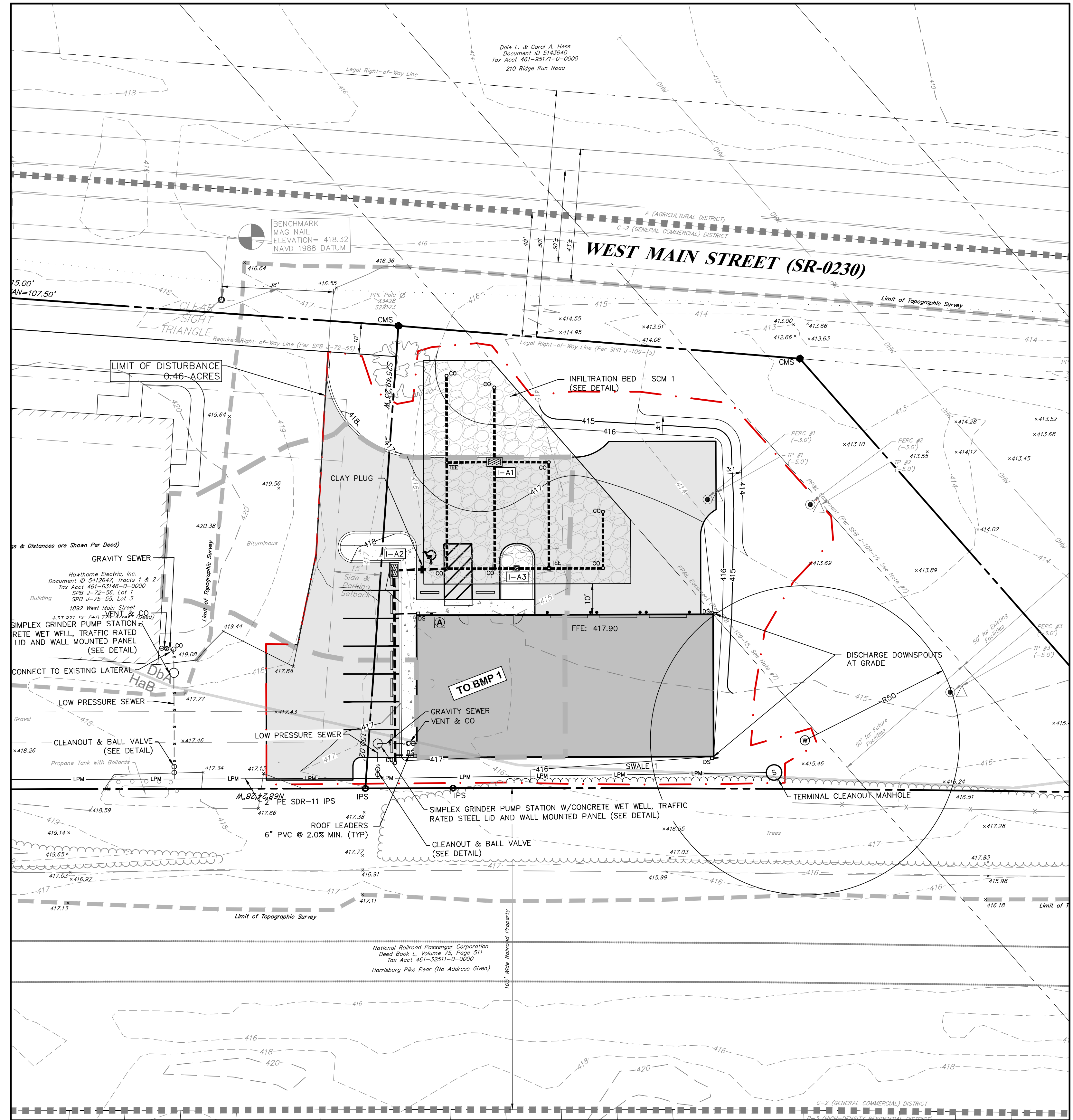
DATE: FEBRUARY 9, 2026

PROJECT NO.: 251195-001

SHEET: 5 OF 11



GRADING PLAN



UTILITY PLAN

LEGEND

PROPOSED FEATURES

	WELL
	SANITARY SEWER LOW PRESSURE MAIN
	WATER LATERAL & VALVE
	GRAVITY SANITARY SEWER LATERAL
	SOLID STORM PIPE, DOWNSPOUT & CLEANOUT
	PERFORATED STORM PIPE, INLET
	INFILTRATION BED
	MAJOR CONTOUR
	MINOR CONTOUR
	EDGE OF TREELINE
	LIMIT OF DISTURBANCE
	DRAINAGE BOUNDARY



1	BRK	02/10/2026	PER. REV.	ENGINEER & AUTHORITY REVIEW COMMENTS	REVISION
NO	BY	DATE			

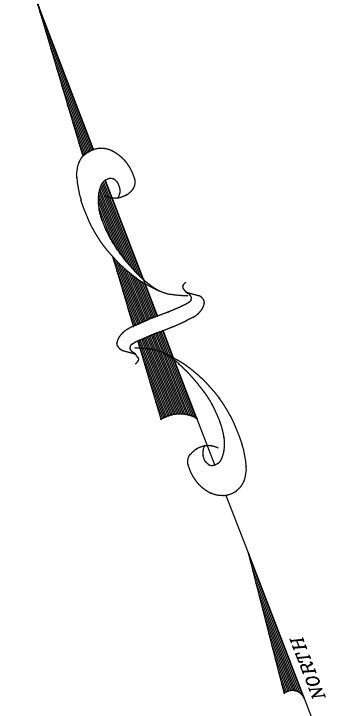
CLIENT
 MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 C/O J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-6220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION

SHEET TITLE
GRADING AND UTILITY PLAN

SEAL

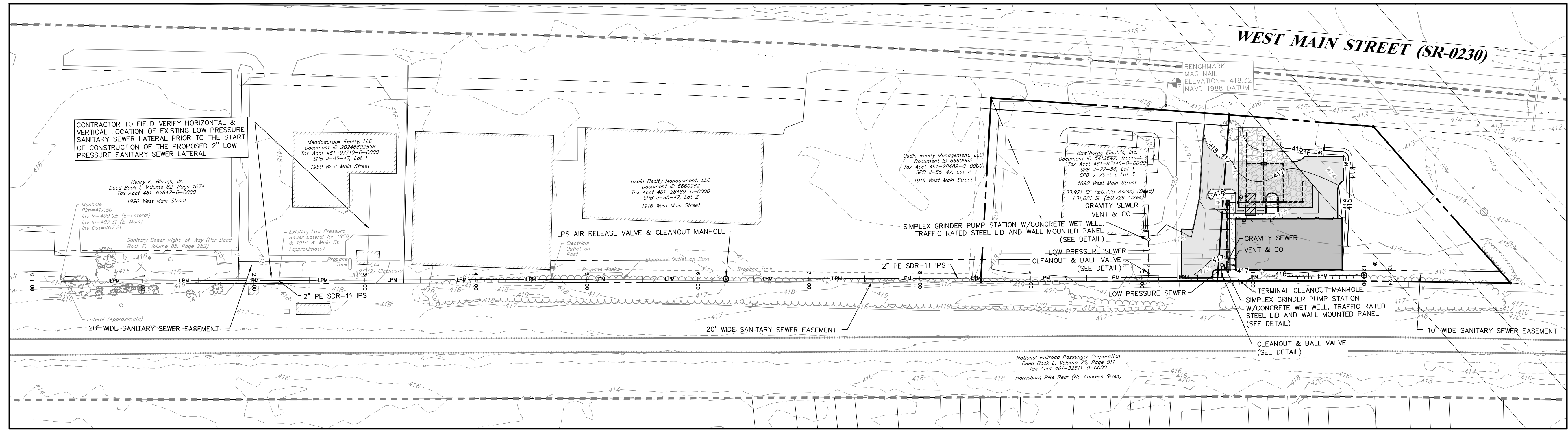
DRAWN BY: BRK
 CHECKED BY: SPG
 DATE: FEBRUARY 9, 2026
 PROJECT NO.: 251195-001
 SHEET: 6 OF 11



NO	BY	DATE	REVISION
1	BRK	02/10/2026	PER. IMP. ENGINEER & AUTHORITY REVIEW COMMENTS

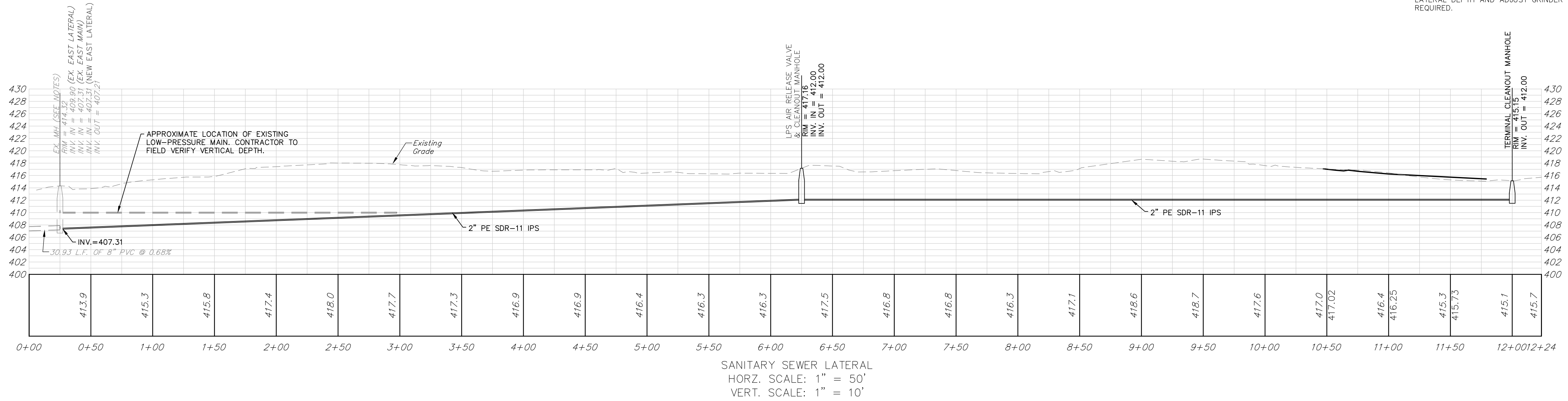
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 CO. J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



PLAN VIEW
 SCALE: 1" = 50'

- SEWER NOTES:**
- INSTALL DETECTABLE WARNING TAPE CONSISTING OF POLYETHYLENE FILM ENCASED IN A METALLIC CORE, MINIMUM 6 INCHES WIDE AND 4 MILS THICK, COLOR CODED GREEN FOR SEWER, BEARING IN BLACK LETTERS - CAUTION: SEWER LINE BELOW.
 - LOW-PRESSURE SEWER MAIN MUST BE PRESSURE TESTED IN ACCORDANCE WITH THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS FOR SANITARY SEWER CONSTRUCTION 2024-04 (SEE SECTION 6 LOW PRESSURE SEWERS, SUB-ITEM E.3).
 - THE EXISTING MANHOLE AND THE TWO MANHOLES IMMEDIATELY DOWNSTREAM OF THE LOW-PRESSURE CONNECTION MANHOLE MUST BE LINED IN ACCORDANCE WITH THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS FOR SANITARY SEWER CONSTRUCTION 2024-04 (SEE SECTION 7 MANHOLES, SUB-ITEM B.6.b.(3)).
 - CONTRACTOR TO FIELD VERIFY HAWTHORNE ELECTRIC EXISTING BUILDING LATERAL DEPTH AND ADJUST GRINDER PUMP STATION INVERT AS REQUIRED.

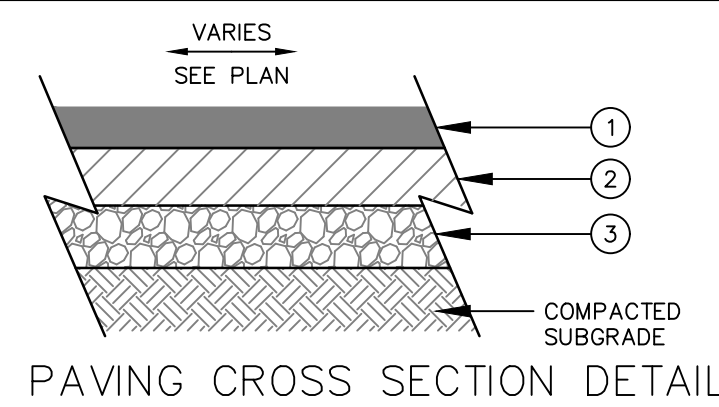


SANITARY SEWER PROFILE

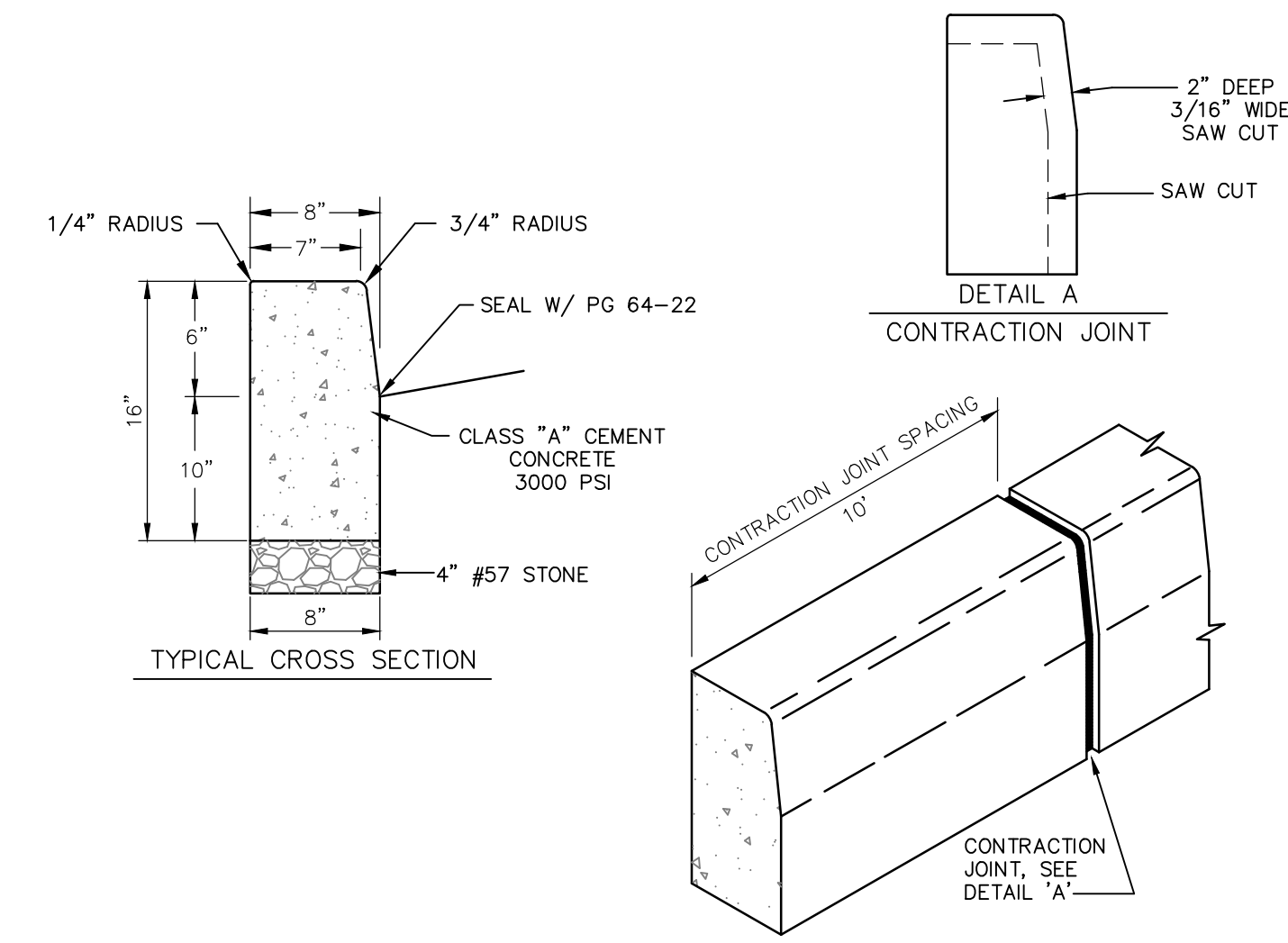
SEAL	
DRAWN BY:	CHECKED BY:
BRK	SPG
DATE:	FEBRUARY 9, 2026
PROJECT NO.:	251195-001
SHEET:	7 OF 11

ONSITE PAVING	
1	1.5" SUPERPAVE ASPHALT DESIGN, WEARING COURSE, PG 64-22, 0.3 TO <3.0 MILLION ESALS, 9.5 MM, SRL-H
2	4" SUPERPAVE ASPHALT DESIGN, BINDER COURSE, PG 64-22, 0.3 TO <3.0 MILLION ESALS, 25 MM, SRL-H
3	8" 2A MODIFIED STONE SUBBASE

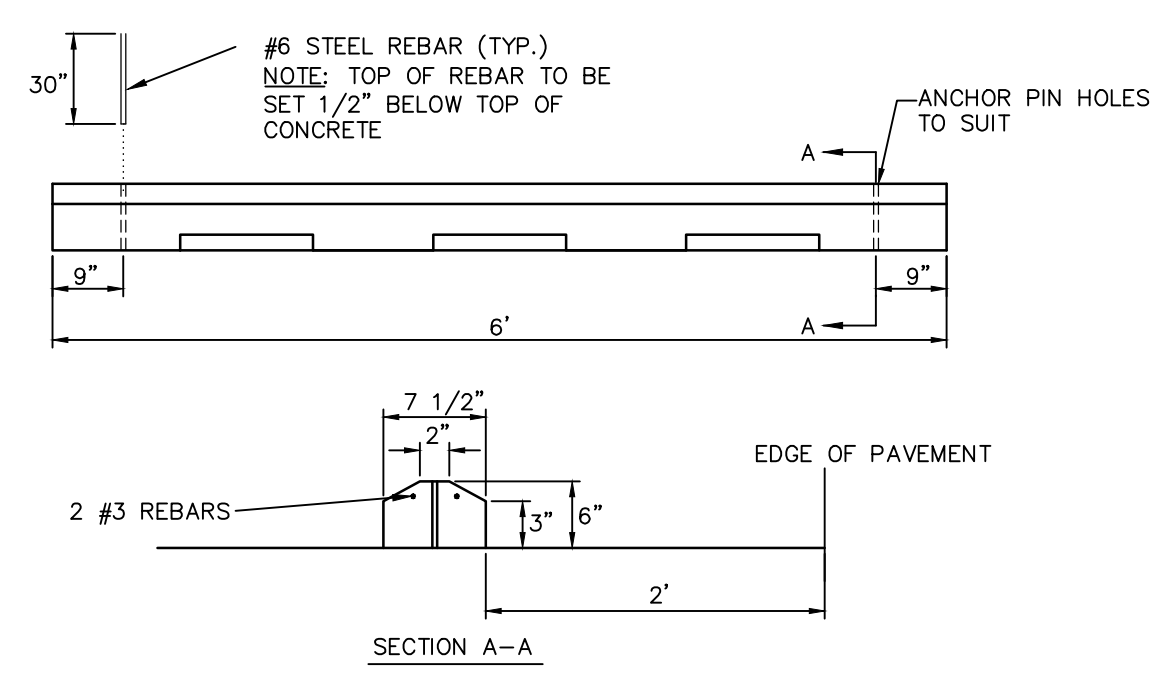
NOTE: ALL DEPTHS ARE FINAL COMPACTED DEPTHS



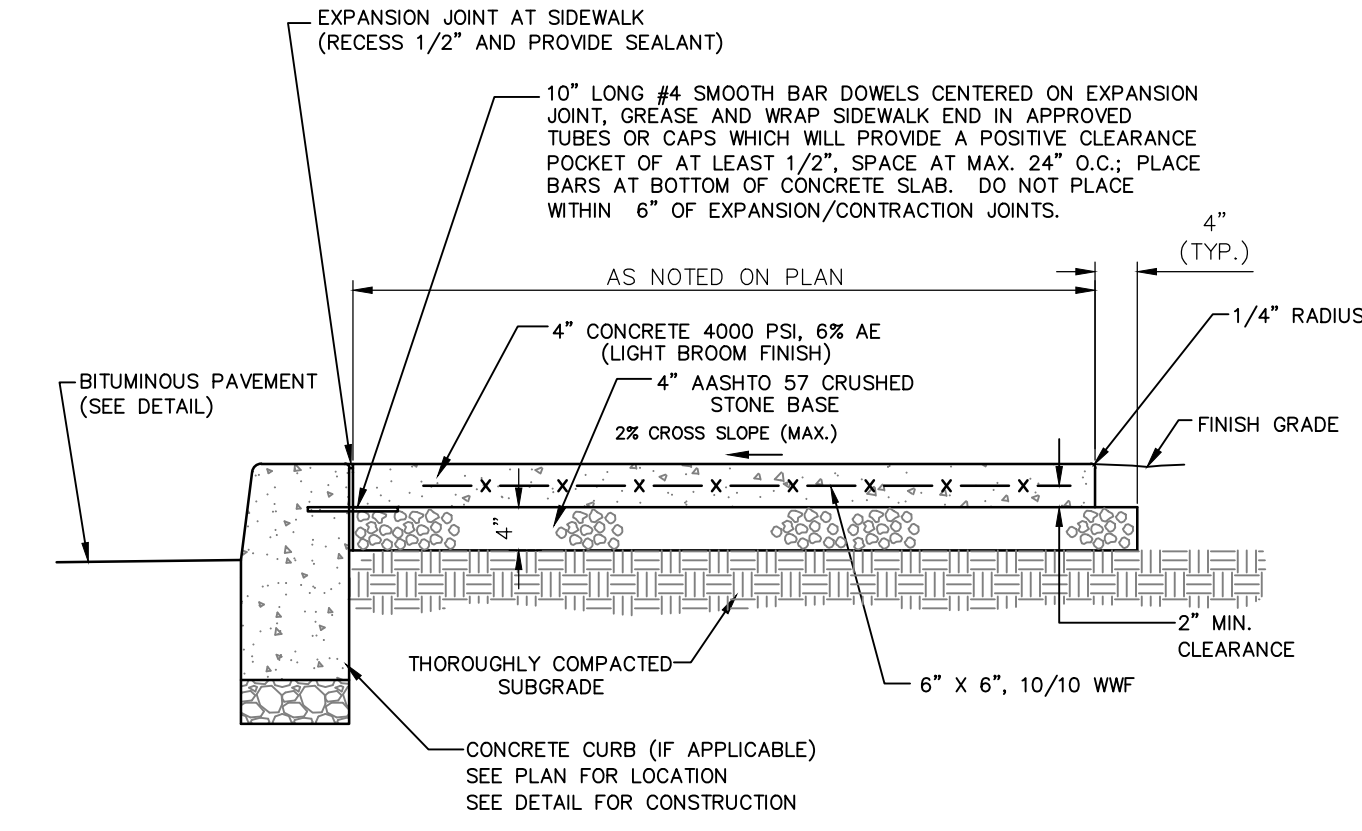
1 PAVING CROSS SECTION DETAIL NOT TO SCALE



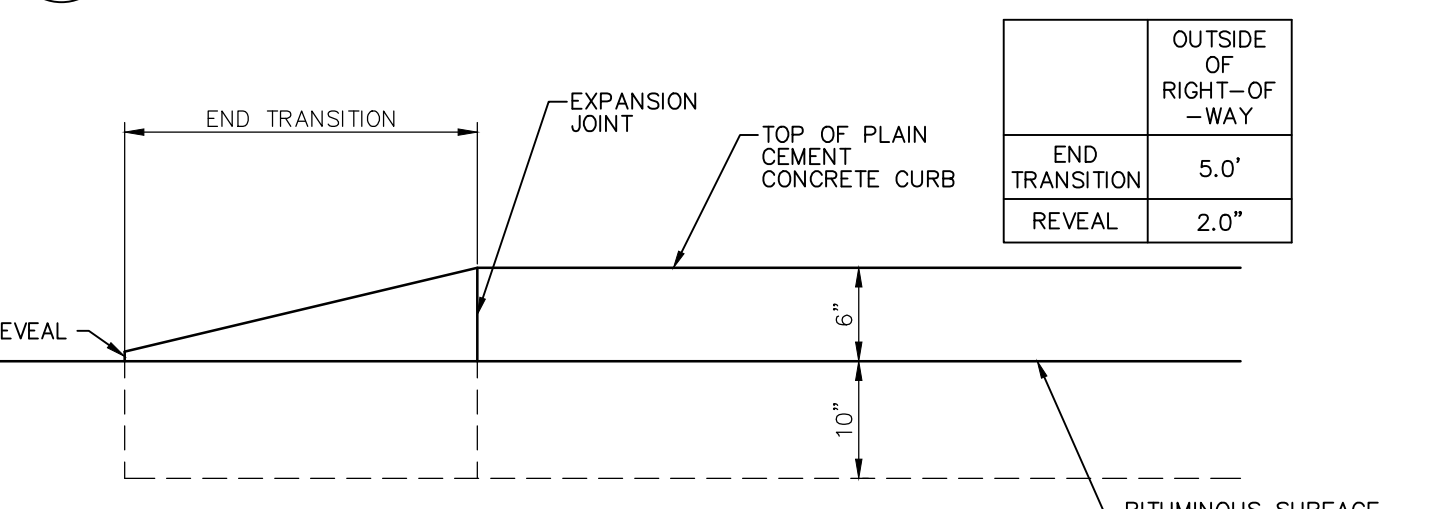
3 STANDARD VERTICAL CURB DETAIL NOT TO SCALE



4 CONCRETE WHEEL STOP NOT TO SCALE



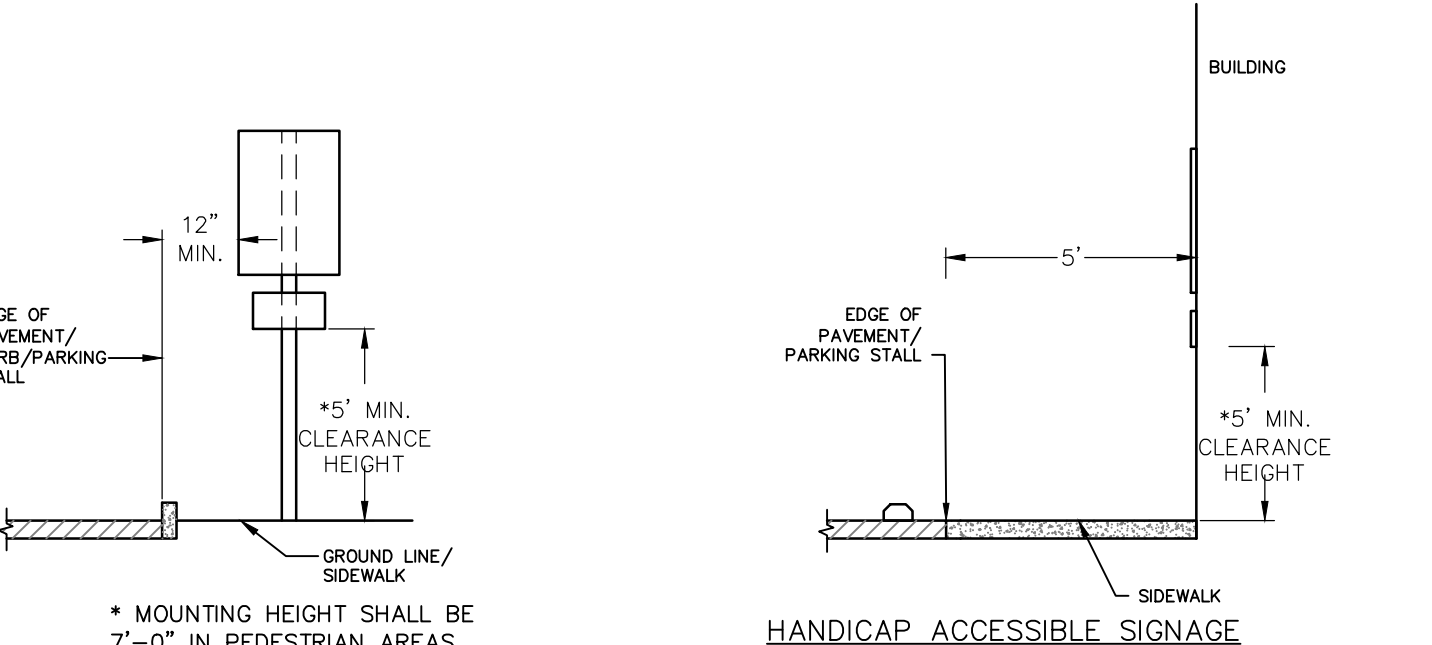
5 TYPICAL CONCRETE SIDEWALK SECTION NOT TO SCALE



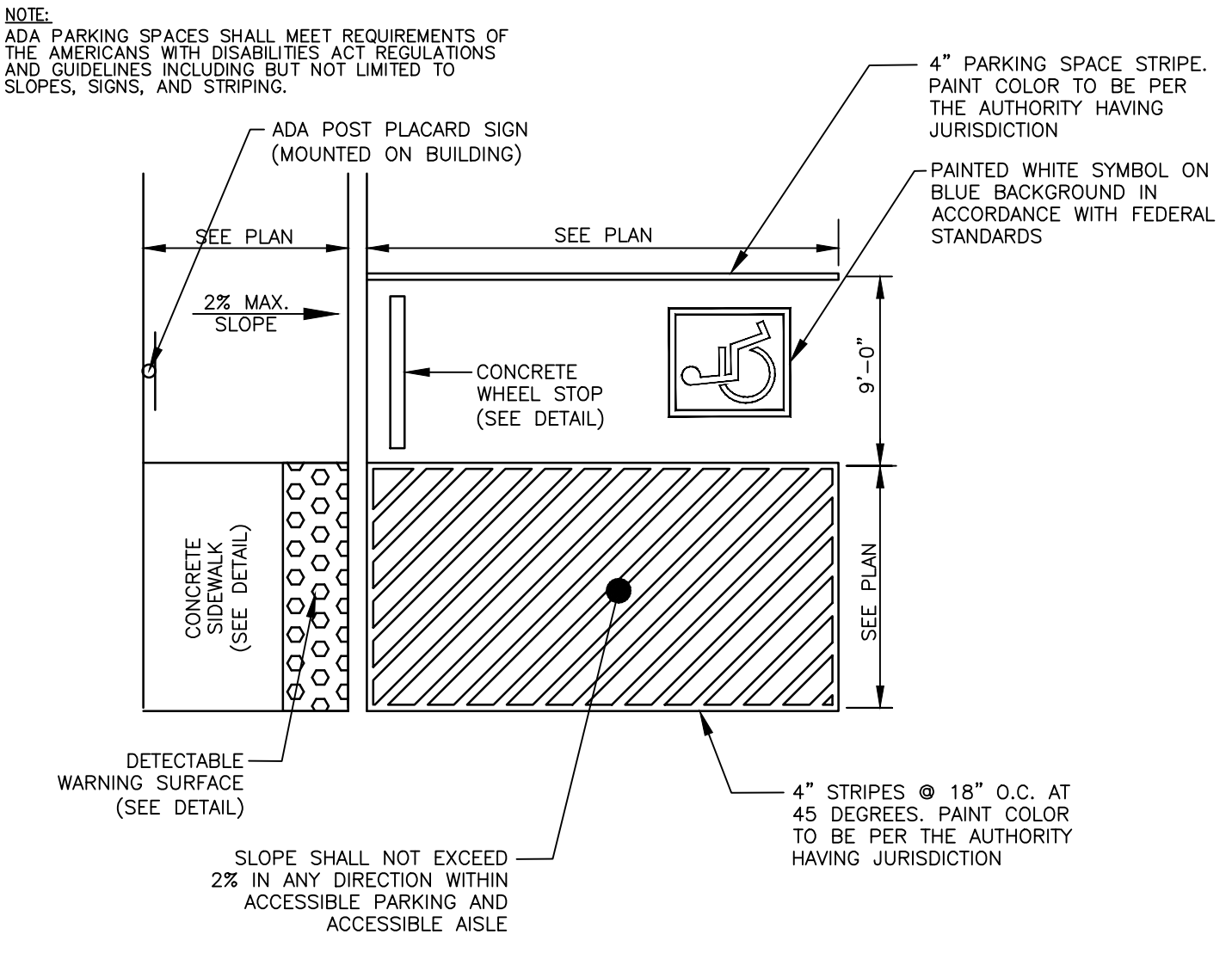
2 CURB END TAPER DETAIL NOT TO SCALE

DESCRIPTION	SIZE	PODOT DESG.	NOTES
HANDICAP SIGN	12"x18"	R7-S	BLUE BACKGROUND
VAN ACCESSIBLE	6"x12"	R7-8B	GREEN LETTERING ON WHITE BACKGROUND

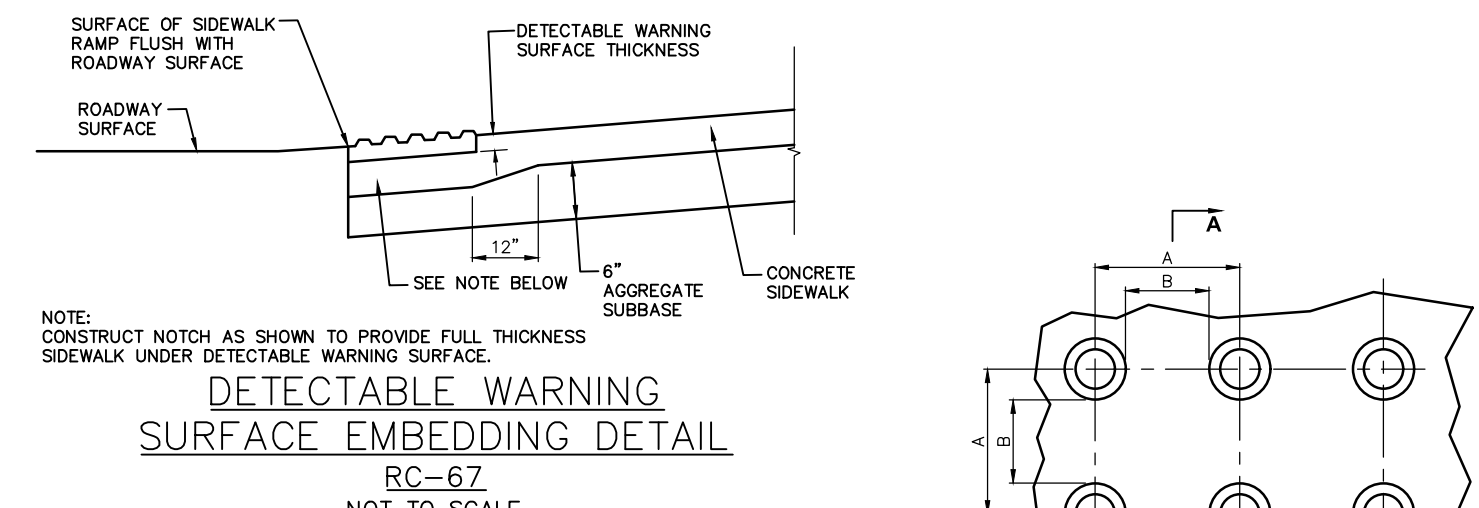
INSTALLATION NOTES:
 1. FOR HANDICAP ACCESSIBLE SIGNS, HEIGHTS SHALL BE IN ACCORDANCE WITH A.D.A. STANDARDS AND LOCATIONS AS SHOWN ON THE PLAN.
 2. SIGN PLATE TO BE AFFIXED WITH ANTI-THEFT HARDWARE.



6 SITE INFORMATION SIGNAGE, ADA SIGN MOUNTED TO BUILDING NOT TO SCALE

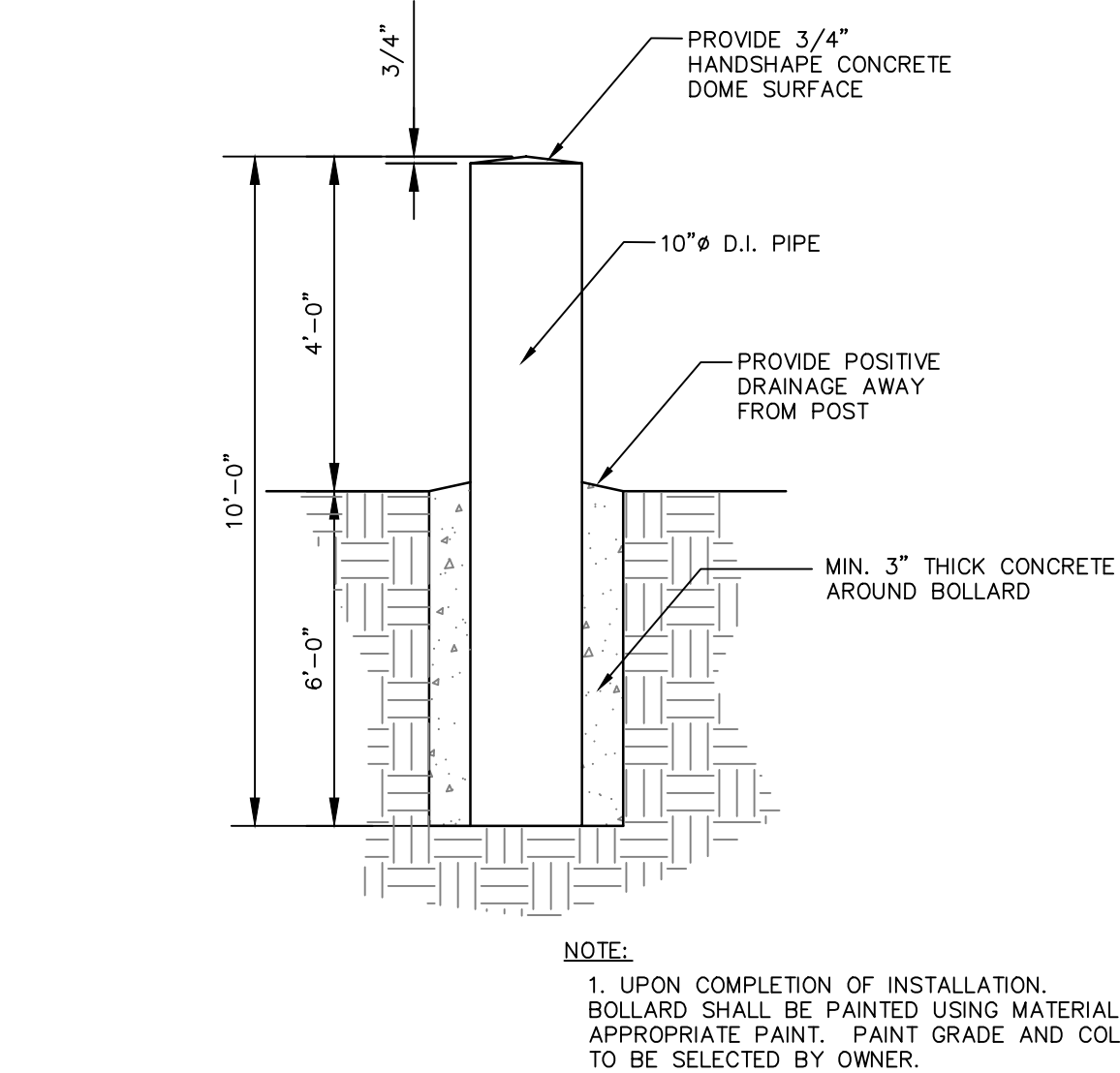


9 ADA PARKING NOT TO SCALE

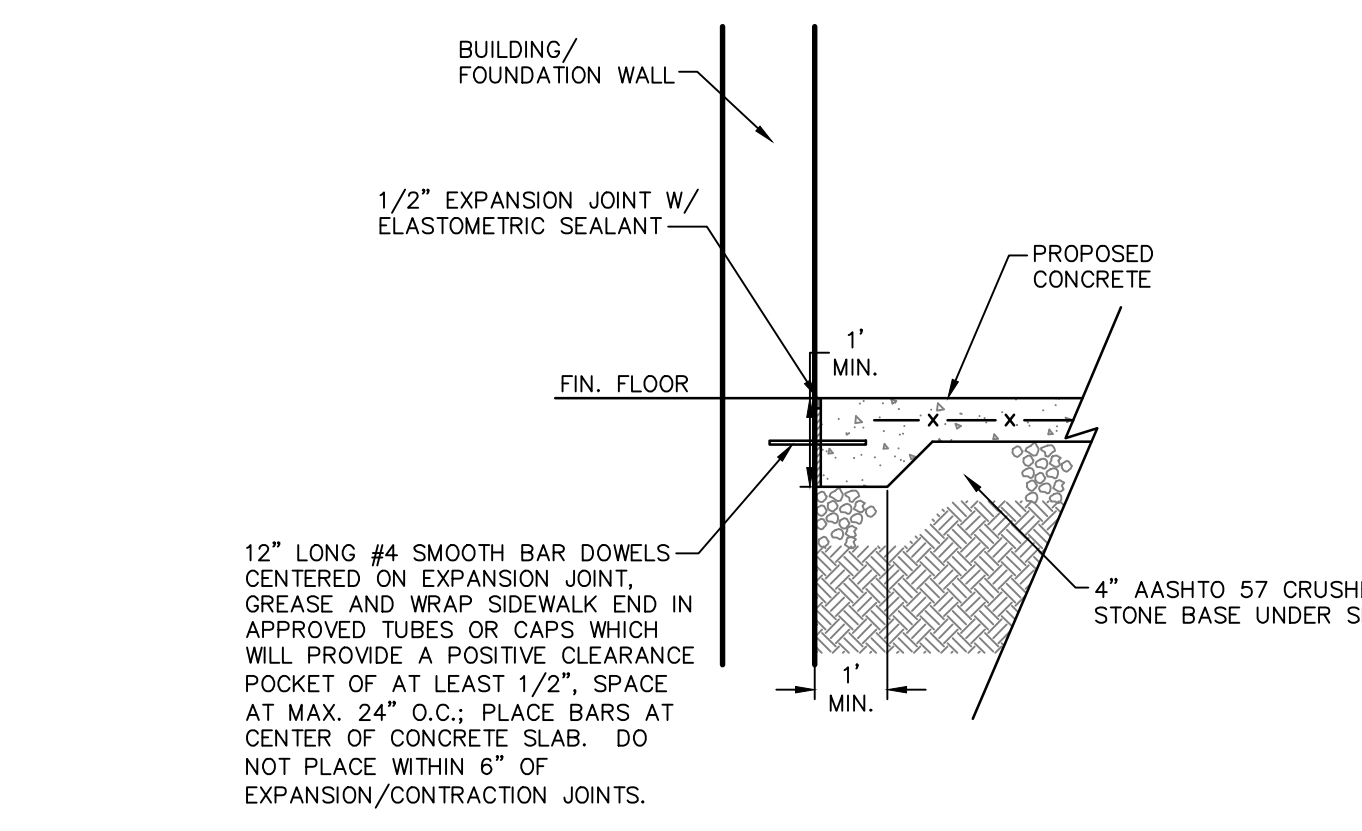


PODOT ACCESS RAMP NOTES:
 1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676 AND 694.
 2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE SIDEWALK RAMP ADJOINS ANY RIGID PAVEMENT OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
 3. SEE RC-47 DRAWINGS SHEET 7 FOR CROSSWALK DETAILS.
 4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
 5. PROVIDE SLIP RESISTANT TEXTURE ON RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE RAMP INCLUDING FLARED SIDE RAMP.
 6. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO EDGE OF PAVING.
 7. PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
 8. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE RAMP OR ACCESSIBLE ROUTE.
 9. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
 10. THE IMMEDIATE ADJOINING SURFACE AT THE BOTTOM AND TOP OF RAMPS IS NOT TO EXCEED ROADWAY PROFILE SLOPE WHEN LOCATED ADJACENT TO THE ROADWAY. IN AREAS WHERE THE ADJOINING SURFACE IS NOT ADJACENT TO THE ROADWAY, THE LONGITUDINAL SLOPE IS NOT TO EXCEED 5.00%. FOR ALL LOCATIONS DO NOT EXCEED 2.00% CROSS SLOPE. FOR LOCATIONS THAT REQUIRE A TURNING MANUEVER, THE MAXIMUM SLOPE IS 2.00% IN ALL DIRECTIONS. THE CHANGE IN GRADE AT THE BOTTOM OF THE RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 11.00%. SEE RC-47 DRAWINGS SHEET 8 FOR DETAILS.
 11. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
 12. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 150 (6") CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 8'-0" FOR A 1:12 SLOPE.)
 13. RAMPS MUST BE FLUSH TO ADJACENT ROADWAY, EDGE OF ROAD ELEVATIONS AT THE FLOW LINE SHALL BE GRADED TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING.

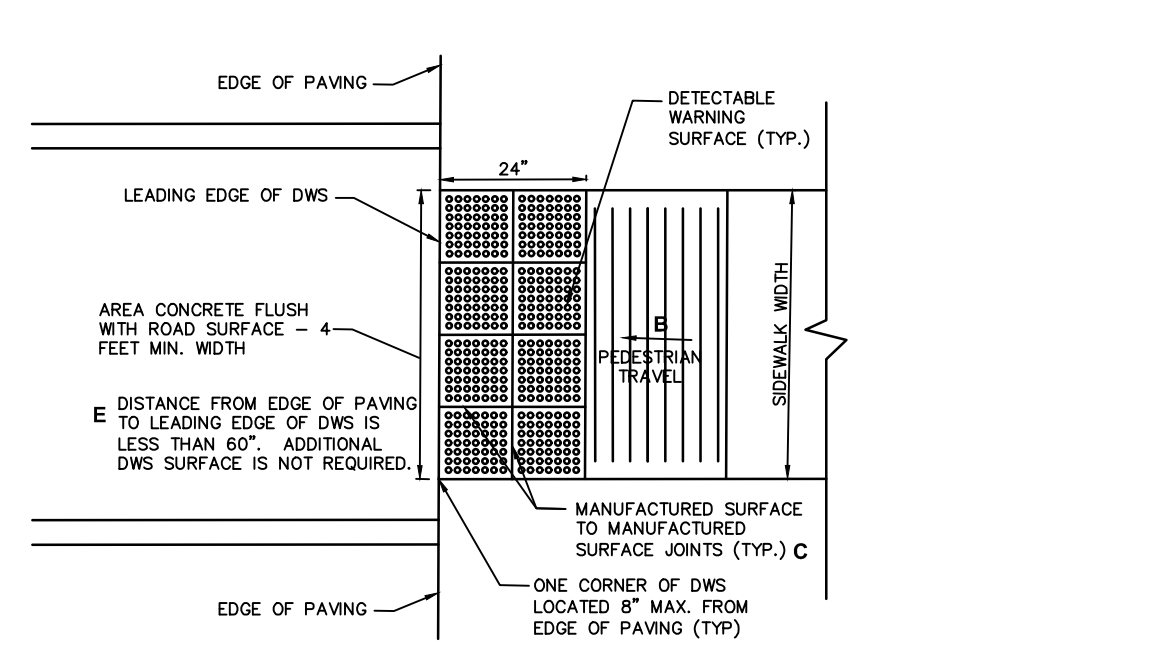
10 DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME - RC-67 NOT TO SCALE



7 CONCRETE BOLLARD NOT TO SCALE



8 TYPICAL SIDEWALK SECTION AT BUILDING AND THRESHOLDS NOT TO SCALE

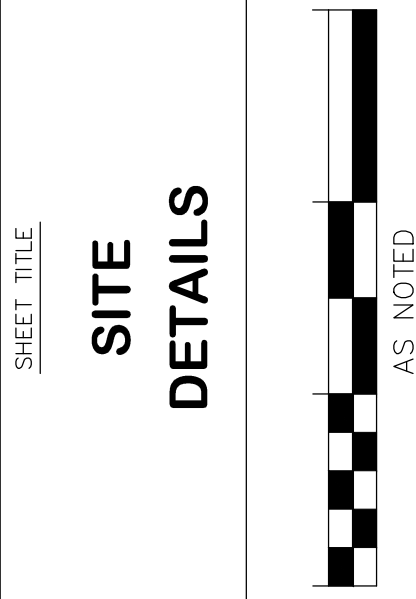


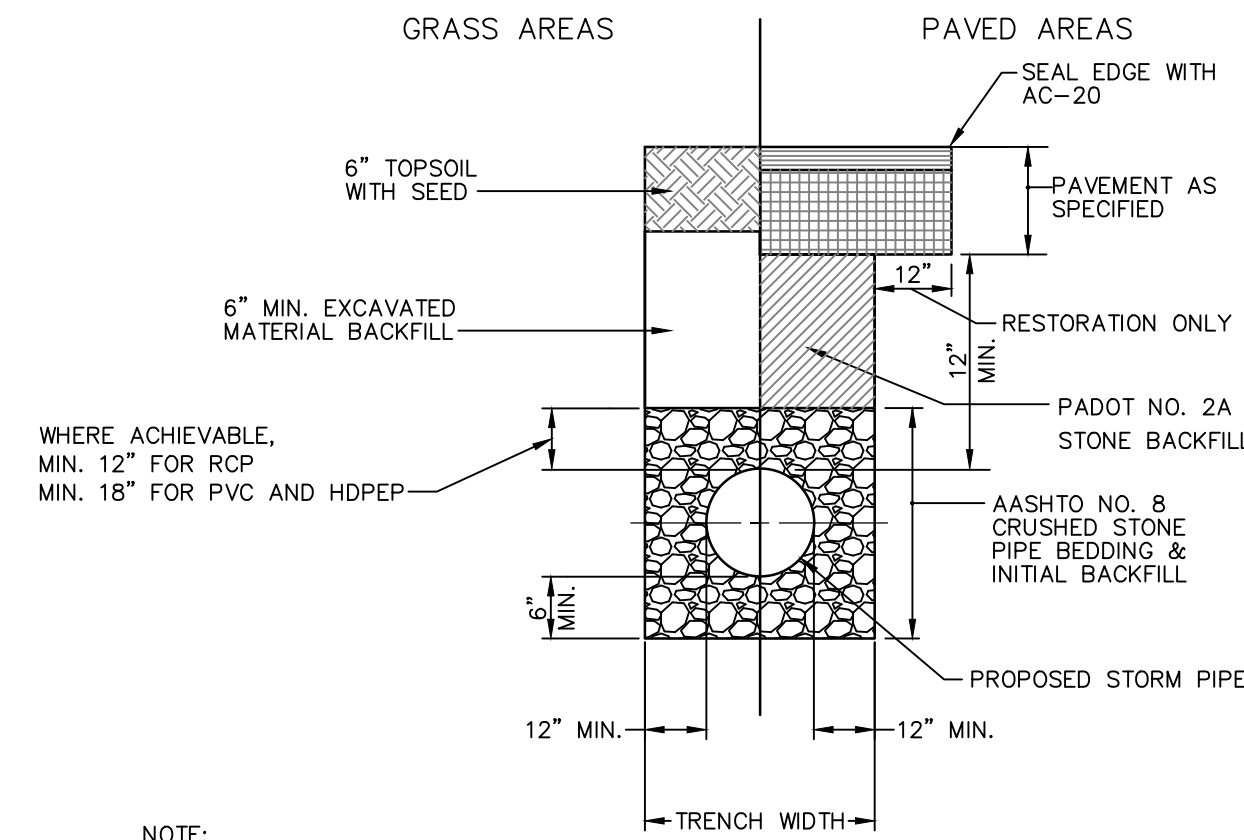
11 DETECTABLE WARNING SURFACE (DWS) AT CONCRETE WALKWAY - RC-67 NOT TO SCALE

NO	BY	DATE	REVISION
1	BRK	02/10/2026	PER. IMP. ENGINEER & AUTHORITY REVIEW COMMENTS

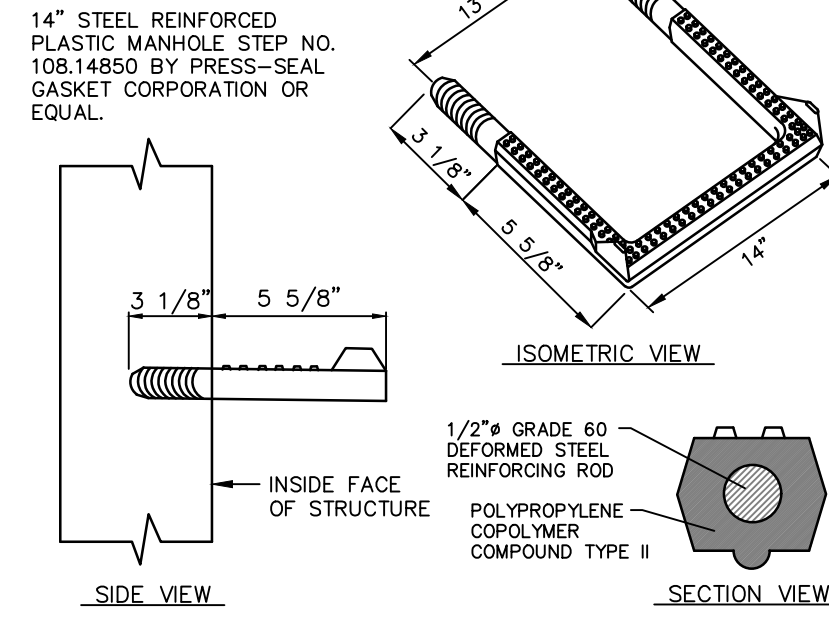
CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 606 J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



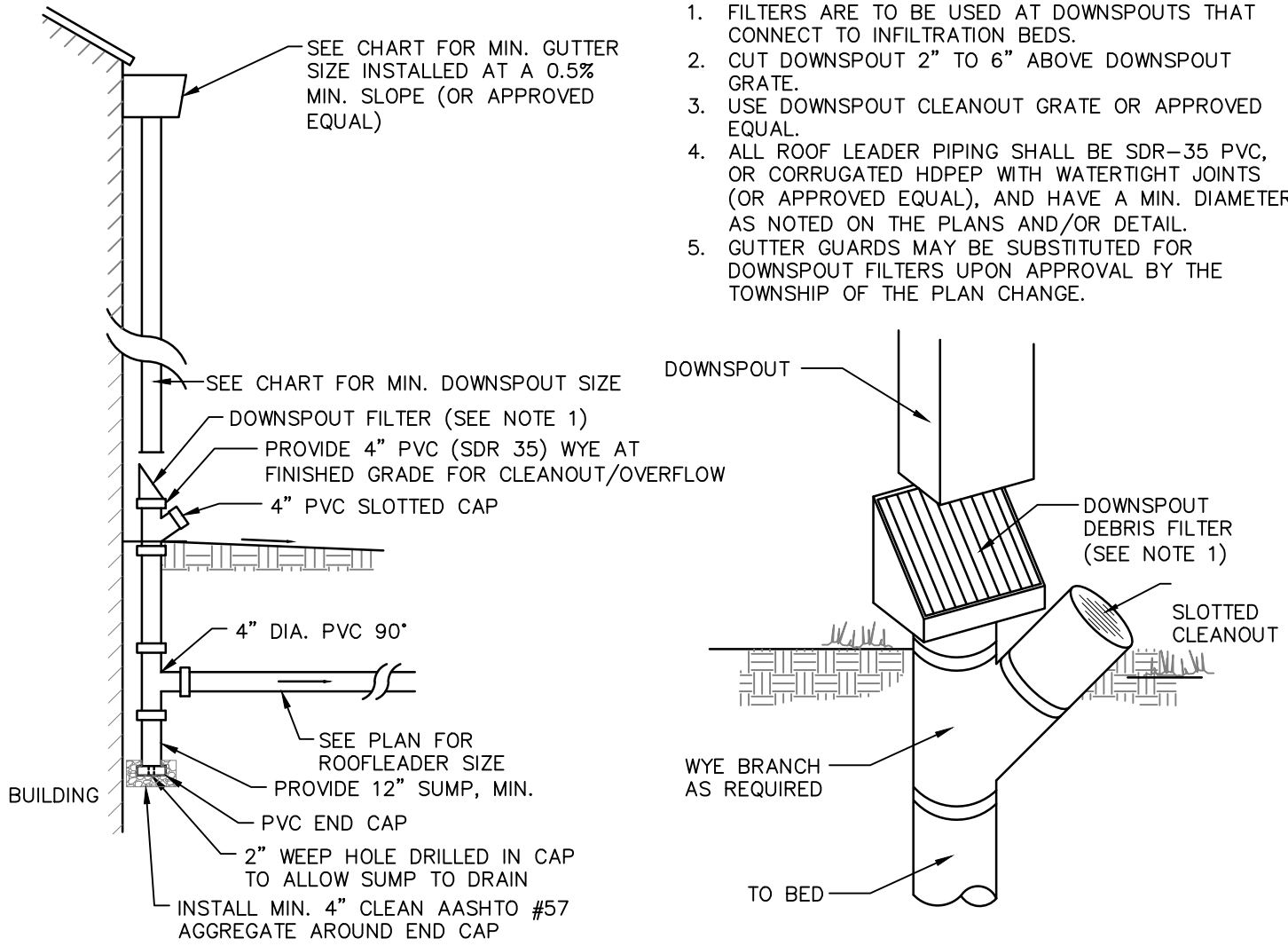


NOTE:
WHEN PIPES ARE TO BE INSTALLED IN FILL CONDITION, THE PLACEMENT OF FILL MATERIAL SHALL BE AS FOLLOWS:
A. THE SOIL SHALL BE PLACED IN LOOSE LAYERS NO GREATER THAN 8 INCHES THICK AND THEN COMPACTED WITH APPROPRIATE COMPACTION EQUIPMENT.
B. NO FILL PLACEMENT SHALL TAKE PLACE DURING WET WEATHER AND NO FILL SHALL BE PLACED ON A FROZEN SUBGRADE.

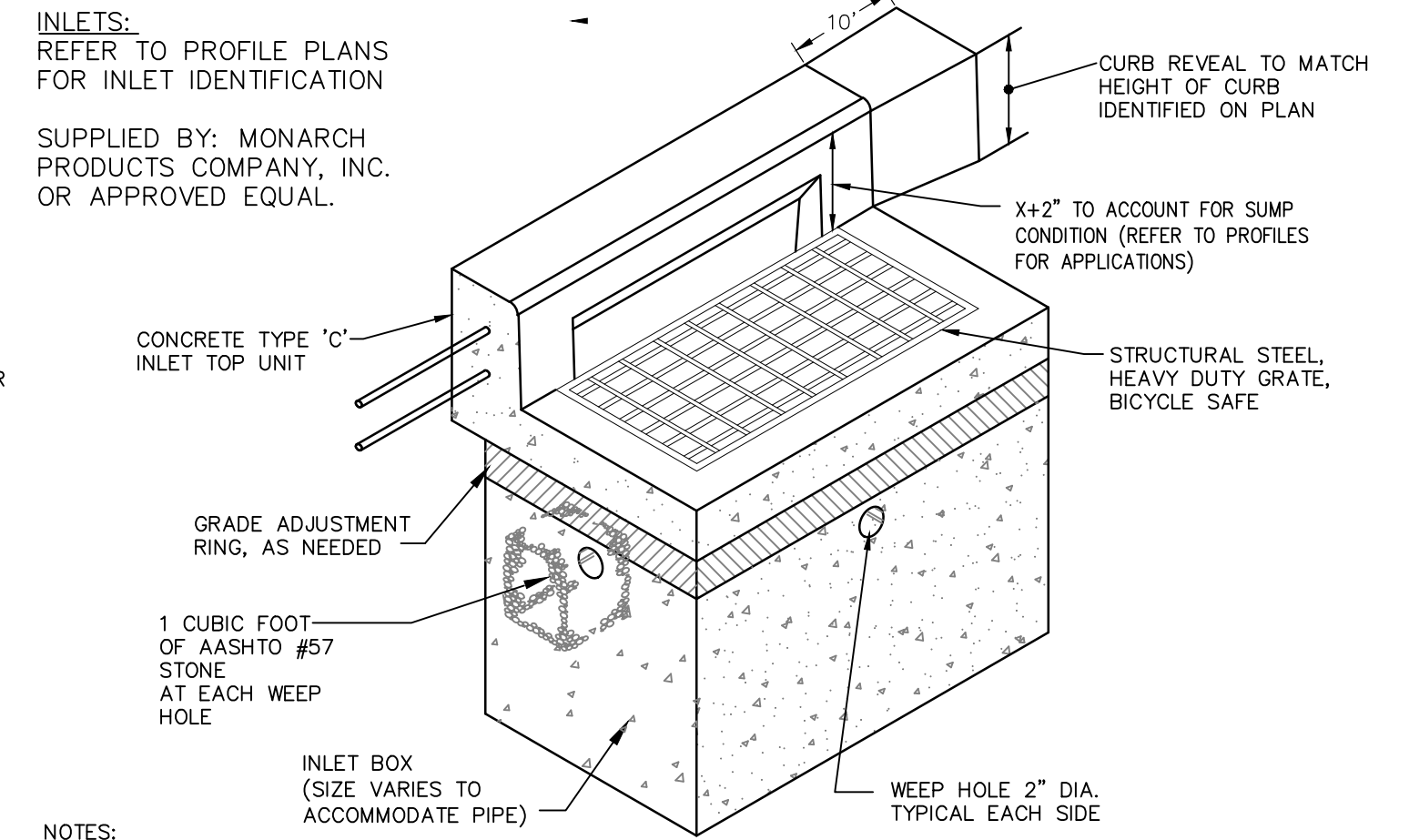


STEP SPECIFICATIONS:
STEPS SHALL BE 1/2" GRADE 60 DEFORMED STEEL REINFORCING ROD CONFORMING TO ASTM A615 AND COMPLETING ENCAPSULATED IN POLYPROPYLENE COPOLYMER COMPOUND TYPE II CONFORMING TO ASTM D401.
STEP INSTALLATION:
STEPS SHALL BE CAST IN-PLACE BY THE MANUFACTURER. STEPS SHALL BE ALIGNED VERTICALLY NOT MORE THAN 12" ON CENTER. STEPS SHALL NOT BE LOCATED OVER ANY FLOW CHANNEL.

MAX. ROOF AREA	GUTTER SIZE (MIN.)	DOWNSPOUT SIZE (MIN.)
640 SF	4.0"H x 4.0"W	3" x 4"



GUTTER, ROOF DRAIN CONNECTION AND DOWNSPOUT FILTER



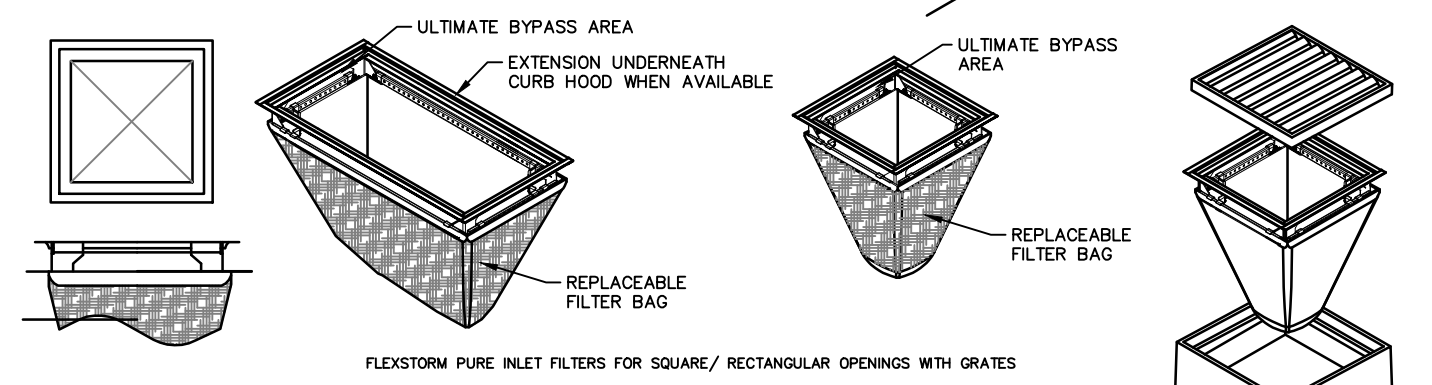
INLETS:
REFER TO PROFILE PLANS FOR INLET IDENTIFICATION

SUPPLIED BY: MONARCH PRODUCTS COMPANY, INC. OR APPROVED EQUAL.

NOTES:
1. FILTERS ARE TO BE USED AT DOWNSPOUTS THAT CONNECT TO INFILTRATION BEDS.
2. CUT DOWNSPOUT 2" TO 6" ABOVE DOWNSPOUT GRATE.
3. USE DOWNSPOUT CLEANOUT GRATE OR APPROVED EQUAL.
4. ALL ROOF LEADER PIPING SHALL BE SDR-35 PVC OR CORRUGATED HDPEP WITH WATERTIGHT JOINTS (OR APPROVED EQUAL), AND HAVE A MIN. DIAMETER AS NOTED ON THE PLANS AND/OR DETAIL.
5. GUTTER GUARDS MAY BE SUBSTITUTED FOR DOWNSPOUT FILTERS UPON APPROVAL BY THE TOWNSHIP OF THE PLAN CHANGE.

NOTE:
1. THIS STANDARD DEPICTS THE SHAPE AND DIMENSIONS REQUIRED FOR UNIFORMITY AND COMPATIBILITY. IT IS NOT INTENDED TO SHOW THE DETAILS REQUIRED FOR MANUFACTURING AND HANDLING. ONLY THOSE ITEMS WHICH ARE SUPPLIED BY AN APPROVED MANUFACTURER AS LISTED IN PA BULLETIN NO. 15 WILL BE PERMITTED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PADOT PUBLICATION 408, SECTION 605 & STANDARDS FOR ROADWAY CONSTRUCTION AND PADOT BUREAU OF DESIGN STANDARDS RC-45M* & RC-46MS. *OR MODIFIED TOPS.
3. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
4. THE SELECTION OF COMPONENTS TO ACHIEVE A SPECIFIED INLET TYPE IS THE CONTRACTOR'S RESPONSIBILITY.
5. CONCRETE TOP UNITS WHICH SEAT THE GRATE DIRECTLY WITHIN THE UNIT SHALL UTILIZE 1-1/4" X 1-1/4" ANGLES EMBEDDED IN THE CONCRETE AS BEARING AREA FOR THE GRATE.
6. INLET BOX SHALL BE PRECAST CONCRETE.
7. GRADE ADJUSTMENT RINGS MAY BE OF PRECAST CONCRETE CONSTRUCTION, AS APPROVED.
8. WHENEVER AN INLET IS REQUIRED WITHIN A MOUNTABLE CURB SECTION, A TYPE M INLET WILL BE LOCATED ADJACENT TO THE BACK EDGE OF THE CURB AND WILL BE FLUSH WITH THE PAVEMENT SURFACE. SEE PADOT RC-55M FOR INSTALLATION DETAILS (WHERE APPLICABLE).
9. STEPS SHALL BE INSTALLED ON ALL INLETS OVER 4" DEEP. STEPS SHALL BE A MAXIMUM OF 12" BETWEEN STEPS.
10. PIPES SHALL BE LOCATED INTO & OUT OF INLET BOXES AS REQUIRED TO AVOID PRE-CASTING OPENINGS IN INLET BOX AT CORNERS. THE PRECAST COMPANY SHALL PROVIDE SHOP DRAWINGS TO CONFIRM THAT THE BOX IS ADEQUATELY SIZED TO PROPERLY ACCEPT PIPING.
11. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOM, AND FALL SHALL BE MAINTAINED TOWARD OUTLET UNLESS OTHERWISE NOTED.
12. PROPOSED INLETS SHALL BE CAPABLE OF HANDLING AN HS-20 LOADING.

1 9 STORM PIPE TRENCH NOT TO SCALE



FLEXSTORM PERMANENT FRAME WITH REPLACEABLE PURE FILTER BAG FOR POST CONSTRUCTION (PC)		
FOR RECTANGULAR / SQUARE OPENINGS WITH GRATES		
Clear Drop Thru Opening Size (not grate size)	Flexstorm Frame/Bag P/N	Typical Inlet Size
Small: 12"x12" Up to 16"x16" (or 64" max Perimeter)	62SHD-PC	12"x12"/16"x16"
Medium: 16"x16" Up to 24"x24" (or 96" max Perimeter)	62MHD-PC	24"x24"
Large: 24"x24" Up to 30"x30" (or 120" max Perimeter)	62LHD-PC	48"x24"
XL: 32"x32" Up to 48"x48" (or 192" max Perimeter)	62XLHD-PC	48"x48"

INSTALLATION NOTES:
1. REMOVE GRATE.
2. MOUNT INLET FILTER FRAME ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE. INSTALL REPLACEABLE BAG ONTO FRAME.
3. REPLACE GRATE.

MANUFACTURER NOTES:
1. ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING.
2. TOTAL BYPASS CAPACITY: BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
3. UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.ADSPIPE.COM (ADS, INC., 866-287-8655)

INLETS:
I-A1 AND I-A2

CONTRACTOR TO VERIFY REQUIRED FLEXSTORM FRAME AND BAG UNIT SIZES FOR ALL INLETS PRIOR TO ORDERING

5 9 PERMANENT STAINLESS STEEL INLET FILTER FRAME WITH REPLACEABLE PURE INLET FILTER BAG NOT TO SCALE

2 9 INLET STEP NOT TO SCALE

NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com

WE PUT WATER IN ITS PLACE

PRODUCT SPECIFICATIONS:
PART #: 120FF
FRAME MATERIAL: POLYPROPYLENE
BODY COLOR: BLUE
FILTER BAG MATERIAL: NONWOVEN SPUNBONDED, POLYPROPYLENE
GETS/STILE: INERT TO BIOLOGICAL DEGRADATION AND RESISTANT TO NATURALLY ENCOUNTERED CHEMICALS, ALKALIS AND ACIDS.
WATER FLOW RATE: (ASTM D 4491) 95 GPM/SF
OPENING SIZE: 50 US SIEVE SIZE
TRAPEZOIDAL TEAR: (ASTM D 4533) 40 LBS.
UV RESISTANCE: (ASTM D 4355) 70% @ 500 HRS
FIB: 12" HSI CATCH BASINS
WEIGHT: 0.10 LBS.

NOTES:
1. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. DO NOT SCALE DRAWING.
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

INFILTRATION
12" CATCH BASIN FILTER

REVISION DATE 3-6-2015

6 9 12" CATCH BASIN & FILTER (I-A3) NOT TO SCALE

NO.	BY	DATE	REVISION
1	BRK	02/10/2026	PER. TRIP. ENGINEER & AUTHORITY REVIEW COMMENTS

CLIENT:
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
c/o J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PROJECT TITLE:
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE:
PCSM DETAILS
AS NOTED

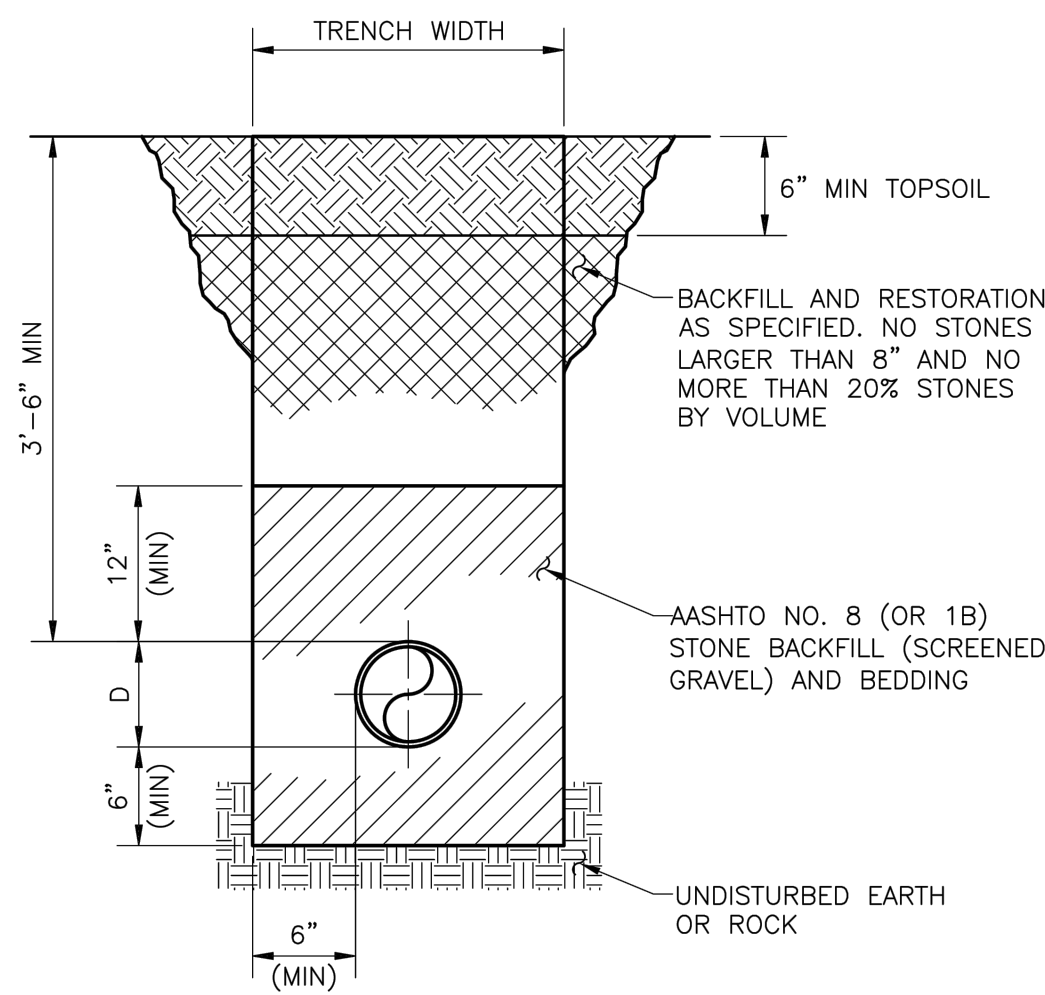
SEAL

DRAWN BY: BRK
CHECKED BY: SPG

DATE: FEBRUARY 9, 2026

PROJECT NO.: 251195-001

SHEET: 9 OF 11

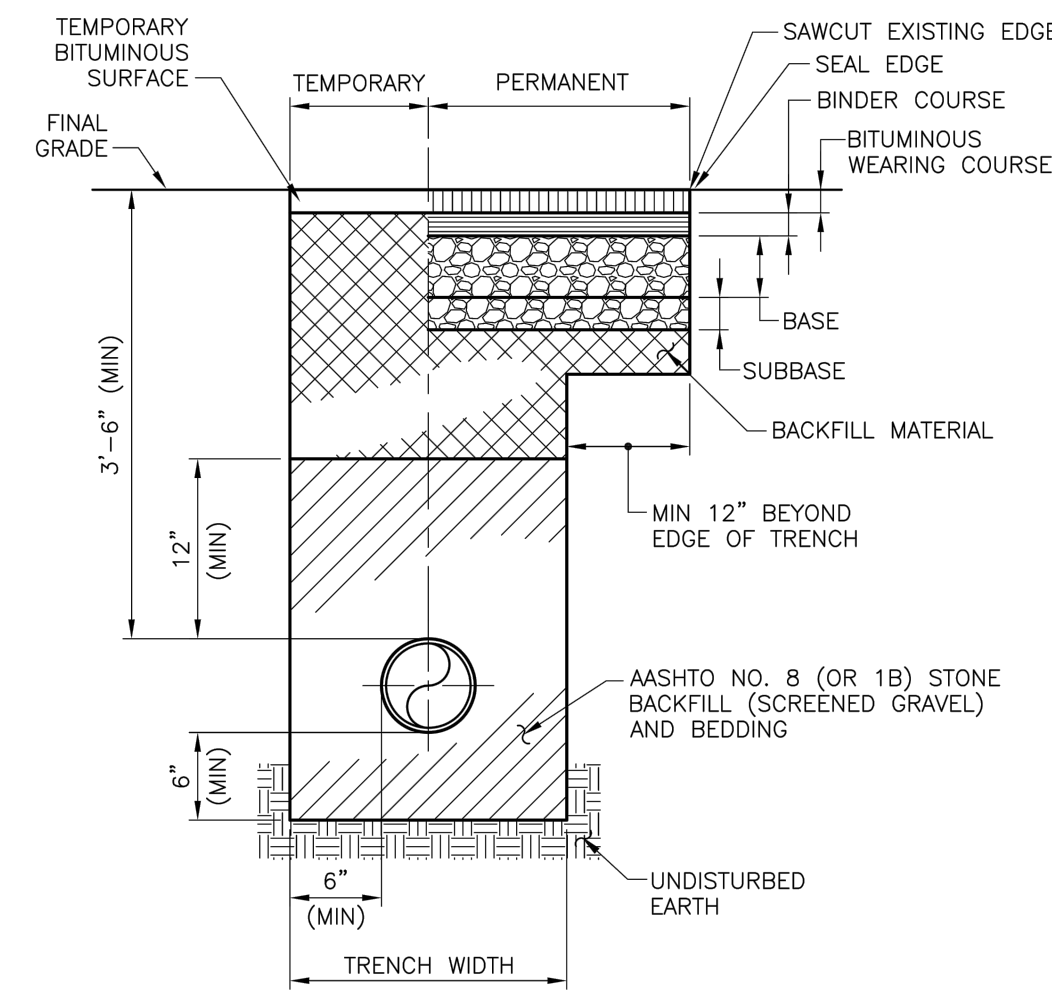


NOTE:
TRENCH SIDE SLOPES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS. BEGIN SIDE SLOPES, IF USED, APPROXIMATELY 18" ABOVE TOP OF PIPE (TYPICAL ALL BEDDING TYPES).

LAWN / YARD RESTORATION (ERSA DETAIL 1)

1
11

NOT TO SCALE

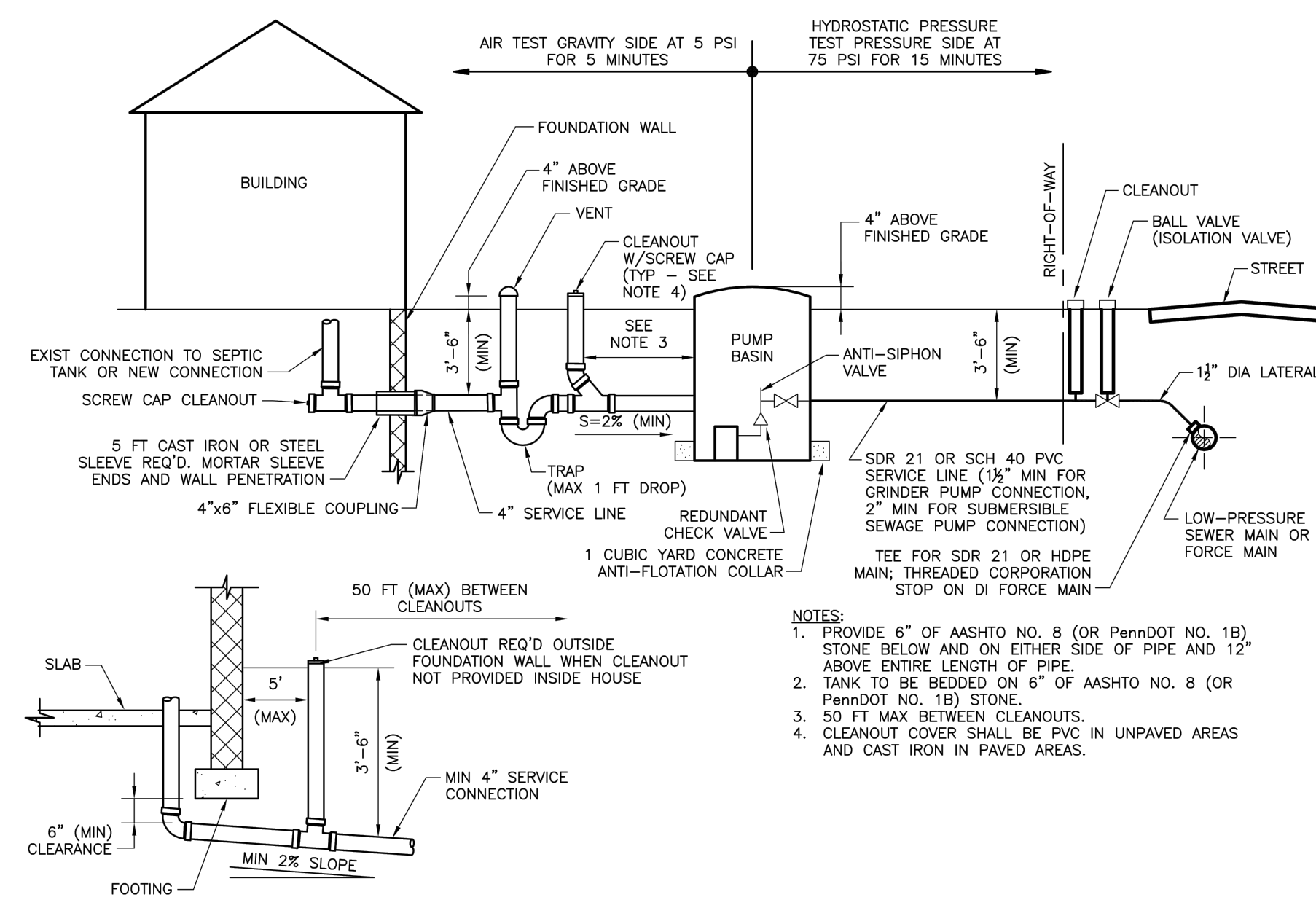


NOTES:
1. BACKFILL & PAVEMENT RESTORATION IN STATE ROADS SHALL BE AS SPECIFIED BY PADOT.
2. BACKFILL & PAVEMENT RESTORATION IN TOWNSHIP ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED IN THE GOVERNING MUNICIPAL SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

PAVEMENT RESTORATION (ERSA DETAIL 3)

2
11

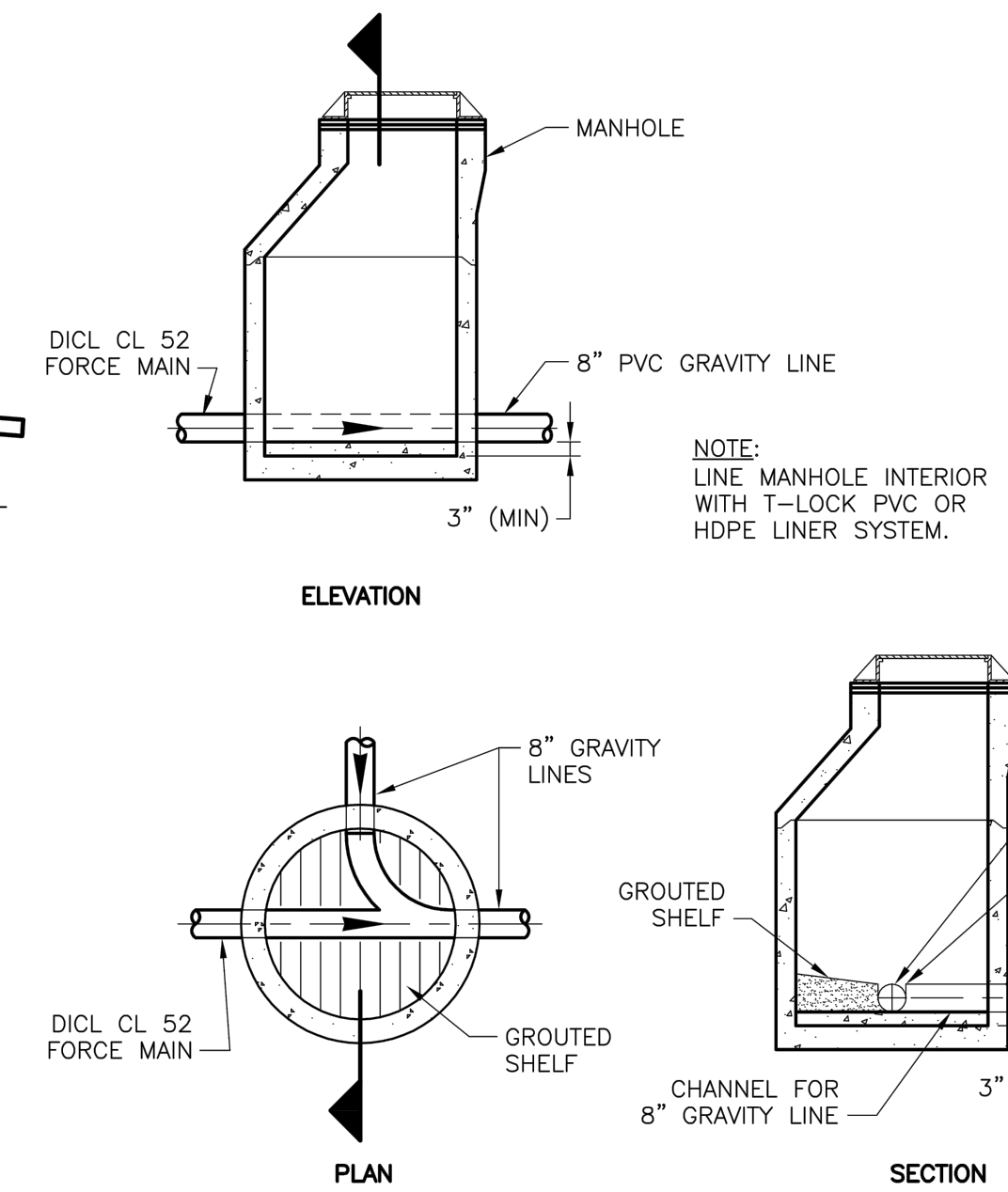
NOT TO SCALE



TYPICAL LOW PRESSURE SERVICE LINE TO LOW PRESSURE SEWER MAIN OR FORCE MAIN - (ERSA DETAIL 13)

3
11

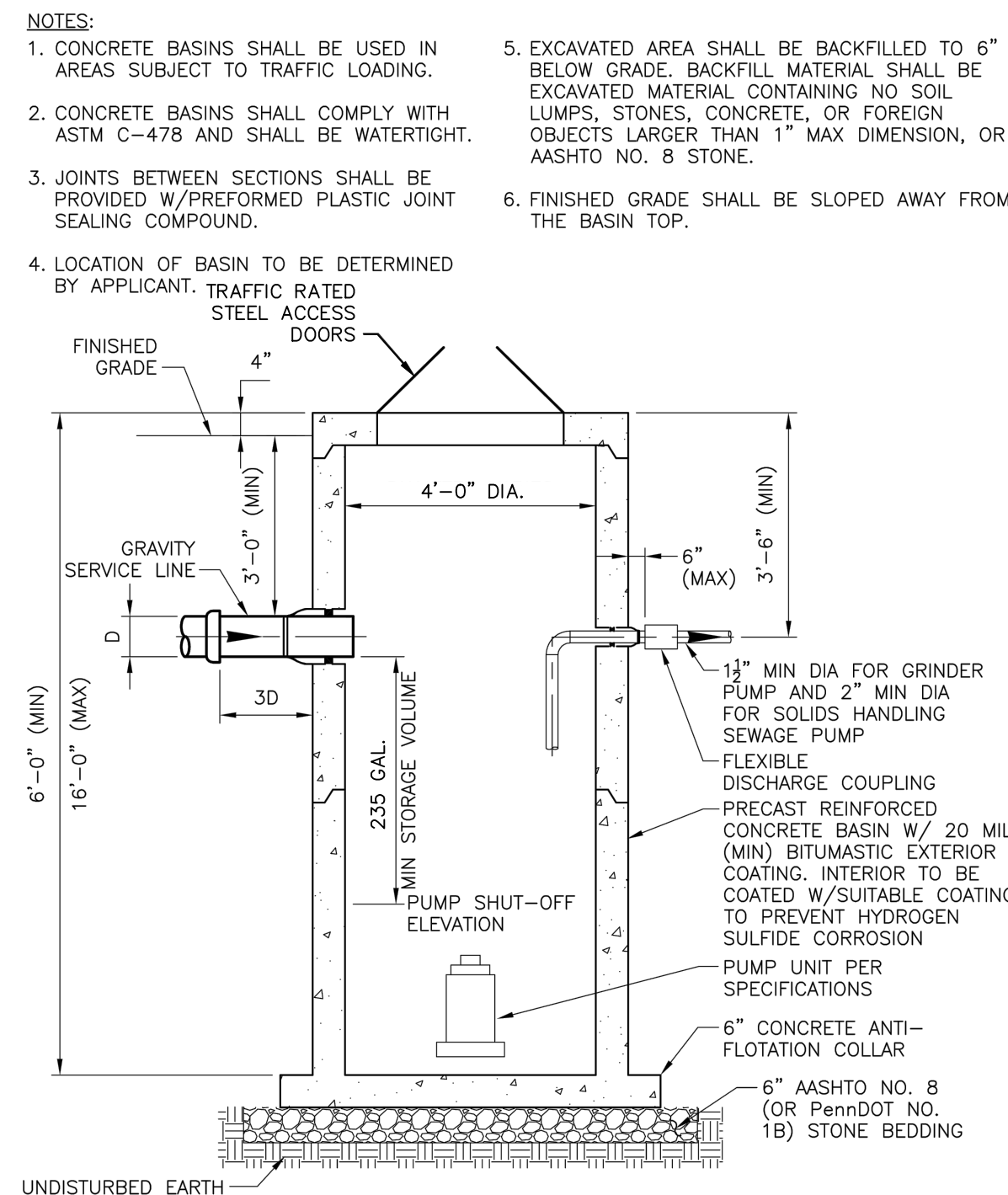
NOT TO SCALE



FORCE MAIN CONNECTION TO MANHOLE (ERSA DETAIL 15)

4
11

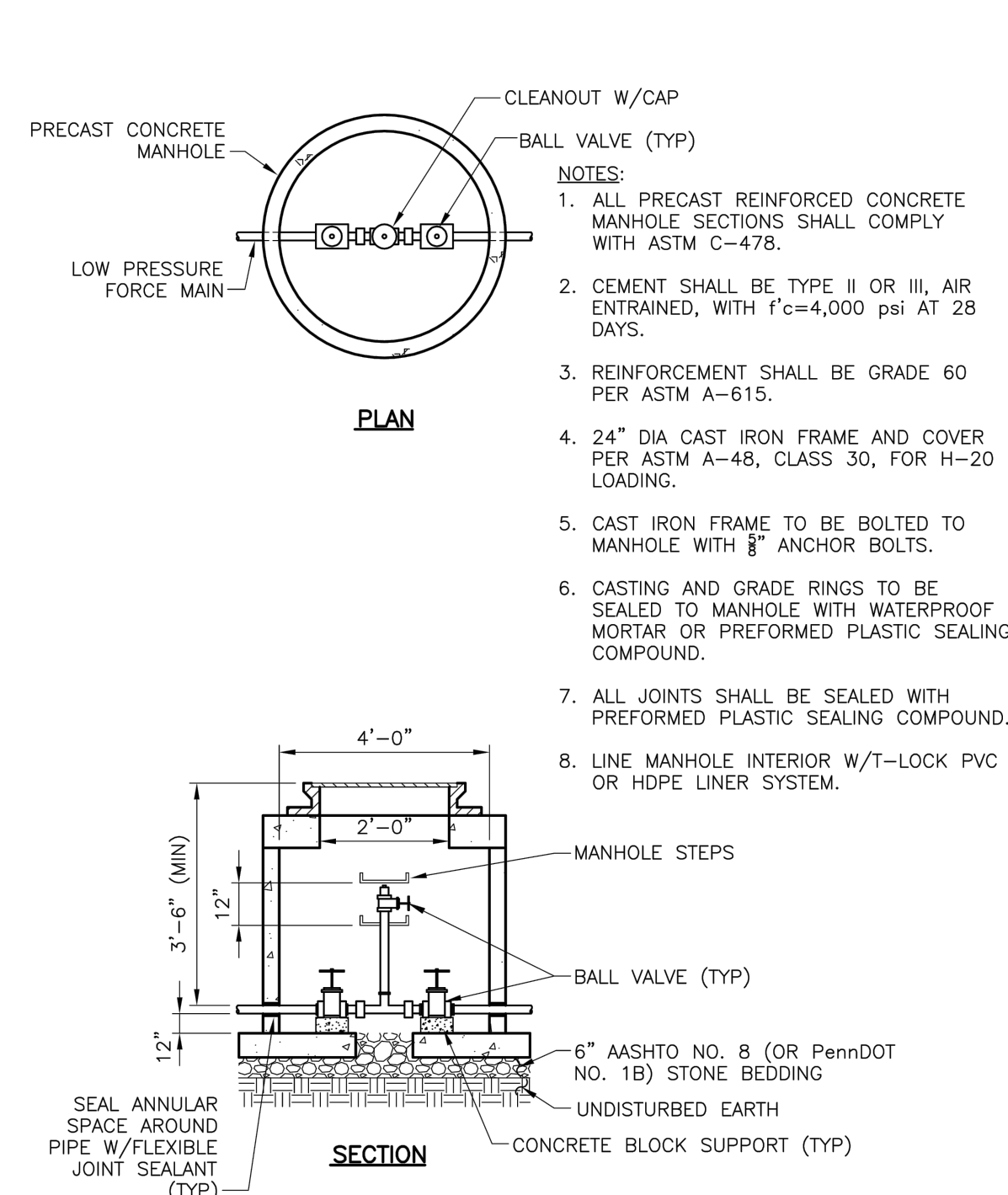
NOT TO SCALE



CONCRETE BASIN FOR TYPICAL INDIVIDUAL PUMP (ERSA DETAIL 16)

5
11

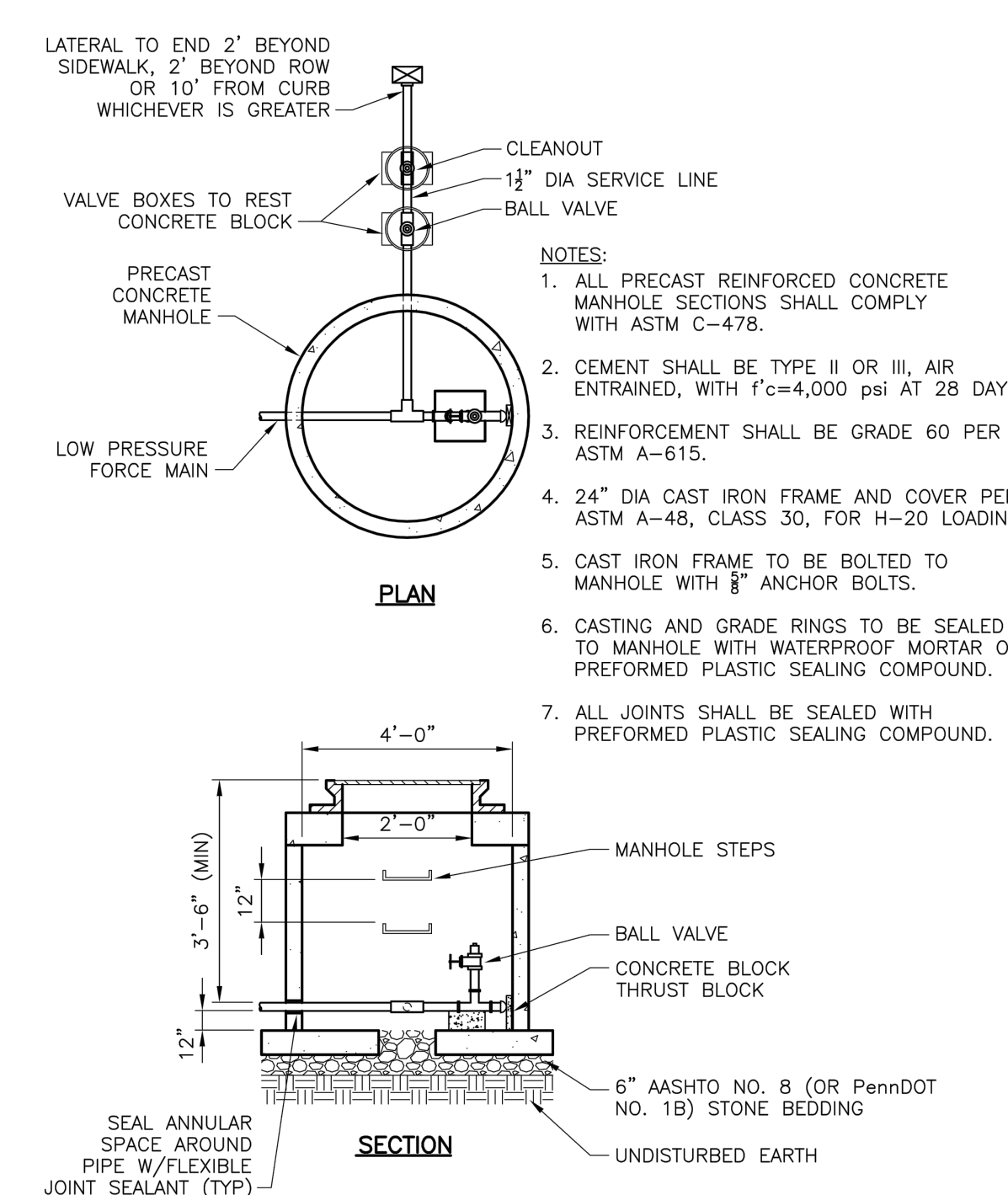
NOT TO SCALE



LOW PRESSURE SEWER VALVE AND CLEANOUT MANHOLE (ERSA DETAIL 22)

6
11

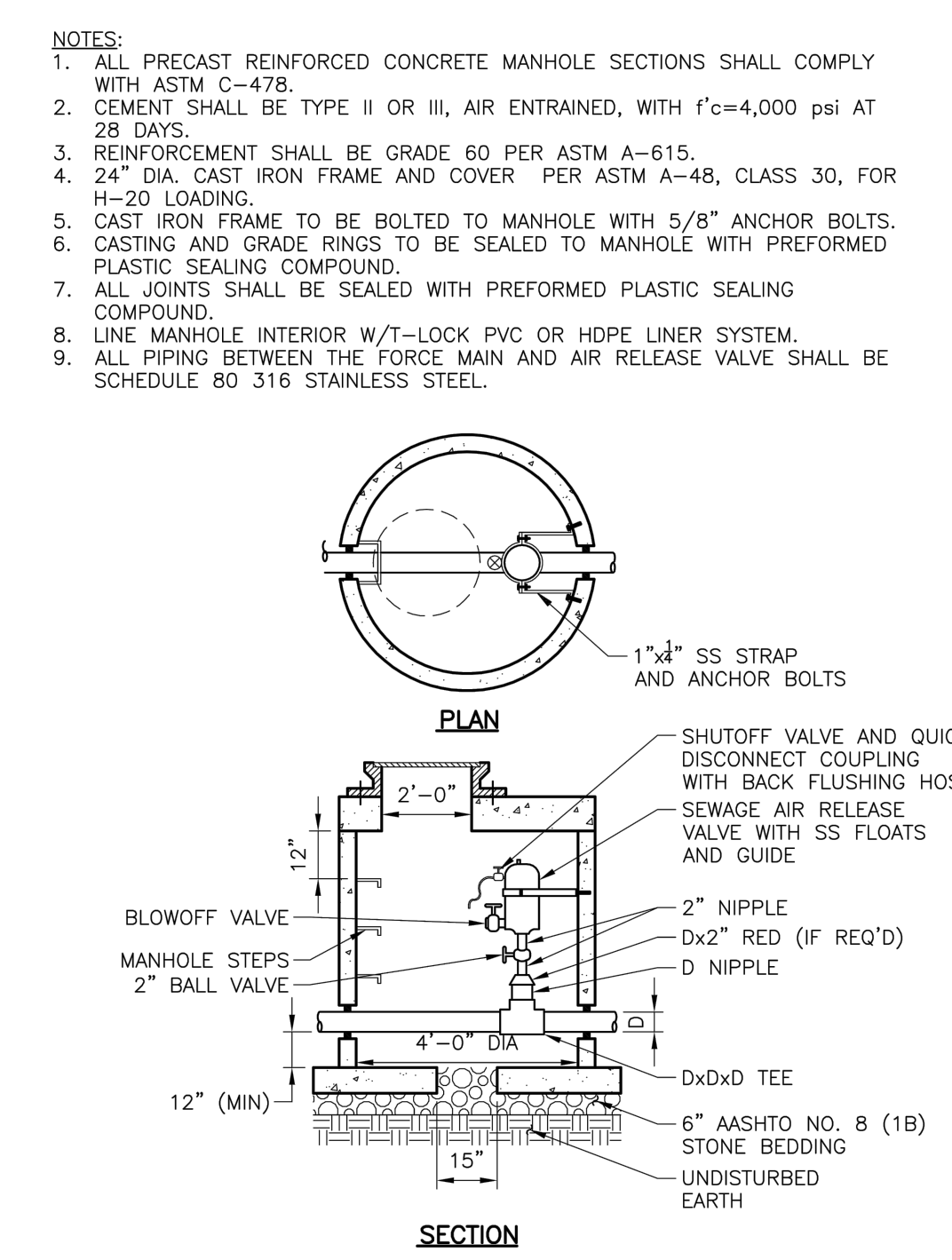
NOT TO SCALE



LOW PRESSURE SEWER TERMINAL CLEANOUT MANHOLE (ERSA DETAIL 23)

7
11

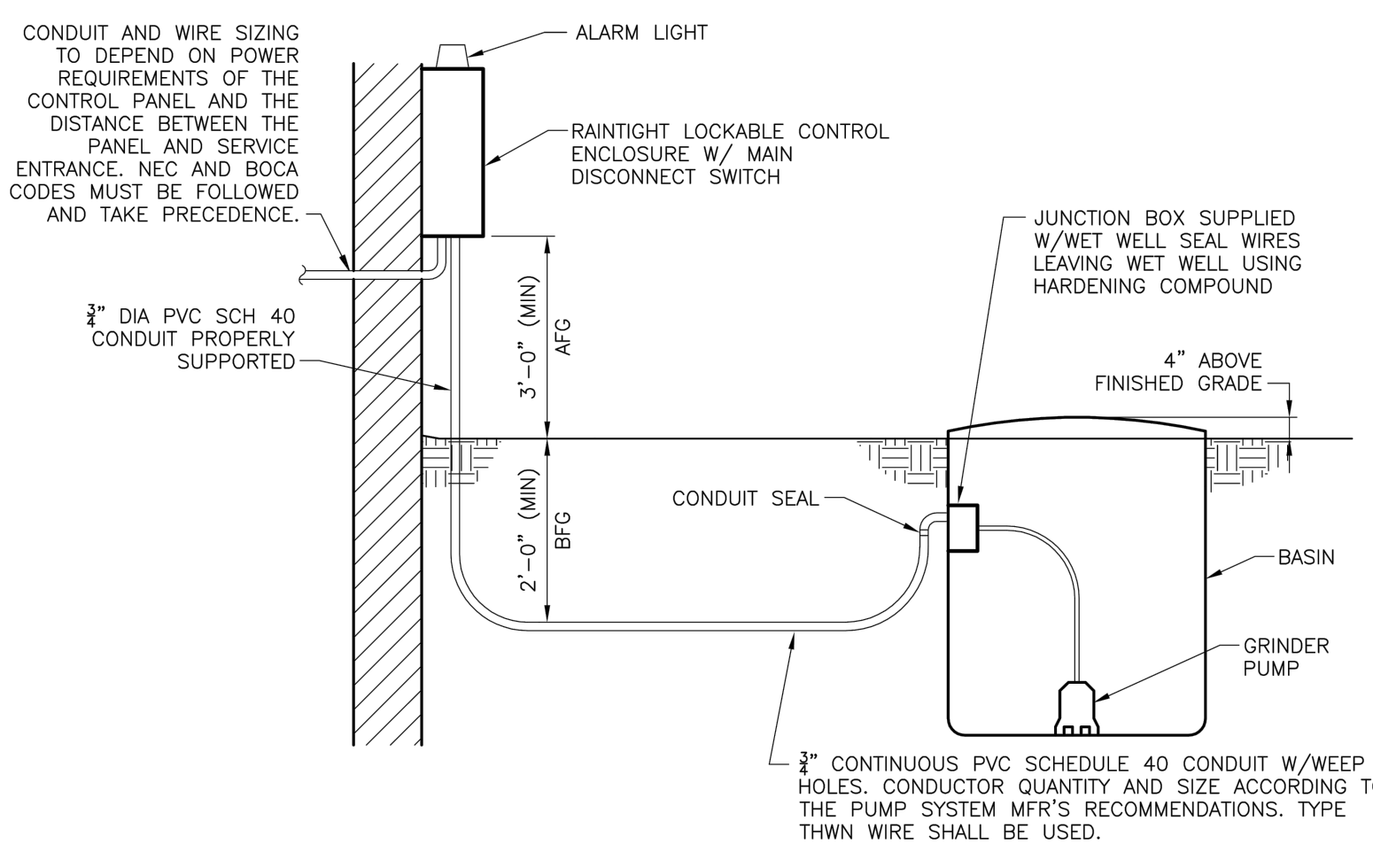
NOT TO SCALE



AIR RELEASE VALVE AND CHAMBER (ERSA DETAIL 14)

8
11

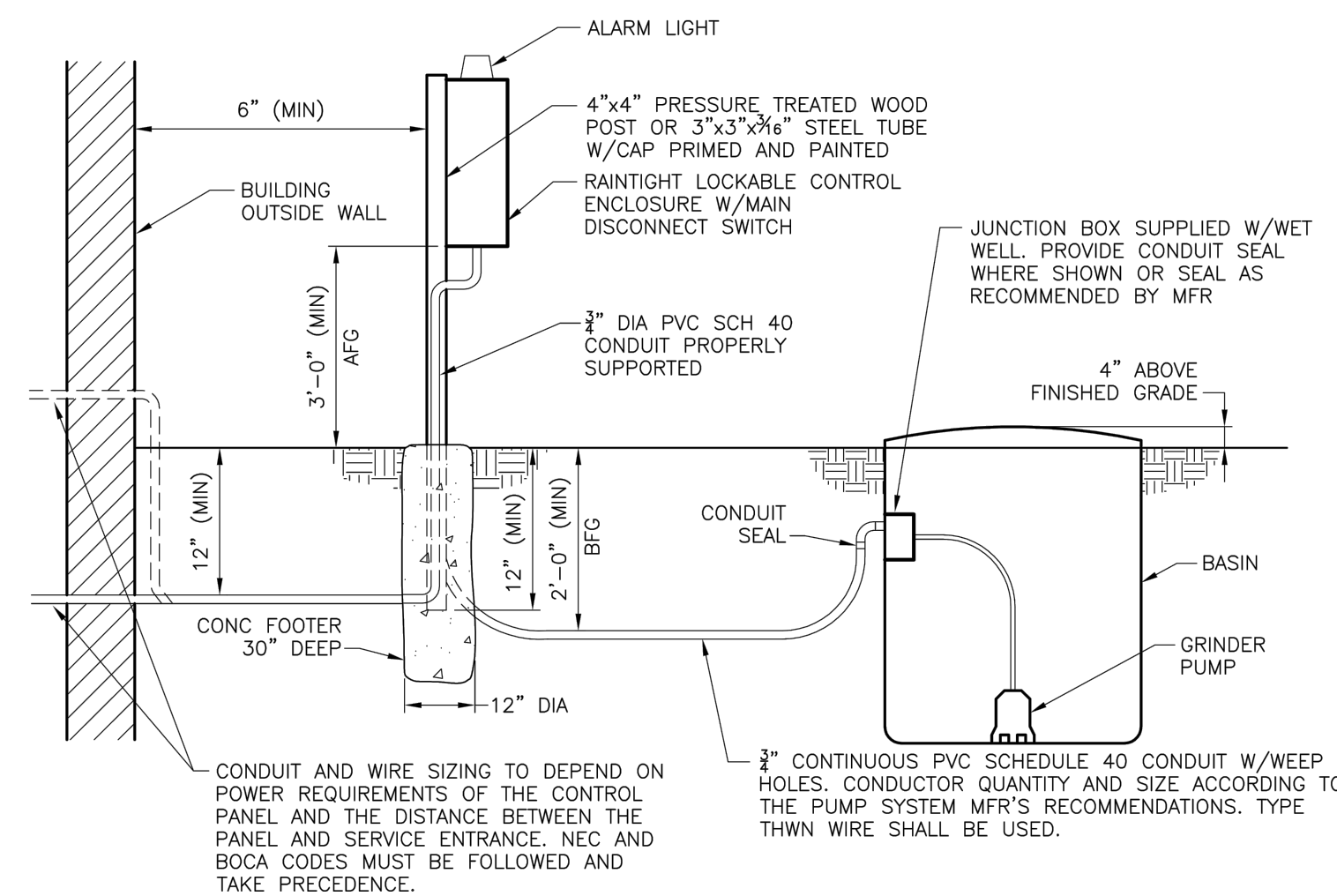
NOT TO SCALE



WALL MOUNTED CONTROL PANEL (EXTERNAL INSTALLATION) (ERSA DETAIL 24)

9
11

NOT TO SCALE



POST MOUNTED CONTROL PANEL (EXTERNAL INSTALLATION) (ERSA DETAIL 25)

10
11

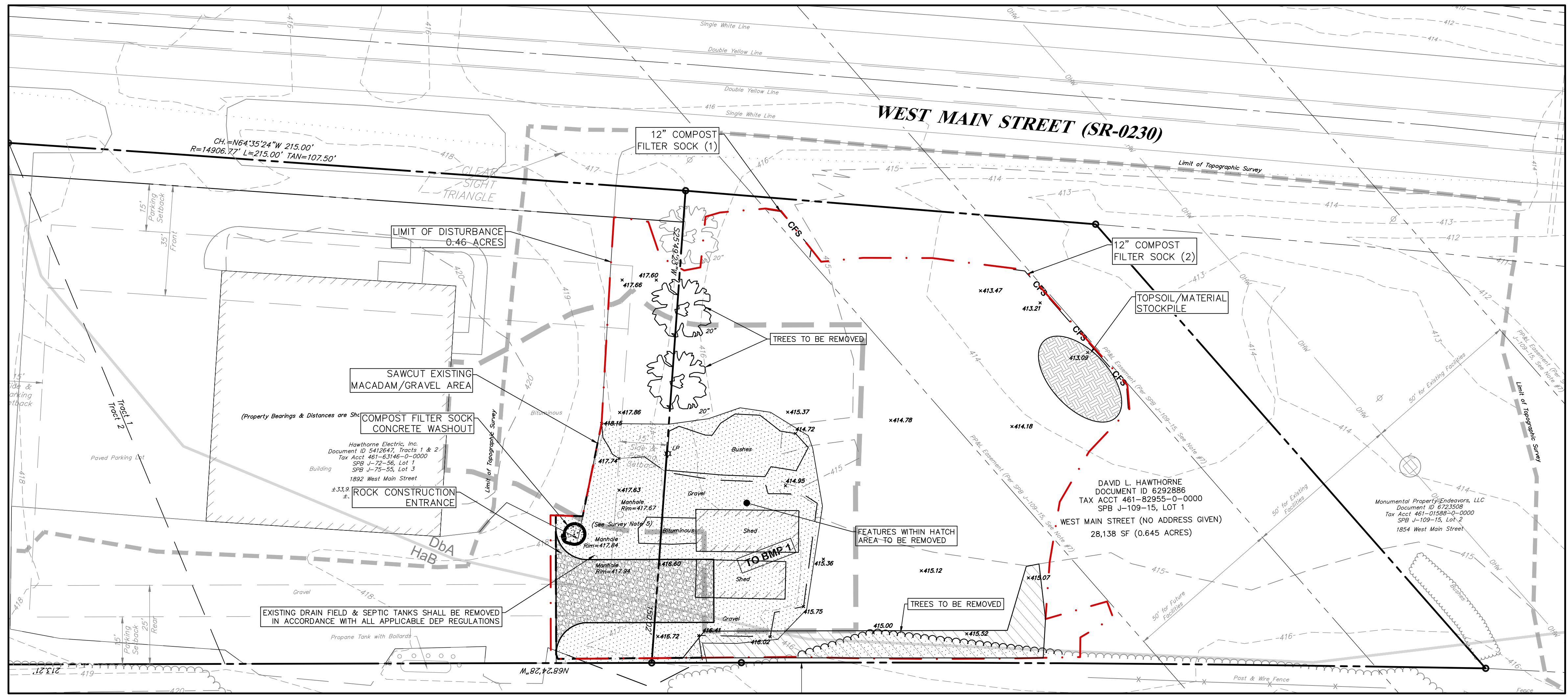
NOT TO SCALE

1. BRK	02/10/2026	PER. TRP.	ENGINEER & AUTHORITY REVIEW COMMENTS
NO. BY	DATE	REVISION	

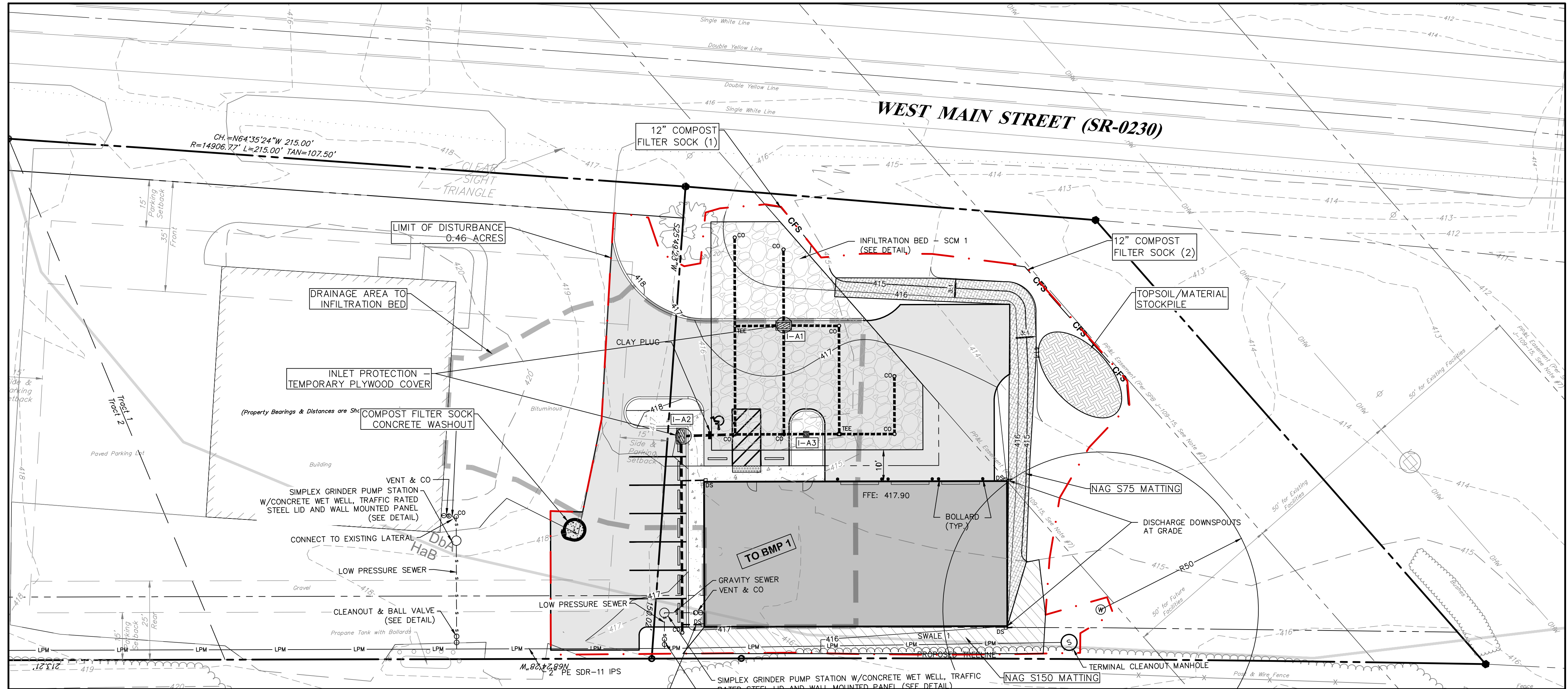
CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
C/O J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-6220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

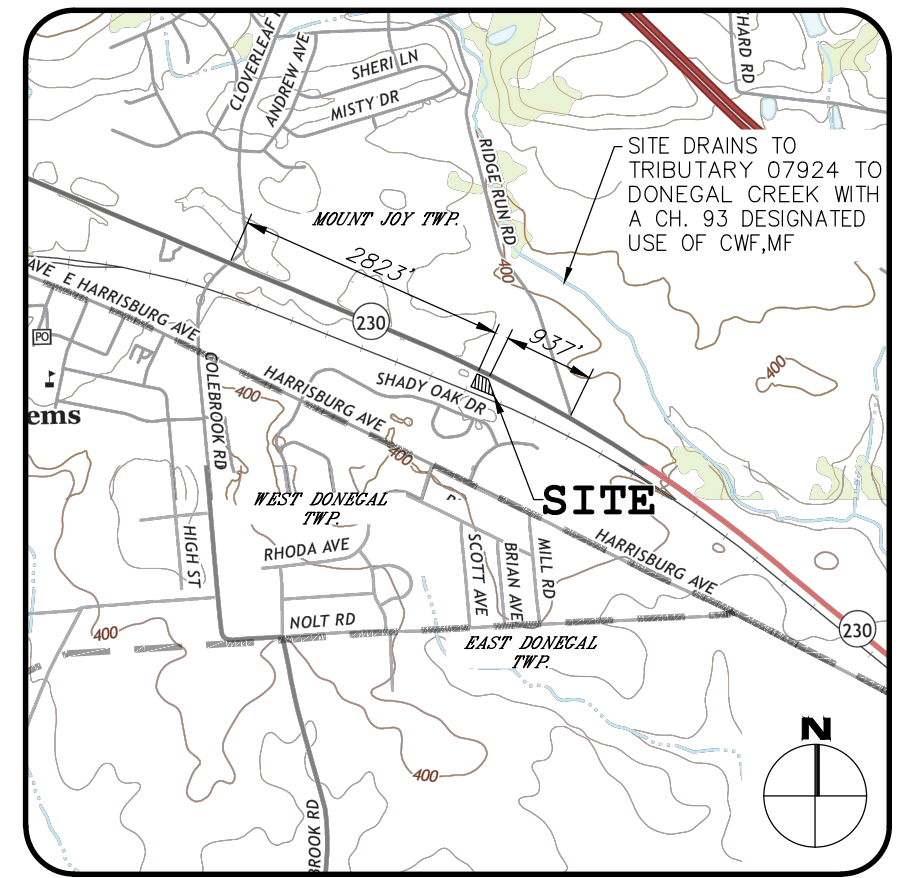
SHEET TITLE
SANITARY SEWER DETAILS
AS NOTED



EXISTING CONDITIONS



PROPOSED CONDITIONS



LOCATION MAP
SCALE: 1"=2000'

WATERSHED NOTE:
1. ALL OF THE STORMWATER RUNOFF GENERATED BY THE PROPOSED DEVELOPMENT EVENTUALLY DISCHARGES TO TRIBUTARY 07924 TO DONEGAL CREEK, ACCORDING TO THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, TRIBUTARY 07924 TO DONEGAL CREEK HAS A STREAM DESIGNATION OF CWF-MF (COLD WATER FISHES, MIGRATORY FISH).

LEGEND

EROSION AND SEDIMENT FEATURES	
[Symbol]	NAG S150 MATTING
[Symbol]	NAG S75 MATTING
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	ROCK CONSTRUCTION ENTRANCE
[Symbol]	TOPSOIL STOCKPILE
[Symbol]	INLET PROTECTION - PERMANENT FILTER BAG WITH TEMPORARY PLYWOOD COVER
[Symbol]	COMPOST FILTER SOCK (SEE PLAN FOR SIZE)
[Symbol]	DRAINAGE BOUNDARY
[Symbol]	INFILTRATION AREA (AREA OF NO COMPACTION)
[Symbol]	COMPOST FILTER SOCK CONCRETE WASHOUT

HARBOR ENGINEERING
HARBOR ENGINEERING, INC.
1400 MARKET STREET
MANHESSER, PA 17345
PHONE: 717-666-0000
FAX: 717-666-0001
CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE

NO	BY	DATE	REVISION
1	EBK	02/10/2026	PER TWP. ENGINEER & AUTHORITY REVIEW COMMENTS

CLIENT: MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
C/O J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

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MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



SEAL: _____
DRAWN BY: RCW
CHECKED BY: SPG
DATE: FEBRUARY 9, 2026
PROJECT NO.: 251195-001
SHEET: ES1 OF 4

NOTE: THIS PLAN MUST BE AVAILABLE ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL THE SITE HAS BEEN STABILIZED.

SOIL LEGEND

THE SOIL TYPES PRESENT ON THE SITE ARE PER THE USDA WEB SOIL SURVEY FOR OF LANCASTER COUNTY, PA.

SYMBOL - NAME (SLOPE)	HYDRO GROUP
*DbA - Duffield silt loam, 0 to 3% slopes	B
*HdB - Hagerstown silt loam, 3 to 6% slopes	B
*PRIME FARMLAND SOIL	

STAGING OF EARTH MOVING ACTIVITIES NOTES:

- 1. FAILURE TO CORRECTLY INSTALL CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE CORRECTIVE ACTIONS TO IMMEDIATELY RESOLVE FAILURES OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW OF PENNSYLVANIA. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 2. SITE DATA TOTAL DISTURBED AREA = MAXIMUM OF 0.46 ACRES ESTIMATED START OF CONSTRUCTION: SPRING 2028 ESTIMATED 100% STABILIZATION: FALL 2028
- 3. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE GENERAL CONTRACTOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, THE EROSION AND SEDIMENTATION CONTROL PLAN DESIGNER, MUNICIPAL OFFICIALS, AND A REPRESENTATIVE FROM THE LANCASTER COUNTY CONSERVATION DISTRICT FOR AN ONSITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 800-242-1776 TO LOCATE BURIED UTILITIES. LANCASTER COUNTY CONSERVATION DISTRICT: 717-299-5361 EXT. 5
- 4. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH ALL APPLICABLE PERMITS AND SHALL PERFORM IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE PERMITS, INCLUDING REQUIRED NOTIFICATION AND RECORD KEEPING, FOR THE DURATION OF THE PROJECT AND UNTIL FINAL APPROVAL BY THE GOVERNING AUTHORITIES.
- 5. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LANCASTER COUNTY CONSERVATION DISTRICT.
- 6. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ. AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, BURN OR DISCHARGE ANY BUILDING MATERIAL OR WASTES ON OR OFF OF THE SITE.
- 7. IT IS ANTICIPATED THAT THIS SITE WILL NOT BE EXCESS MATERIAL AFTER THE PROPOSED GRADING HAS BEEN COMPLETED. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPILL OR BORROW AREA HAS AN EROSION AND SEDIMENTATION CONTROL PLAN APPROVED BY THE LANCASTER COUNTY CONSERVATION DISTRICT, AND WHICH ALSO BEING IMPLEMENTED IN ACCORDANCE WITH THE REGULATIONS. THE OPERATOR SHALL ALSO NOTIFY THE LANCASTER COUNTY CONSERVATION DISTRICT IN WRITING OF ALL RECEIVING SOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- 8. CONSTRUCTION WASTES ANTICIPATED WITH THE PROJECT (THAT HAVE NOT BEEN ADDRESSED ELSEWHERE WITHIN THIS PLAN) INCLUDE, BUT ARE NOT LIMITED TO BUILDING MATERIALS AND POTENTIAL SANITARY WASTES. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, THE RECYCLING OF EXCESS MATERIALS SHOULD BE ENCOURAGED. THE CONTRACTOR SHALL PROVIDE A TEMPORARY ON-SITE RESTROOM FACILITY AS NEEDED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE FOR TEMPORARY AND PERMANENT CONTROL FACILITIES:

- 1. PRIOR TO THE START OF ANY EARTH DISTURBANCE ACTIVITIES, THE PROPOSED LIMIT OF DISTURBANCE SHALL BE MARKED IN THE FIELD TO PROVIDE A VISUAL INDICATION OF THE PROPOSED LIMIT OF DISTURBANCE.
- 2. INSTALL ALL COMPOST FILTER SOCKS AS SHOWN ON THE PLAN BY THE DETAILS.
- 3. INSTALL SANITARY SEWER FORCE MAIN. NOTE THAT THE SANITARY SEWER FORCE MAIN IS TO BE BORED. ONCE HAWTHORNE ELECTRIC (1892 W. MAIN ST.) IS CONNECTED TO PUBLIC SEWER, DEMOLITION OF THE EXISTING DRAIN FIELD AND SEPTIC TANKS MAY COMMENCE.
- 4. BEGIN DEMOLITION OF ALL STRUCTURES TO BE REMOVED. ENSURE THAT ALL DEMOLITION WASTE IS STOCKPILED IN LOCATION SHOWN ON THE PLAN AND DISPOSED OF IN ACCORDANCE WITH PA DEP SOLID WASTE REGULATIONS.
- 5. INSTALL THE ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
- 6. BEGIN STRIPPING AND STOCKPILING TOPSOIL. EARTH DISTURBANCE SHALL NOT OCCUR OUTSIDE THE AREAS IDENTIFIED ON THE PLAN AND MAY ONLY OCCUR WITHIN THE DEFINED LIMIT OF DISTURBANCE. TOPSOIL SHALL BE STOCKPILED AT THE LOCATIONS SHOWN ON THE PLAN AT A MINIMUM OF 15 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER, IMMEDIATELY STABILIZE STOCKPILES WITH A TEMPORARY GRASS COVER.
- 7. BEGIN EARTHMOVING ACTIVITIES ONLY WITHIN THE DEFINED PROJECT AREA. ANY EXCESS MATERIAL SHALL BE DISPOSED OF AT A SITE WITH AN APPROVED E&S PLAN AND/OR NPDES PERMIT.
- 8. INSTALLATION OF INFILTRATION BED INFILTRATION BED: SCM 1 SHOULD BE CONSTRUCTED DURING A DRY WEATHER DAY AND SHOULD BE OPENED AND CLOSED IN ONE DAY, OR ADDITIONAL E&S CONTROLS MAY BE REQUIRED.
- 9. EXCAVATE FOR THE PROPOSED INFILTRATION FACILITY. METHODS SHALL BE IMPLEMENTED FOR PROTECTING THE PROPOSED INFILTRATION BED AREA FROM IMPACTS DURING CONSTRUCTION. CARE SHALL BE TAKEN TO ENSURE THAT NO COMPACTATION EQUIPMENT, SEDIMENT, OR STONE DUST ENTERS THE PROPOSED INFILTRATION FACILITIES AS THIS COULD POTENTIALLY "SEAL" THE PROPOSED INFILTRATION FACILITY. BEFORE CONSTRUCTION OF THE INFILTRATION BED, FORECASTED STORM EVENT OR IS NOT COMPLETED WITHIN A 24 HOUR TIME PERIOD, INSTALL COMPOST FILTER SOCK PROTECTION ON THE UPLAND SLOPE OF THE INFILTRATION FACILITY.
- 10. PERFORM INFILTRATION TESTING OF THE SUBGRADE.
- 11. INSTALL THE FILTER FABRIC TO PREVENT SEDIMENT, SOIL ETC., FROM ENTERING THE INFILTRATION BED AND TO PROVIDE A SOIL INTERFACE SEPARATION.
- 12. THE STONE IS TO BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO ITS INSTALLATION INTO THE INFILTRATION BED TO ENSURE THAT IT IS CLEAN STONE.
- 13. INSTALL THE INLETS, PERFORATED PIPE AND CLEANOUTS AS SHOWN ON THE PLAN, PROFILE, AND DETAILS.
- 14. INSTALL WATER TIGHT PLYWOOD CAPS ON ALL THE INLETS AND APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING AND LOGGING THE STONE INFILTRATION BED.
- 15. BEFORE CONDITIONS INTO THE INFILTRATION BED FROM ROOF AREAS MAY BE MADE AS SOON AS FEASIBLE.
- 9. ESTABLISH ROUGH GRADES. THE PLACEMENT OF FILL MATERIAL SHALL BE AS FOLLOWS:
 - THE SOIL SHALL BE PLACED IN LOOSE LAYERS NO GREATER THAN 8 INCHES THICK AND THEN COMPACTED WITH APPROPRIATE EQUIPMENT.
 - NO FILL PLACEMENT SHALL TAKE PLACE DURING WET WEATHER AND NO FILL SHALL BE PLACED ON A FROZEN SUBGRADE.
- 10. GRADE IN SWALE 1. APPLY EROSION CONTROL MATTER PER DETAIL.
- 11. UPON ESTABLISHING THE REMAINING ROUGH GRADES, BEGIN CONSTRUCTION OF THE PROPOSED BUILDING. ENSURE THAT THE CONCRETE WASHOUT FACILITY IS INSTALLED PRIOR TO CONSTRUCTION AND IS USED EFFECTIVELY DURING CONSTRUCTION.
- 12. INSTALL ANY REMAINING UTILITY IMPROVEMENTS.
- 13. PERFORM FREQUENT REGULAR MAINTENANCE TO ENSURE THAT ALL AFFECTED AREAS BECOME STABILIZED AND THAT E&S CONTROL FACILITIES ARE FUNCTIONING EFFECTIVELY, AS DESIGNED.
- 14. ESTABLISH ANY REMAINING FINAL GRADES AND INSTALL ALL PROPOSED PAVING, SPREAD TOPSOIL, FERTILIZE, SEED, MULCH AND STABILIZE ALL AFFECTED AREAS NOT OTHERWISE PAVED.
- 15. DO NOT REMOVE TEMPORARY E&S CONTROL FACILITIES UNTIL THEIR CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED, AS VERIFIED BY THE MUNICIPALITY.
- 16. UPON ACHIEVING ADEQUATE STABILIZATION OF ALL DISTURBED AREAS, AS VERIFIED BY THE COUNTY CONSERVATION DISTRICT, ALL TEMPORARY E&S CONTROL MEASURES MAY BE REMOVED.
- 17. UPON REMOVING TEMPORARY E&S CONTROL MEASURES, COMPOST FILTER SOCKS MAY BE CUT OPEN WITH MESHING REMOVED AND CONTENTS SPREAD EVENLY AT A MINIMUM THICKNESS OF 1.0 INCHES TO ANY ADJACENT AREAS NOT YET STABILIZED. APPLY SEED AND STRAW TO ANY REMAINING AREAS NOT YET STABILIZED WITH PERMANENT SEED MEASURES.

NOTE: ANY FORMATION OF SINKHOLES OR SOLUTION CHANNELS DURING CONSTRUCTION SHALL BE REPAIRED USING APPROVED METHODS. LOADING RATIOS FOR BOTH INFILTRATION BASINS COMPLY WITH THE GUIDELINES ESTABLISHED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S (DEP) MANUAL FOR INFILTRATING IN CARBONATE GEOLOGY. THE CONTRACTOR SHALL NOTIFY THE LANCASTER COUNTY CONSERVATION DISTRICT AND HARBOR ENGINEERING, INC. IMMEDIATELY UPON DISCOVERING/ENCOUNTERING ANY SINKHOLE AND THE SERVICES OF A REGISTERED ENGINEER OR GEOLOGIST SHALL BE OBTAINED FOR CONSIDERATIONS ON ITS REPAIR.

NOTE: IF UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE ON-LOT INFILTRATION SYSTEM (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE PROPOSED FACILITY MAY NEED TO BE RELOCATED TO A MORE FAVORABLE POSITION ON THE LOT, SUBJECT TO THE APPROVAL OF BOTH THE MUNICIPALITY AND THE COUNTY CONSERVATION DISTRICT.

NPDES PERMIT NOTES

- 1. ANY PROJECT SITE WITH PROPOSED EARTH DISTURBANCE ACTIVITY EQUAL TO OR GREATER THAN ONE ACRE SHALL OBTAIN NPDES PERMIT COVERAGE FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. NPDES PERMIT COVERAGE WAS NOT OBTAINED FOR THIS SITE BECAUSE THE PROPOSED LIMITS OF DISTURBANCE DO NOT EXCEED ONE ACRE. EARTH DISTURBANCE AT THIS SITE IS NOT PERMITTED OUTSIDE OF THE LIMITS OF DISTURBANCE AS SHOWN ON THE ASSOCIATED E&S CONTROL PLAN.

WATERSHED NOTE

- 1. ALL OF THE STORMWATER GENERATED BY THE PROPOSED IMPROVEMENTS ULTIMATELY DISCHARGES TO TRIBUTARY 07924 TO DONEGAL CREEK. ACCORDING TO DEP CHAPTER 93, THE DESIGNATED USE FOR TRIBUTARY 07924 TO DONEGAL CREEK IS: COLD WATER FISHES; MIGRATORY FISH (CWF, MP).

THERMAL IMPACTS:

- 1. THERMAL IMPACTS WILL BE MINIMIZED DURING CONSTRUCTION WITH THE USE OF COMPOST FILTER SOCKS TO TRAP STORMWATER PRIOR TO FLOWING THROUGH THE EXISTING VEGETATED FIELDS AND GRASS AREAS, AND AFTER CONSTRUCTION BY THE INSTALLATION OF AN INFILTRATION BED TO CAPTURE AND INFILTRATE STORMWATER RUNOFF FROM THE MAJORITY OF THE NEW IMPERVIOUS AREAS. THE RUNOFF FROM IMPERVIOUS AREAS NOT CAPTURED WILL DISCHARGE IN A MANNER SIMILAR TO PRE-CONSTRUCTION CONDITIONS ACROSS WOODED AND GRASS AREAS PRIOR TO LEAVING THE SITE AND REACHING THE RECEIVING WATERCOURSE.

SOIL LIMITATIONS AND RESOLUTIONS

THE FOLLOWING SOIL CHARACTERISTICS AND LIMITATIONS HAVE BEEN OBTAINED FROM THE SOIL SURVEY OF LANCASTER COUNTY, PENNSYLVANIA.

DUFFIELD SILT LOAM, 0-3% (DBA)
THE DUFFIELD SILT LOAM SOIL SERIES PRIMARILY CONSISTS OF NEARLY LEVEL, DEEP, AND WELL DRAINED SOILS. A BRIEF SUMMARY OF THEIR CHARACTERISTICS AND LIMITATIONS FOR SITE CONSTRUCTION ARE AS FOLLOWS:

BUILDING SITE DEVELOPMENT:
THESE SOILS ARE CONSIDERED TO BE MODERATE FOR DWELLINGS WITH BASEMENTS AND SEVERE FOR LOCAL ROADS AND STREETS DUE TO SHRINK-SWELL AND LOW STRENGTH.

CONSTRUCTION MATERIALS:
THESE SOILS ARE CONSIDERED TO BE A POOR CHOICE FOR ROAD FILL DUE TO LOW STRENGTH. THEY ARE CONSIDERED A FAIR CHOICE FOR TOPSOIL DUE TO THE PRESENCE OF SMALL STONES.

WATER MANAGEMENT:
THESE SOILS ARE CONSIDERED TO BE SEVERELY UNFAVORABLE FOR EMBANKMENTS DUE TO PIPING AND BEING HARD TO PACK. THEY ARE CONSIDERED TO BE FAVORABLE FOR THE CONSTRUCTION OF GRASSED WATERWAYS.

SOIL AND WATER FEATURES:
THESE SOILS HAVE AN APPARENT WATER TABLE OF 6.0' BELOW THE GROUND SURFACE AND GREATER THAN 4.0' TO BEDROCK. PHYSICAL AND CHEMICAL PROPERTIES:
THESE SOILS ARE CONSIDERED TO HAVE A NEUTRAL TO MEDIUM ACIDITY (PH VALUE).

DUFFIELD SILT LOAM, 3-8% (DBB)
THE DUFFIELD SILT LOAM SOIL SERIES PRIMARILY CONSISTS OF GENTLY SLOPING, DEEP, AND WELL DRAINED SOILS. A BRIEF SUMMARY OF THEIR CHARACTERISTICS AND LIMITATIONS FOR SITE CONSTRUCTION ARE AS FOLLOWS:

BUILDING SITE DEVELOPMENT:
THESE SOILS ARE CONSIDERED TO BE MODERATE FOR DWELLINGS WITH BASEMENTS AND SEVERE FOR LOCAL ROADS AND STREETS DUE TO SHRINK-SWELL AND LOW STRENGTH.

CONSTRUCTION MATERIALS:
THESE SOILS ARE CONSIDERED TO BE A POOR CHOICE FOR ROAD FILL DUE TO LOW STRENGTH. THEY ARE CONSIDERED A FAIR CHOICE FOR TOPSOIL DUE TO THE PRESENCE OF SMALL STONES.

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THESE SOILS ARE CONSIDERED TO HAVE A NEUTRAL TO MEDIUM ACIDITY (PH VALUE).

SOIL RESOLUTION SUMMARY:

- 1. THE CONTRACTOR SHOULD BE AWARE THAT THE LANCASTER COUNTY SOIL SURVEY INDICATES THAT THE ONSITE SOIL MAY PRESENT PROBLEMS IN THE CONSTRUCTION OF CERTAIN IMPROVEMENTS. THE CONTRACTOR SHOULD CAREFULLY IMPLEMENT THE CONSTRUCTION AND STABILIZATION SPECIFICATIONS FOR THE PROPOSED FILL DUE TO LOW STRENGTH AND A POOR CHOICE FOR TOPSOIL, DUE TO THE SMALL STONES. THE APPLICATION OF FERTILIZER AS RECOMMENDED PER SOIL TESTING FOR THE PERMANENT SEEDING SHOULD BE IMPLEMENTED.
- 2. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIALS.
- 3. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 4. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS, NOT TO EXCEED 8 INCHES IN THICKNESS.
- 5. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 6. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 7. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 8. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

RESTORATION OF PLANTING AREAS

- 1. FINAL RESTORATION SHALL BE PERFORMED NO LATER THAN THE START OF THE NEXT PLANTING SEASON FOLLOWING CONSTRUCTION. THE PLANTING SEASON FOR THIS AREA SHALL BE ASSUMED TO EXTEND FROM MARCH 16 TO OCTOBER 14.
- 2. TOPSOIL SHALL BE FREE FROM SUBSOIL, BRUSH, WEEDS, OR OTHER LITTER, CLAY LUMPS AND STONES, BUT MAY CONTAIN DECAYING VEGETABLE MATTER AS IS PRESENT IN GOOD TOPSOIL.
- 3. PRECIPITATIONS SHALL BE EXERCISED AS NECESSARY TO CONFORM WITH LAWS RELATING TO EROSION AND SEDIMENT CONTROL.
- 4. SEED SHALL BE NOT MORE THAN TWO (2) YEARS OLD. GERMINATION TESTS OF SEEDS SHALL BE MADE NOT MORE THAN SIX (6) MONTHS PRIOR TO SEEDING. SEED WHICH HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED SHALL NOT BE USED.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO PRODUCE A STAND OF GRASS IN ALL SEEDED OR SODDED AREAS. EROSION, DROUGHT, OR ANY OTHER CONDITION ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.

SEEDING NOTES: TEMPORARY

- 1. MULCH - CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED - BEARING STALKS OR ROOTS OF PROHIBITED OR NOxious WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 3 TONS/ACRE (HAY OR STRAW) MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER. PROPER STABILIZATION EFFORTS DURING THE NON-GERMINATION PERIOD OF OCTOBER 15 TO MARCH 15 IS THE REQUIRED RATE ON 3 TONS PER ACRE (HAY OR STRAW).
- 2. SEED MIXTURE SHALL BEAR A QUARANTINED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE VARIETIES FOLLOWING AND MIXED IN THE PROPORTIONS SPECIFIED.

SEED TYPE	% BY WT.	MIN. PURITY	MIN. GERM.
ANNUAL RYEGRASS	100%	90%	90%
- 3. THREE PERCENT REDTOP MAY BE ADDED TO THE LAWN MIXTURE ON SLOPE AREAS OR FOR LATE SPRING OR LATE FALL SEEDING.
- 4. TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET.
- 5. ALL AREAS TO BE SEEDD SHALL BE LOOSENOED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS AS APPROVED BY THE ENGINEER.
- 6. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- 7. LIME OR FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDD, AND WORKED INTO THE SOIL TO A DEPTH OF 2".
 - a. AGRICULTURAL LIME - APPLICATION RATE OF 40 LB. PER 1,000 SF (OR 1 TON PER ACRE)
 - b. 10-10-10 FERTILIZER - APPLICATION RATE OF 12.5 LB. PER 1,000 SF (OR 500 LB. PER ACRE)
- 8. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

SEEDING NOTES: PERMANENT

- 1. ALL TOPSOIL SHALL BE LOOSENOED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2" SHALL BE REMOVED.
- 2. LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDD, AND WORKED INTO THE SOIL TO A DEPTH OF 2".
 - a. AGRICULTURAL LIME - APPLICATION RATE OF 240 LB. PER 1,000 SF (OR 6 TONS PER ACRE)
 - b. 10-10-20 FERTILIZER - APPLICATION RATE OF 25 LB. PER 1,000 SF (OR 1,000 LB. PER ACRE)
- 3. GRASS SEED SHALL BE BROADCAST AT THE RATE AND KIND INDICATED BELOW:

SEED TYPE	% BY WT.	MIN. PURITY	MIN. GERM.
KENTUCKY BLUE GRASS (BARN OR NARVON)	40%	98	85
FESCUE PENNLAWN RED	30%	98	88
ANNUAL RYEGRASS	30%	98	90

(MIXTURE TO BE APPLIED AT 5 LBS./1000 SF.)
- 4. MULCH OF LONG STEM STRAW SHALL BE APPLIED AT AN EVEN APPLICATION OF 3 TONS/ACRE WITH A SURFACE COVERING OF 100%. MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER.
- 5. PROVIDE PERENNIAL RYEGRASS (TEMPORARY SEEDING) IMMEDIATELY FOR ALL EXPOSED AREAS.
- 6. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

GEOLOGY & SOIL IMPACTS

- 1. IT IS NOT ANTICIPATED THAT THE EXISTING GEOLOGY OR SOIL CONDITIONS OF THE SITE WILL CAUSE POTENTIAL FOR POLLUTION DURING EARTH DISTURBANCE ACTIVITIES.

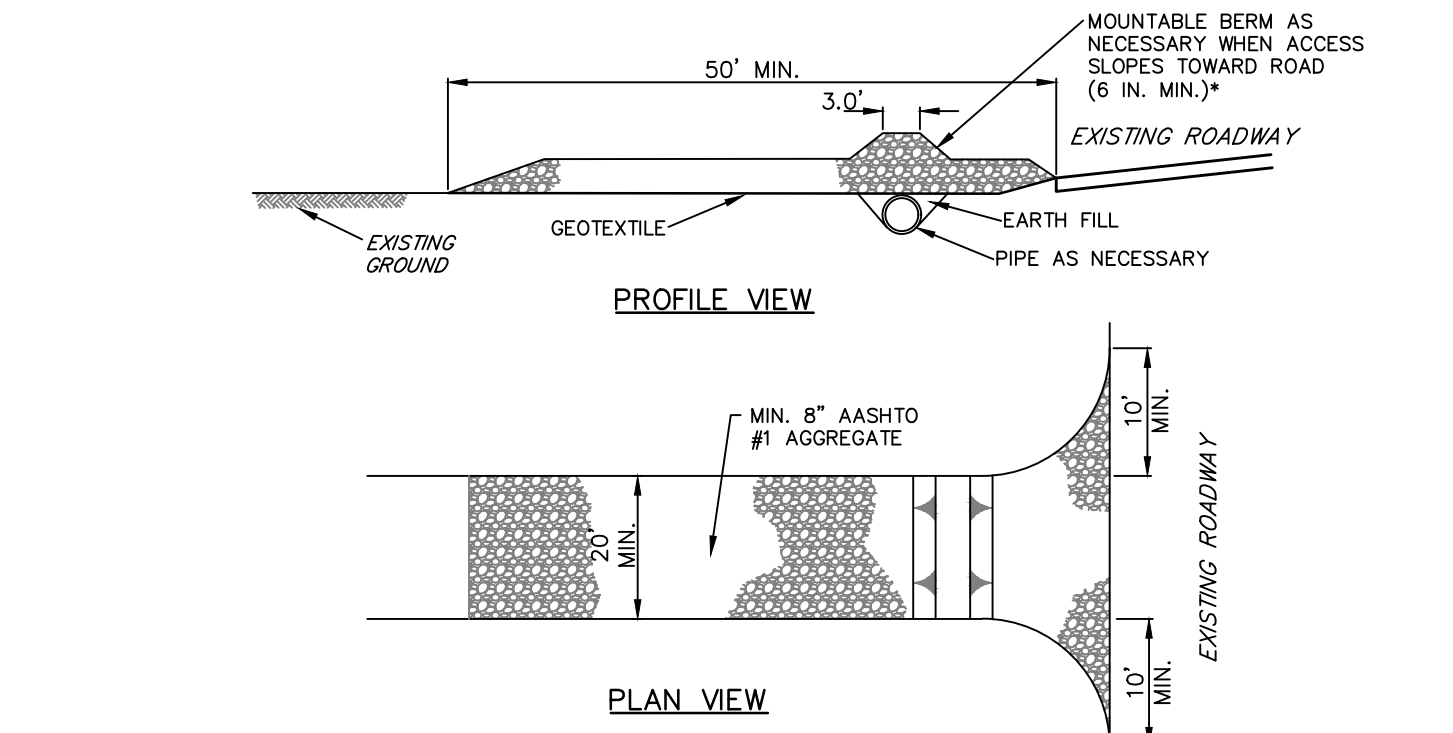
LAND USE STATEMENT

- 1. PREVIOUS LAND USE FOR THE SITE WITHIN THE LAST 50 YEARS WAS AS A VACANT COMMERCIAL LOT. PREVIOUS LAND USE FOR THE SITE WITHIN THE LAST 5 YEARS WAS AS A VACANT COMMERCIAL LOT. PRESENT LAND USE FOR THE SITE IS THE SAME AS THE LAST 5 YEARS. THE PROPOSED LAND USE WILL BE COMMERCIAL/COMMUNITY SERVICES AS AN EMS SUBSTATION.

STANDARD E&S PLAN NOTES

- 1. ALL EARTH DISTURBANCES INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEW AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEW AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE E&S PLAN PRIOR TO IMPLEMENTATION. THE CONTRACTOR SHALL NOTIFY THE REVIEW AGENCY BY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. (LANCASTER COUNTY CONSERVATION DISTRICT: 717-299-5361 EXT. 5)
- 2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY THE CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION, THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNLAWFED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- 7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 25 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- 9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SUCH AS BRICKS, CONCRETE, MORTAR, WOOD, STEEL, REBAR, INSULATION MATERIAL, ELECTRICAL WIRING, ELECTRICAL BOXES, TILE, SANITARY TUBS AND OTHER MATERIALS, SHALL BE PROPERLY REUSED OR ARE DAMAGED SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES SHALL BE BURIED, DAMPED, OR DISCHARGED ONSITE.
- 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON THE SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR THE MUNICIPAL DISTRICT BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN. OVER UNDISTURBED AREAS AND SEDIMENT STOCKPILES SHALL BE REMOVED IMMEDIATELY. WATER SHALL NOT BE USED TO REMOVE SEDIMENT ON PAVED SURFACES.
- 14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADEING, RESEEDING, REMULCHING AND REPAIRING OF EROSION AND SEDIMENT BMPs, SHALL BE PERFORMED AS EXPECTED. REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION THE PERMITEE OR CO-PERMITEE SHALL INCLUDE THE FOLLOWING INFORMATION:
 - A. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
 - B. ALL STEPS TAKEN TO, REDUCE, ELIMINATE, AND PREVENT THE REOCCURENCE OF THE NON-COMPLIANCE.
 - C. THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- 5. ACCUMULATED SEDIMENT DEPOSITS SHALL BE REGULARLY REMOVED IN ORDER TO MAINTAIN PROPER PERFORMANCE. ALL SEDIMENT REMOVED FROM ALL BMPs SHALL BE EITHER DISPOSED OF IN AN APPROPRIATE MANNER PER PA DEP GUIDANCE, PLACED ON THE TOPSOIL STOCKPILE, OR USED WITHIN THE SITE GRADING.
- 6. INFLOW AND OUTFLOW POINTS OF SUBSURFACE SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS SHOULD BE KEPT IN GOOD WORKING ORDER.
- 7. INFLOW AND OUTFLOW POINTS OF SUBSURFACE SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS SHOULD BE KEPT IN GOOD WORKING ORDER.
- 8. THE CONTRACTOR SHALL CONDUCT REGULAR INSPECTIONS OF THE SILT FENCING, DRAINAGE SWALES, SLOPES, CONSTRUCTION ENTRANCE, AND GENERALLY THE ENTIRE CONSTRUCTION AREA IN ORDER TO DETECT AND CORRECT ANY EROSION PROBLEMS.
- 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION TO PREVENT SOIL FROM POLLUTING NEIGHBORING PROPERTIES, PUBLIC STREETS, AND/OR STORMWATER CONVEYANCE FACILITIES. ANY SOIL DROPPED FROM CONSTRUCTION EQUIPMENT AND ANY OTHER SEDIMENTATION SHALL BE IMMEDIATELY REMOVED AND PROPERLY DISPOSED.
- 10. UPON REMOVAL OF THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES, IT SHALL BE THE PROPERTY OWNER'S RESPONSIBILITY TO ENSURE THAT THE PERMANENT STORMWATER FACILITIES LOCATED ON THEIR PROPERTY ARE MAINTAINED IN THEIR DESIGN CONDITION.
 - A. MULCHING
 - ANY MULCHING WASHED AWAY SHALL BE REPLACED IN KIND AND TRACKED.
 - B. COMPOST FILTER SOCK
 - REPAIR ANY DAMAGE (BLOW OUTS; TORN OR UNDERMINED). CLEAN AND REPAIR GRAVEL OUTLETS AS NECESSARY. REMOVE SILT WHEN UP TO 1/2 THE ABOVE-GRADE HEIGHT OF SOCK. ANY SECTIONS HAVING A TENDENCY TO BE DAMAGED SHALL BE REINFORCED WITH GRAVEL OUTLETS.
 - C. STABILIZED CONSTRUCTION ENTRANCE
 - MAINTAIN THE THICKNESS OF THE STRUCTURE WITH A SUPPLY OF AASHTO #1 STONE ON SITE. AT THE END OF EACH DAY OR MORE OFTEN AS NEEDED, ALL SEDIMENT LOCATED ON ADJACENT ROADS SHALL BE REMOVED (WITHOUT WATER) AND DEPOSITED ON SITE.
 - D. TOPSOIL STOCKPILES
 - ANY SILT FENCE BELOW THESE PILES THAT IS KNOCKED DOWN OR UNDERMINED SHALL BE REPAIRED. ANY SEEDING WASH AWAY SHALL BE REPLACED. STOCKPILE HEIGHT MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
 - E. INLET PROTECTIONS (PLYWOOD CAP)
 - INSPECT PLYWOOD AND ASSOCIATED SANDBAG ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. DAMAGED PLYWOOD AND SANDBAGS SHOULD BE REPLACED IMMEDIATELY. ANY SEDIMENT REMOVED FROM THE GENERAL INLET PROTECTION AREA SHALL BE PLACED IN AREAS ADJACENT TO TOPSOIL STOCKPILES OR USED AS FILL MATERIAL IN AREAS DESIGNATED BY THE CONTRACTOR.
- 11. SPECIFIC MAINTENANCE REQUIREMENTS FOR THE RESPECTIVE FACILITIES ARE AS FOLLOWS:
 - A. MULCHING
 - ANY MULCHING WASHED AWAY SHALL BE REPLACED IN KIND AND TRACKED.
 - B. COMPOST FILTER SOCK
 - REPAIR ANY DAMAGE (BLOW OUTS; TORN OR UNDERMINED). CLEAN AND REPAIR GRAVEL OUTLETS AS NECESSARY. REMOVE SILT WHEN UP TO 1/2 THE ABOVE-GRADE HEIGHT OF SOCK. ANY SECTIONS HAVING A TENDENCY TO BE DAMAGED SHALL BE REINFORCED WITH GRAVEL OUTLETS.
 - C. STABILIZED CONSTRUCTION ENTRANCE
 - MAINTAIN THE THICKNESS OF THE STRUCTURE WITH A SUPPLY OF AASHTO #1 STONE ON SITE. AT THE END OF EACH DAY OR MORE OFTEN AS NEEDED, ALL SEDIMENT LOCATED ON ADJACENT ROADS SHALL BE REMOVED (WITHOUT WATER) AND DEPOSITED ON SITE.
 - D. TOPSOIL STOCKPILES
 - ANY SILT FENCE BELOW THESE PILES THAT IS KNOCKED DOWN OR UNDERMINED SHALL BE REPAIRED. ANY SEEDING WASH AWAY SHALL BE REPLACED. STOCKPILE HEIGHT MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
 - E. INLET PROTECTIONS (PLYWOOD CAP)
 - INSPECT PLYWOOD AND ASSOCIATED SANDBAG ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. DAMAGED PLYWOOD AND SANDBAGS SHOULD BE REPLACED IMMEDIATELY. ANY SEDIMENT REMOVED FROM THE GENERAL INLET PROTECTION AREA SHALL BE PLACED IN AREAS ADJACENT TO TOPSOIL STOCKPILES OR USED AS FILL MATERIAL IN AREAS DESIGNATED BY THE CONTRACTOR.
- 12. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- 13. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT CONSTRUCTION ENTRANCE, CONSTRUCTION ENTRANCE, CONSTRUCTION ENTRANCE, OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- 14. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 15. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 16. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- 17. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS.
- 18. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 19. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- 20. FILL MATERIALS NOTES:
 - a. THE E & S APPROVAL AND/OR NPDES PERMIT COVERS THE "MOVING, DEPOSITING, STOCKPILING, OR STORAGE OF SOIL, ROCK OR EARTH MATERIALS" IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF WHETHER FILL WILL RESIDE WITH THE OPERATOR. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE RESTS ON THE APPLICANT.
 - b. APPLICANTS AND/OR OPERATORS MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. DEFINITIONS OF CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE ARE PROVIDED BELOW. ALL FILL MATERIALS MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT [WWW.DEPWEB.STATE.PA.US](http://www.depweb.state.pa.us) <http://www.depweb.state.pa.us/>
 - c. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK/BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
 - d. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL. HOWEVER, THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
 - e. ANY PERSON PLACING OR RELEASING FILL THAT HAS BEEN AFFECTED BY A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
 - f. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDBOX MAPS, ENVIRONMENTAL QUESTIONNAIRE, TRANSECTION SCREENING, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
 - g. FILL MATERIALS THAT DOES NOT QUALIFY AS CLEAN FILL MAY BE PLACED IN AREAS THAT ARE NOT BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
- 21. THE CONTRACTOR ADVISED BE SEEDING THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- 22. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR ANY OFFSITE DISPOSAL OR BORROW AREAS FOR EXCESS OR NEEDED SOIL FROM OR TO THE PROJECT SITE. DISPOSAL AND BORROW AREAS SHALL HAVE AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING OPERATIONS WITHIN THESE OFFSITE AREAS.
- 23. THE INTENT OF THIS PLAN/NARRATIVE IS TO INDICATE GENERAL MEANS OF COMPLIANCE WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE PENNSYLVANIA CLEAN STREAMS LAW. THE CONTRACTOR TO IMPLEMENT THESE METHODS PLUS ADDITIONAL METHODS AS MAY BE NECESSITATED BY THE CONDITIONS CREATED BY LOCALIZED SITE CONDITIONS, AND/OR CONSTRUCTION PROCEDURES IN ORDER TO ASSURE COMPLIANCE WITH APPLICABLE LAW. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SEDIMENT AND EROSION CONTROL FACILITIES SO THAT THEY PERFORM AS REQUIRED BY LAW.
- 24. IN ALL CASES, THE SMALLEST PRACTICAL AREA OF STABLE LAND SURFACE SHALL BE DISTURBED.
- 42. ALL RELATED SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE IN PLACE AND FUNCTIONING AS INTENDED PRIOR TO EARTHMOVING ACTIVITY WITHIN THE CONTRIBUTING WATERSHED AREA.
- 44. UTILITY EXCAVATIONS SHALL BE OPEN ONLY LONG ENOUGH TO EXPOSELY INSTALL AND INSPECT ALL UNDERGROUND FACILITIES ACCORDANCE WITH APPLICABLE SPECIFICATIONS.
- 45. EXCAVATED MATERIAL (SPILL) SHALL BE PLACED UP SLOPE OF THE EXCAVATION WHENEVER POSSIBLE. RUNOFF FROM SPILL PILES SHALL BE DIRECTED THROUGH A SEDIMENT FILTER STRUCTURE AND DISCHARGED IN A NON-EROSIVE MANNER.
- 46. DEWATERING EQUIPMENT DISCHARGE SHALL BE DIRECTED ONTO A STABILIZED SURFACE SO THAT EROSION DOES NOT OCCUR. DISCHARGES SHALL BE DIRECTED THROUGH A SEDIMENT FILTER STRUCTURE AND DISCHARGED IN A NON-EROSIVE MANNER.

- 47. BACKFILLED EXCAVATIONS SHALL BE RESTORED TO ORIGINAL TYPE OF COVER AND GRADE AS PER SPECIFICATIONS. SEEDING SHALL BE ACCOMPLISHED ACCORDING TO SCHEDULE FOR PERMANENT SEEDING. IMMEDIATE TEMPORARY STABILIZATION IS REQUIRED FOR ANY AND ALL EXPOSED ERODIBLE/SOLUBLE AREAS AND MATERIALS.
- 48. LAWN AREAS SHALL BE FINISHED GRADED WITH A MINIMUM OF 6-INCHES OF TOPSOIL UNLESS OTHERWISE NOTED. POSITIVE DRAINAGE SHOULD BE MAINTAINED AWAY FROM STRUCTURES. NO ISOLATED LOW SPOTS SHALL BE CREATED.

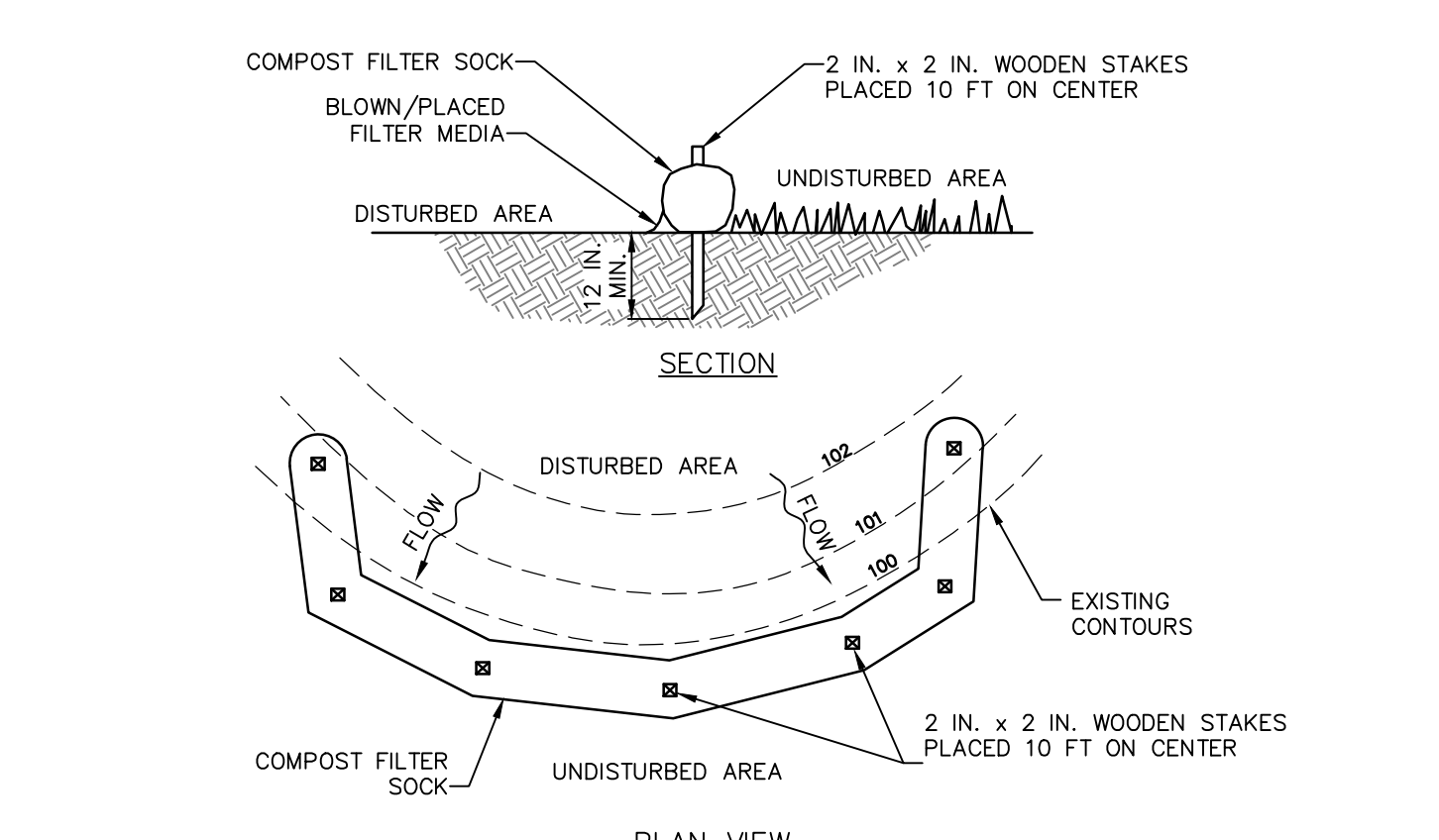


- NOTES:
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 - MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 - MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED. EXCESSIVE DEPOSITS ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ABACT NOTES WHEN IN SPECIAL PROTECTION WATERSHED & CHESAPEAKE BAY WATERSHED:
 CONTINUAL MAINTENANCE IS NEEDED FOR THE ROCK TO QUALIFY AS AN APPROVED ALTERNATIVE BMP, WHICH MAY BE USED AS A SUBSTITUTE FOR WASH RACKS IN SPECIAL PROTECTION WATERSHEDS. THE FOLLOWING CONTINUAL MAINTENANCE IS REQUIRED TO PROVIDE THE ADDITIONAL ABACT BMP SEDIMENT CONTROL.

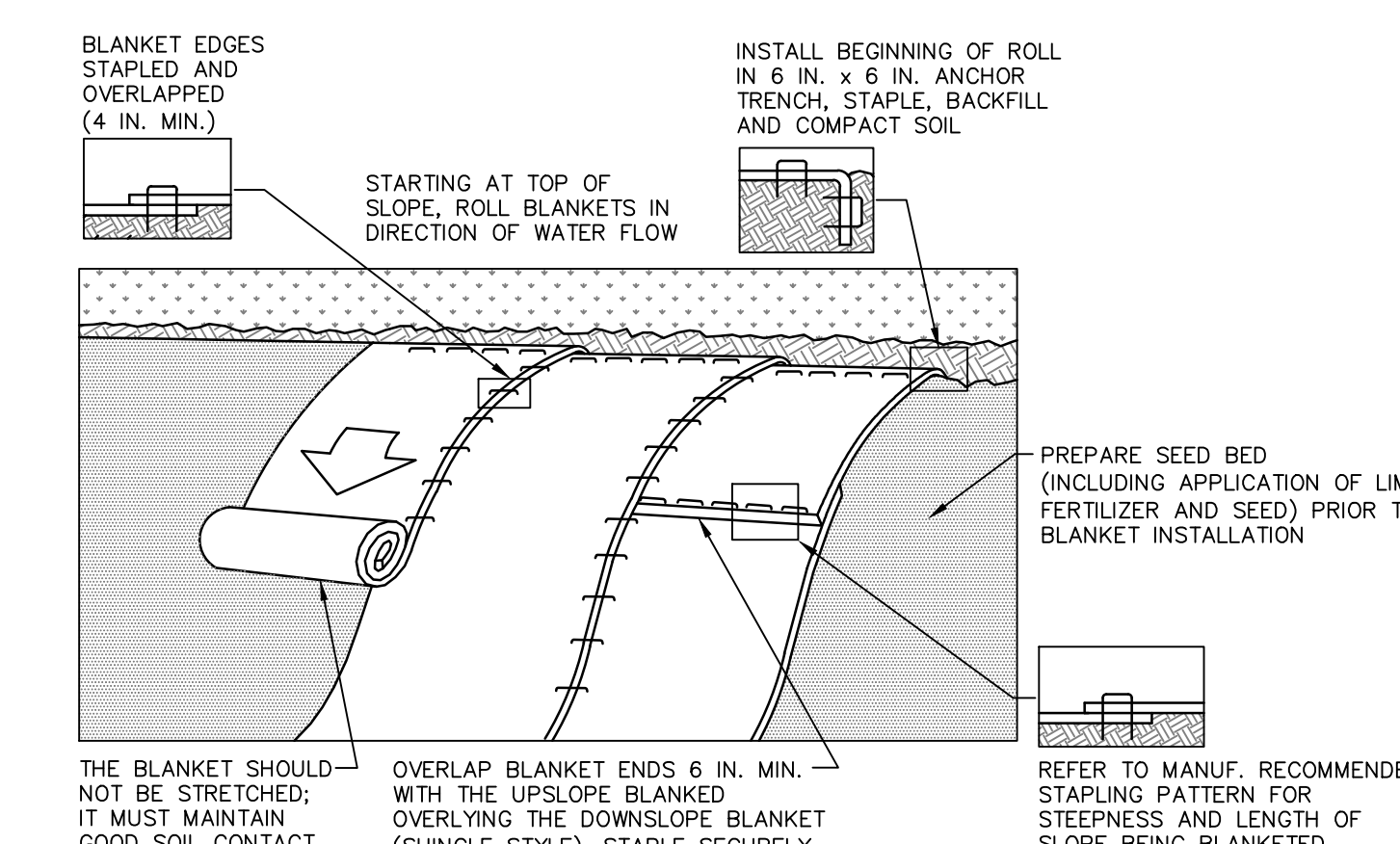
- USE VACUUM SWEEPER TO REMOVE ACCUMULATED SEDIMENT FROM STREETS DAILY BEFORE IT IS WASHED INTO SURFACE WATERS.
- TIRES CAN BE CLEANED OFF MANUALLY WITH A BROOM PRIOR TO EXITING.
- LARGE LUMPS OF DIRT/SOIL CAN BE REMOVED BY HAND.
- ROLLING OF DIRT ROAD CAN STABILIZE AREAS AFFECTED BY TRACKED MUD.

1 ROCK CONSTRUCTION ENTRANCE (ABACT REQUIRED) NOT TO SCALE



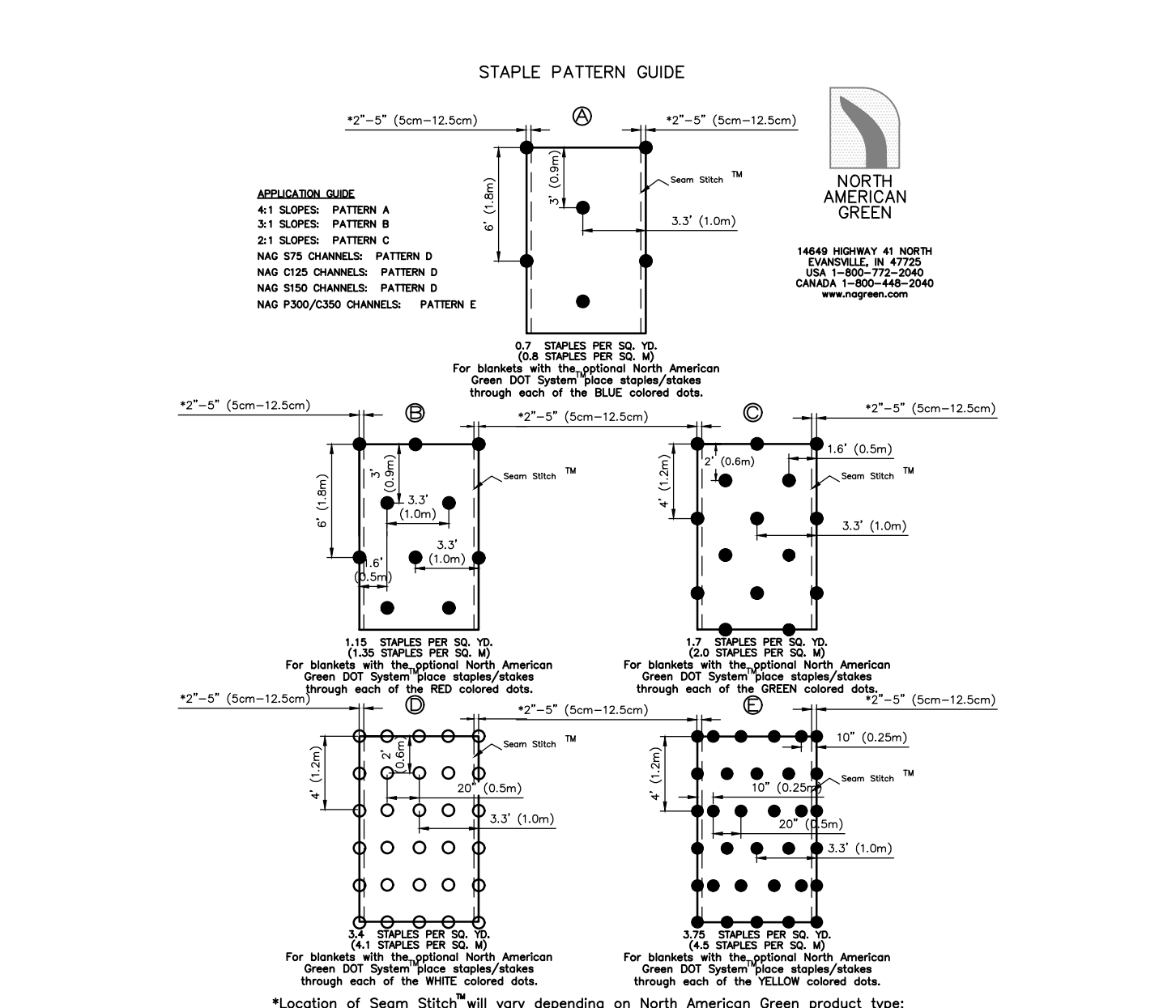
- NOTES:
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL. SEE COMPOST FILTER SOCK SPECIFICATIONS.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED, THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

2 STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK NOT TO SCALE

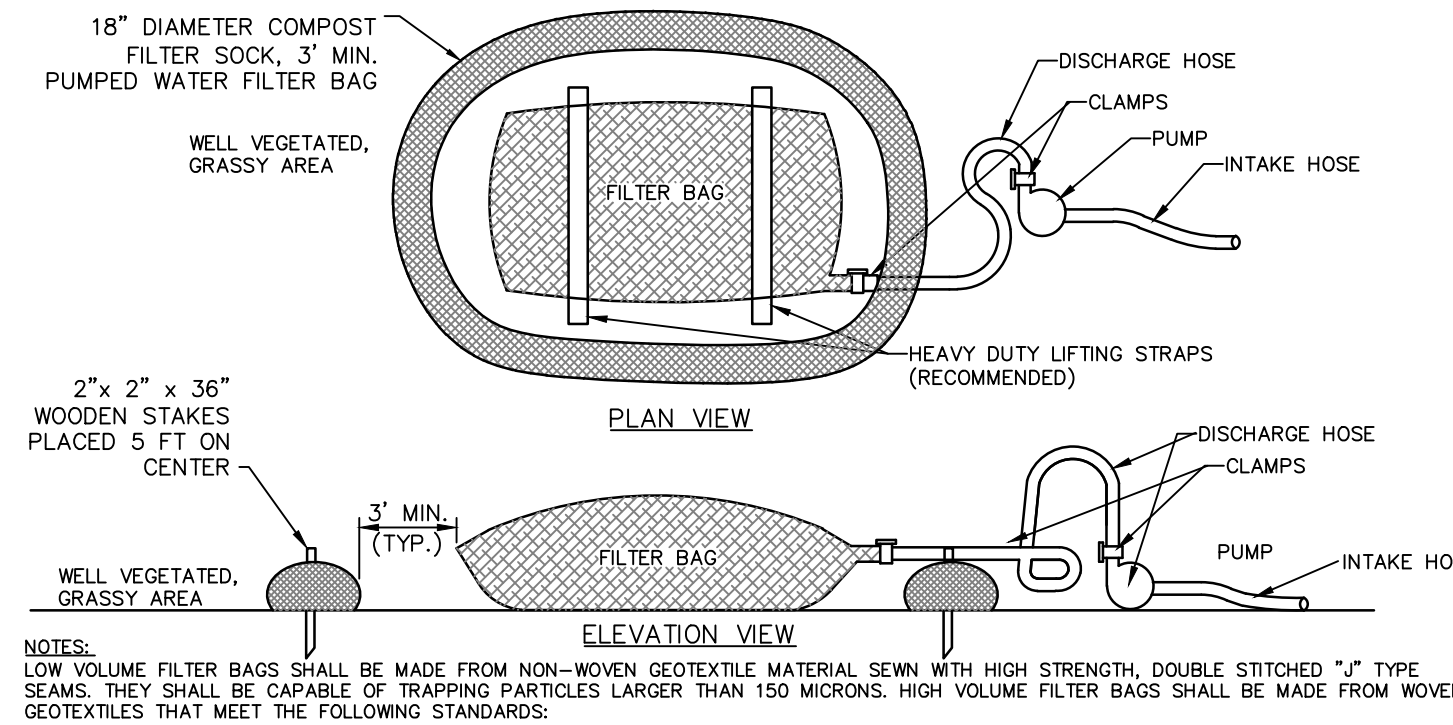


- NOTES:
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 - PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 - BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 - THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

3 STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION NOT TO SCALE



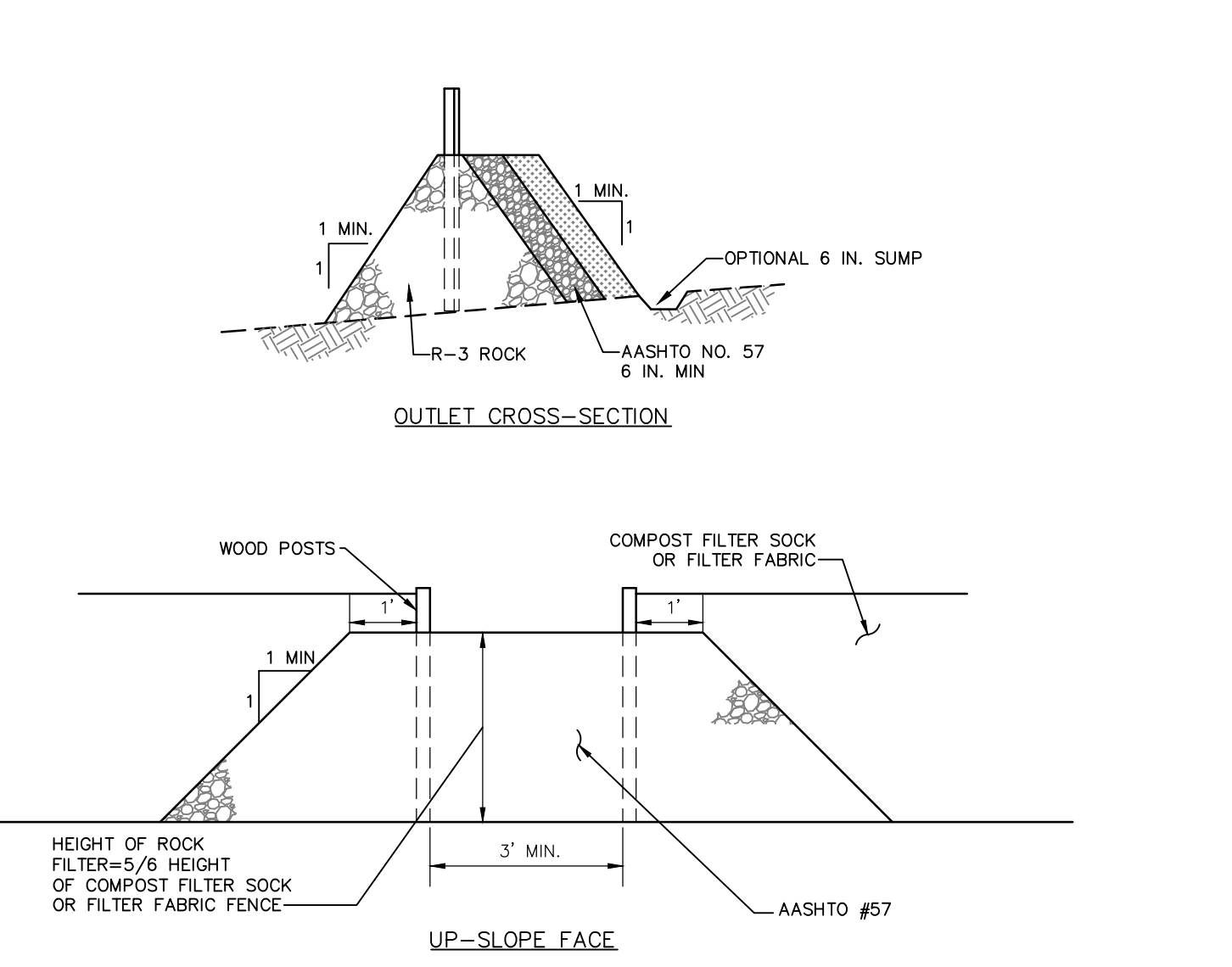
4 STAPLE PATTERN GUIDE NOT TO SCALE



PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

- NOTES:
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 - BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 - COMPOST FILTER SOCK RINGS ARE REQUIRED TO SURROUND PUMPED WATER FILTER BAG FOR INSTALLATIONS ON ALL ABACT-REQUIRED SITES. COMPOST FILTER SOCKS SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS. INSTALL FILTER BAGS WHERE GRASSY AREA IS NOT AVAILABLE WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER.
 - THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 - THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 - FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

5 STANDARD DETAIL 3-16 PUMPED WATER FILTER BAG NOT TO SCALE



- NOTES:
- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
 - SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

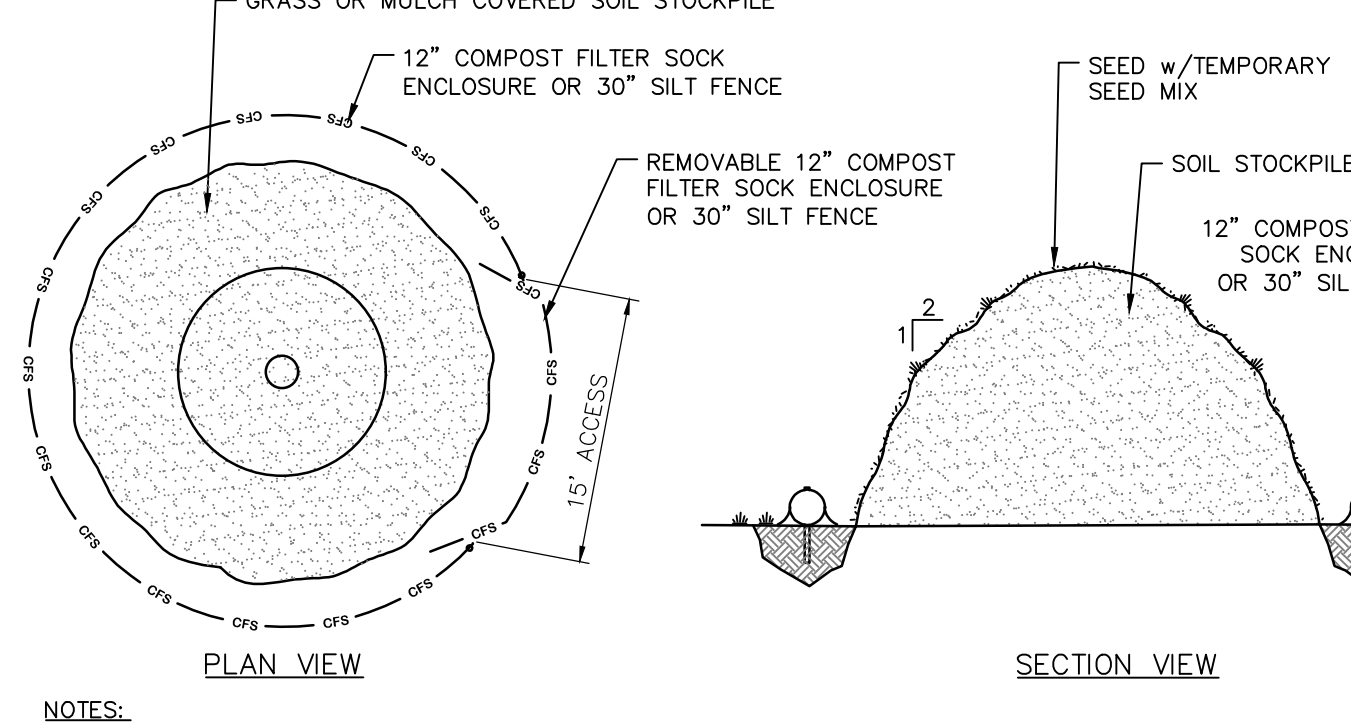
6 STANDARD CONSTRUCTION DETAIL #4-6 ROCK FILTER OUTLETS NOT TO SCALE

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS (TABLE 4.1)					
MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameter	12", 18"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength	-	26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.	-	100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-ply systems	
Inner Containment Netting	HDPE biaxial net Continuously wound Fusion-welded junctures
Outer Filtration Mesh	3/4" x 3/4" Max. aperture size Composite Polypropylene Fabric (Woven layer and non-woven fabric mechanically fused via needle punch) 3/16" Max. aperture size

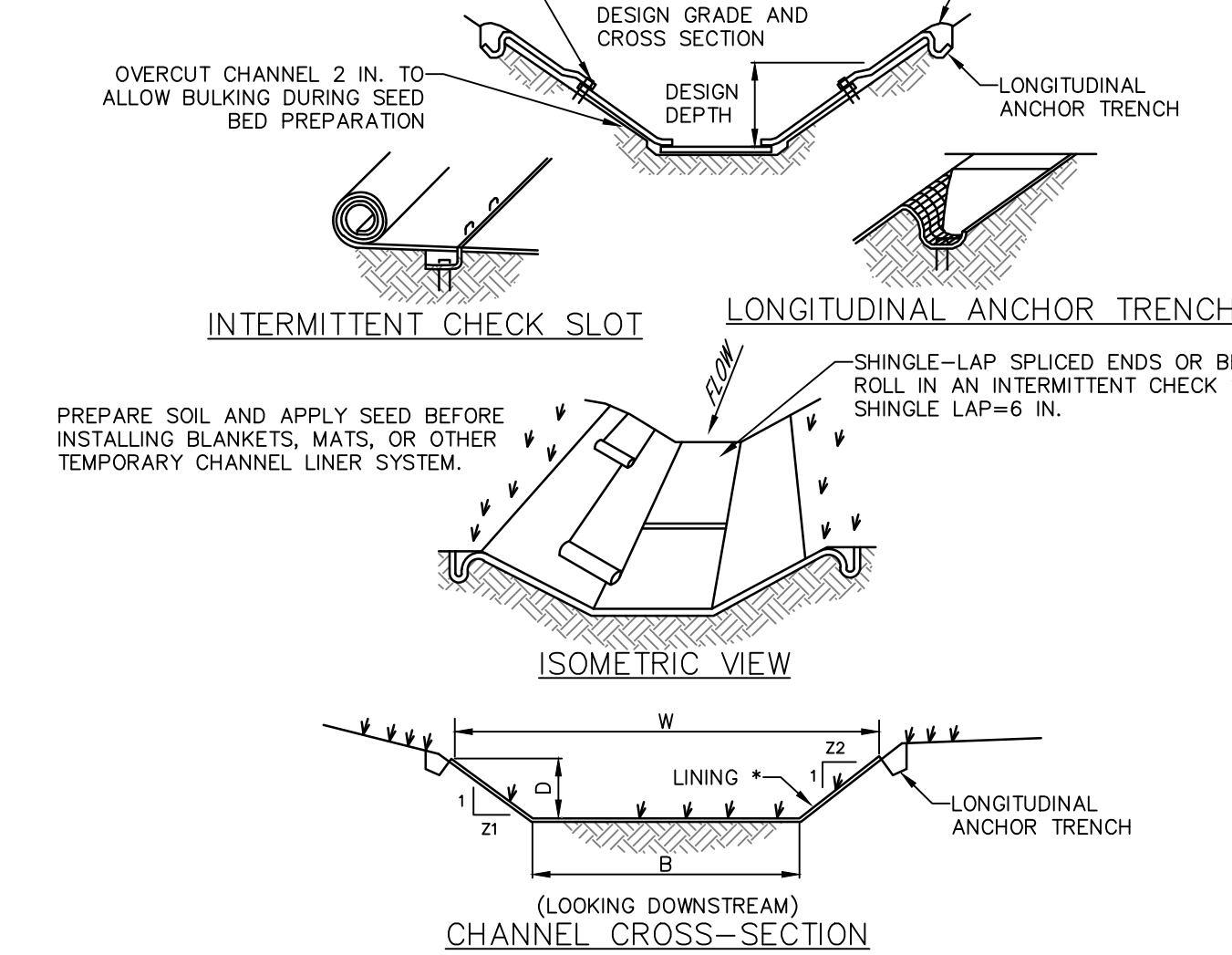
Sock Fabrics composed of burlap may be used on projects lasting 6 months or less.	
COMPOST STANDARDS (TABLE 4.2)	
Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.5
Moisture Content	30% - 60%
Particle Size	30%-50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

7 COMPOST FILTER SOCK SPECIFICATIONS NOT TO SCALE



- NOTES:
- SOIL STOCKPILE SHALL BE ENCIRCLED WITH 12" COMPOST FILTER SOCKS. PROVIDE A 15' WIDE REMOVABLE SOIL STOCKPILE SHALL BE ENCIRCLED WITH 12" COMPOST FILTER SOCKS. PROVIDE A 15' WIDE REMOVABLE PORTION FOR EQUIPMENT ACCESS.
 - IMMEDIATELY SEED WITH TEMPORARY SEED MIX IF CONSTRUCTION IS DELAYED OR STOCKPILE IS TO BE UNDISTURBED. TEMPORARY COVER SHALL CONSIST OF PRACTICES IN CONFORMANCE WITH SOIL STABILIZATION TECHNIQUES SUCH AS SEEDING, MULCHING, ETC.
 - PASSAGEWAY IS TO REMAIN CLOSED WHEN STOCKPILE IS INACTIVE AND NIGHTLY. PASSAGEWAY IS TO REMAIN CLOSED WHEN STOCKPILE IS INACTIVE AN NIGHTLY.
 - SIDE SLOPES SHALL NOT BE STEEPER THAN 2H:1V. SIDE SLOPES SHALL NOT BE STEEPER THAN 2H:1V.

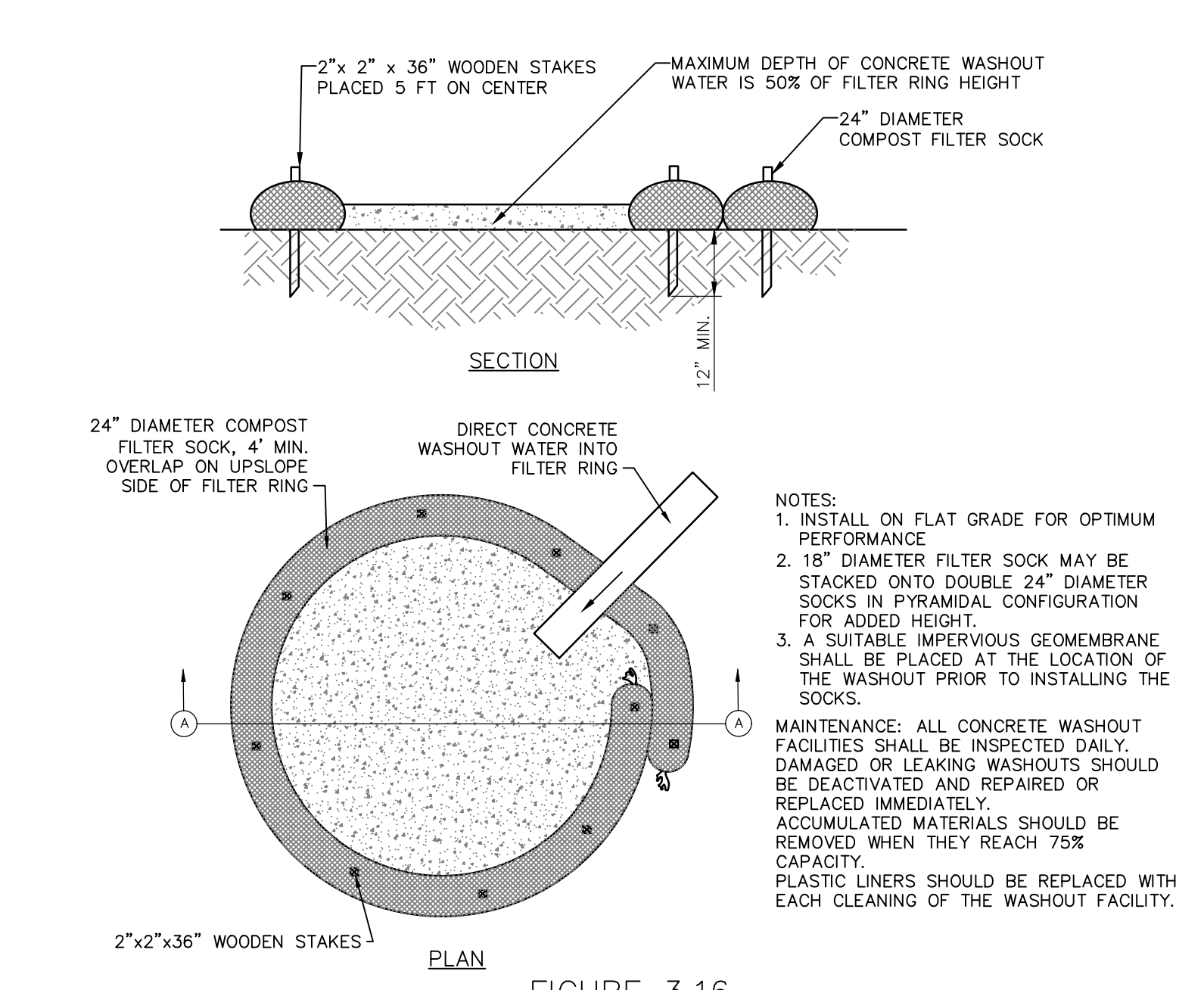
8 TOPSOIL/ MATERIAL STOCKPILE NOT TO SCALE



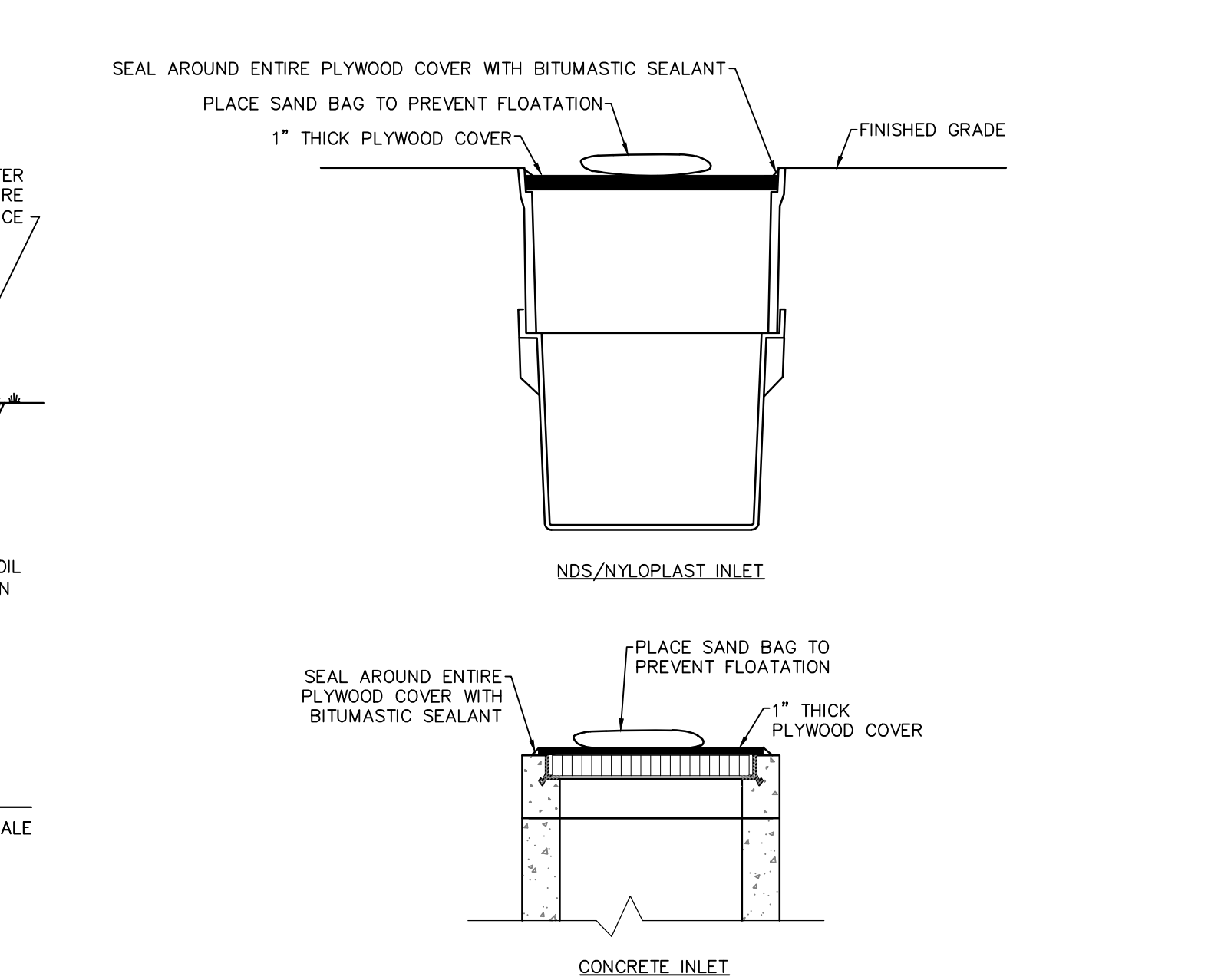
CHANNEL NO.	BOTTOM SLOPE	BOTTOM		TOP		Z1 (FT)	Z2 (FT)	LINING
		WIDTH B (FT)	DEPTH D (FT)	WIDTH W (FT)	DEPTH Z (FT)			
SWALE 1	1.0% MIN	4.0'	1.0'	N/A	3	12	NAG S75	

- NOTES:
- ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
 - CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
 - NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

9 STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL-SWALE 1 NOT TO SCALE



10 TYPICAL COMPOST SOCK WASHOUT DETAIL NOT TO SCALE



11 TEMPORARY PLYWOOD COVERED INLET NOT TO SCALE

NO	BY	DATE	REVISION
1	EBK	02/10/2026	PER TRF - ENGINEER & AUTHORITY REVIEW COMMENTS

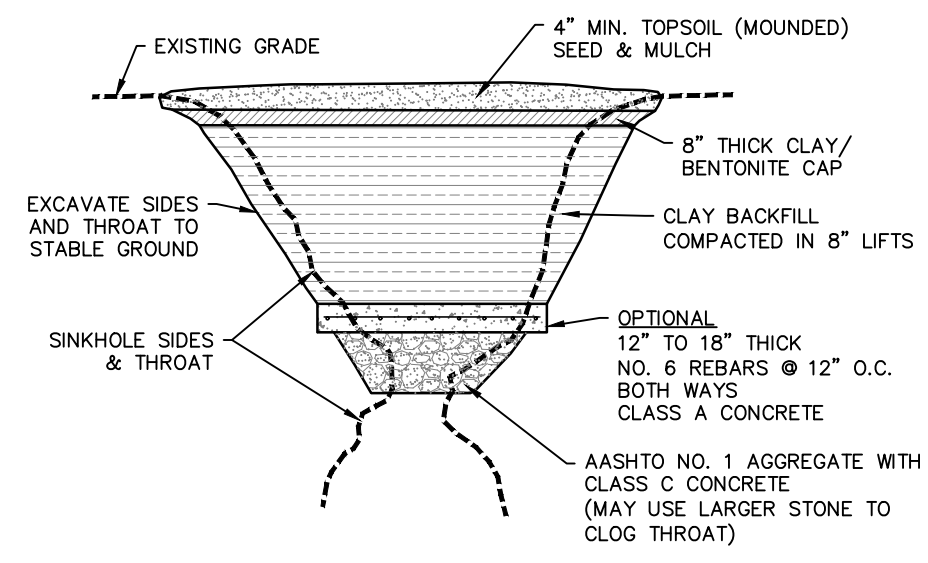
CLIENT
 MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 606 J. MARC HERSHEY STREET
 ELIZABETHTOWN PA 17022
 717-361-6220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
E&S DETAILS
 AS NOTED

SEAL	DRAWN BY: RCW	CHECKED BY: SPG
	DATE: FEBRUARY 9, 2026	
	PROJECT NO.: 251195-001	
	SHEET: ES3 OF 4	

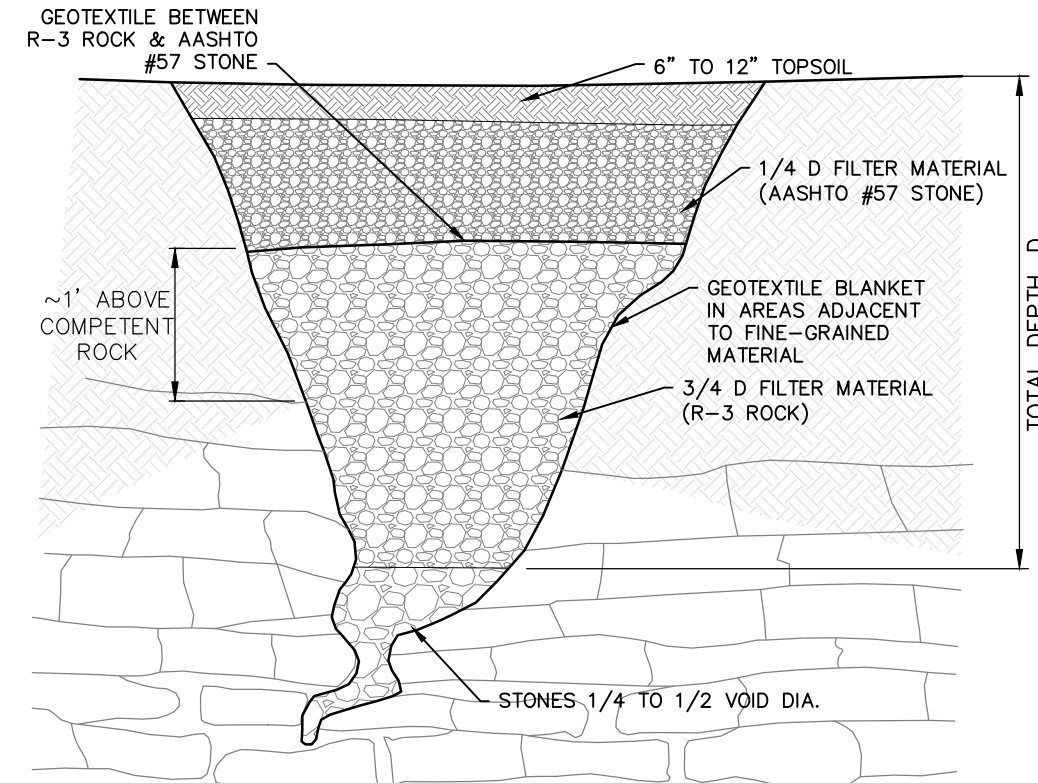
SINKHOLES IDENTIFIED AT THE SITE SHOULD BE EVALUATED BY A PROFESSIONAL ENGINEER AND/OR PROFESSIONAL GEOLOGIST EXPERIENCED IN SINKHOLE REMEDIATION TO RECOMMEND AND OVERSEE REPAIRS.



- NOTES:
1. LOOSE MATERIAL SHALL BE EXCAVATED FROM THE SINKHOLE AND EXPOSE SOLUTION VOID(S) IF POSSIBLE. ENLARGE SINKHOLE IF NECESSARY TO ALLOW FOR INSTALLATION OF FILTER MATERIALS. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS MUST BE FOLLOWED AT ALL TIMES DURING EXCAVATION.
 2. STONES USED FOR THE 'BRIDGE' AND LITERS SHALL HAVE A MODERATELY HARD ROCK STRENGTH AND BE RESISTANT TO ABRASION AND DEGRADATION. SHALE AND SIMILAR SOFT AND/OR NON-DURABLE ROCK ARE NOT ACCEPTABLE.

FIGURE 17.1
SINKHOLE REPAIR WITH A BENTONITE CAP

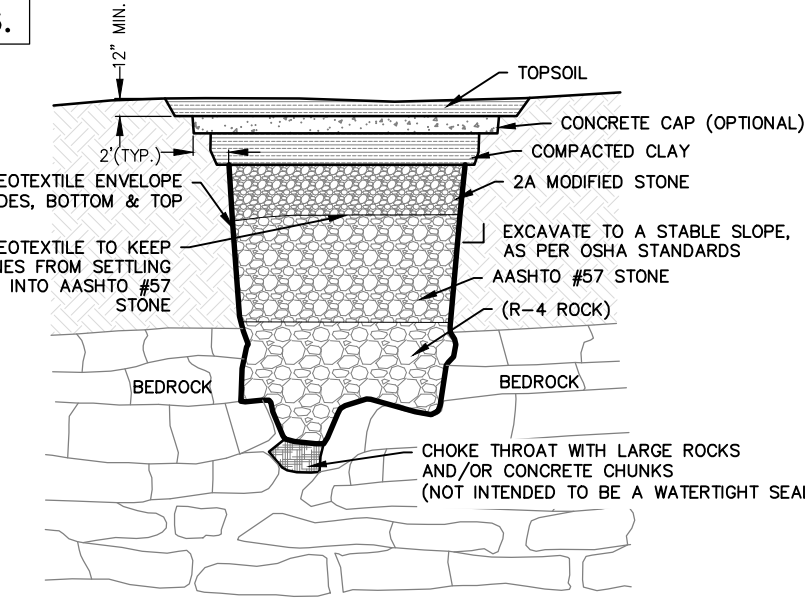
1 ES4 NOT TO SCALE



- NOTES:
1. LOOSE MATERIAL SHALL BE EXCAVATED FROM THE SINKHOLE AND EXPOSE SOLUTION VOID(S) IF POSSIBLE. ENLARGE SINKHOLE IF NECESSARY TO ALLOW FOR INSTALLATION OF FILTER MATERIALS. OSHA REGULATIONS MUST BE FOLLOWED AT ALL TIMES DURING EXCAVATION.
 2. STONES USED FOR THE 'BRIDGE' AND LITERS SHALL HAVE A MODERATELY HARD ROCK STRENGTH AND BE RESISTANT TO ABRASION AND DEGRADATION. SHALE AND SIMILAR SOFT AND/OR NON-DURABLE ROCK ARE NOT ACCEPTABLE.

FIGURE 17.2
SINKHOLE REPAIR WITH A PERVIOUS COVER

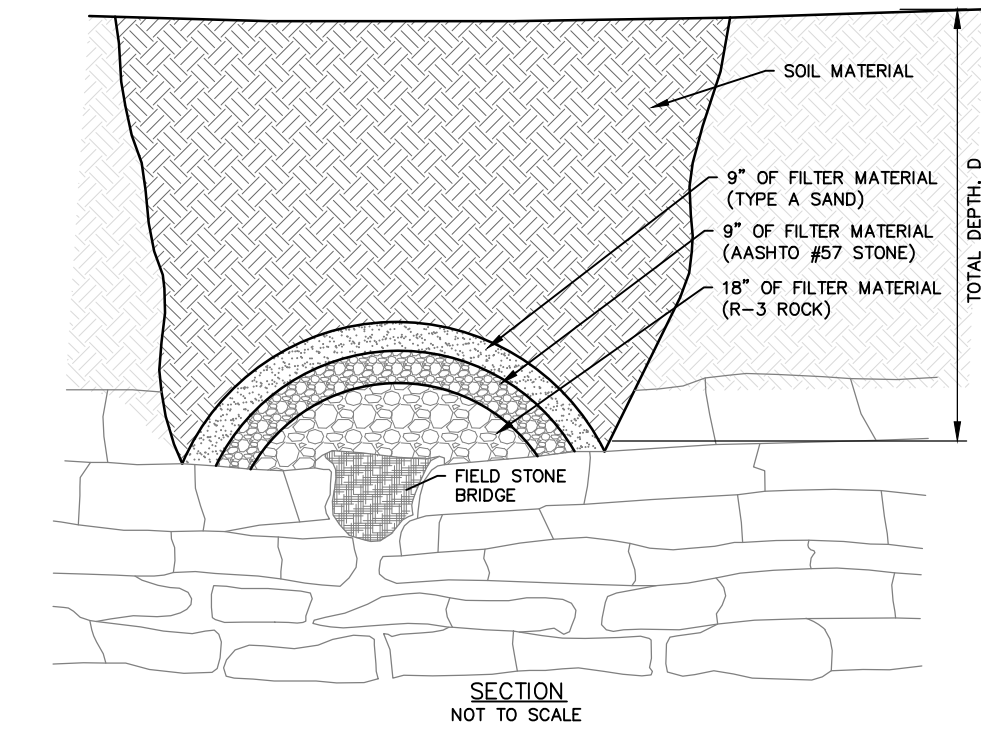
2 ES4 NOT TO SCALE



- NOTES:
1. LOOSE MATERIAL SHALL BE EXCAVATED FROM THE SINKHOLE AND EXPOSE SOLUTION VOID(S) IF POSSIBLE. ENLARGE SINKHOLE IF NECESSARY TO ALLOW FOR INSTALLATION OF FILTER MATERIALS. OSHA REGULATIONS MUST BE FOLLOWED AT ALL TIMES DURING EXCAVATION.
 2. GEOTEXTILE SHALL BE NON-WOVEN WITH A BURST STRENGTH BETWEEN 100 AND 200 PSI.
 3. SELECT FIELD STONE(S) ABOUT 1.5 TIMES LARGER THAN SOLUTION VOID(S) TO FORM 'BRIDGE.' PLACE ROCK(S) SO NO LARGE OPENINGS EXIST ALONG THE SIDES. STONES USED FOR THE 'BRIDGE' AND LITERS SHALL HAVE A MODERATELY HARD ROCK STRENGTH AND BE RESISTANT TO ABRASION AND DEGRADATION. SHALE AND SIMILAR SOFT AND/OR NON-DURABLE ROCK ARE NOT ACCEPTABLE.
 4. MINIMUM THICKNESS OF R-4 ROCK IS 18". AASHTO #57 STONE THICKNESS SHALL BE 1/4 TO 1/2 THAT OF THE R-4 ROCK. MINIMUM THICKNESS OF 2A MODIFIED CRUSHED STONE SHALL BE 9". AASHTO #57 STONE AND 2A MODIFIED CRUSHED STONE SHALL BE COMPACTED AFTER EACH PLACEMENT.
 5. COMPACTED CLAY SEAL SHALL BE A MINIMUM OF 12" THICK. CLAY SHALL BE PLACED IN 6" TO 9" LIFTS AND THOROUGHLY COMPACTED.
 6. CONCRETE CAP, WHICH IS OPTIONAL, SHALL BE A MINIMUM OF 8" THICK. USE 4,000 PSI CONCRETE WITH 6" X 6" - 6 GAUGE WELDED WIRE FABRIC, OR # 3 REBAR ON 18" O.C. BOTH WAYS.
 7. TOPSOIL SHALL BE A MINIMUM OF 12" THICK. GRADE FOR POSITIVE DRAINAGE AWAY FROM SINKHOLE AREA.

FIGURE 17.3
SINKHOLE REPAIR WITH AN IMPERVIOUS COVER

3 ES4 NOT TO SCALE



- NOTES:
1. LOOSE MATERIAL SHALL BE EXCAVATED FROM THE SINKHOLE AND EXPOSE SOLUTION VOID(S) IF POSSIBLE. ENLARGE SINKHOLE IF NECESSARY TO ALLOW FOR INSTALLATION OF FILTER MATERIALS. OSHA REGULATIONS MUST BE FOLLOWED AT ALL TIMES DURING EXCAVATION.
 2. SELECT FIELD STONE(S) ABOUT 1.5 TIMES LARGER THAN SOLUTION VOID(S) TO FORM 'BRIDGE.' PLACE ROCK(S) SO NO LARGE OPENINGS EXIST ALONG THE SIDES. STONES USED FOR THE 'BRIDGE' AND LITERS SHALL HAVE A MODERATELY HARD ROCK STRENGTH AND BE RESISTANT TO ABRASION AND DEGRADATION. SHALE AND SIMILAR SOFT AND/OR NON-DURABLE ROCK ARE NOT ACCEPTABLE.
 3. MINIMUM THICKNESS OF R-3 ROCK IS 18". AASHTO #57 STONE THICKNESS SHALL BE A MINIMUM OF 9" THICK. MINIMUM THICKNESS OF TYPE A SAND SHALL BE 9". NOTE: A NON-WOVEN GEOTEXTILE WITH A BURST STRENGTH BETWEEN 100 AND 200 PSI MAY BE SUBSTITUTED FOR THE AASHTO #57 STONE AND TYPE A SAND.
 4. SOIL SHALL BE MINERAL SOIL WITH AT LEAST 12% FINES AND OVERFILLED BY 5% TO ALLOW FOR SETTLEMENT. SUITABLE SOIL FROM THE EXCAVATION MAY BE USED. ANY AVAILABLE TOPSOIL SHALL BE PLACED ON TOP SURFACE.

FIGURE 17.4
SINKHOLE REPAIR WITH SOIL COVER

4 ES4 NOT TO SCALE

NO.	BY	DATE	REVISION
1	BRK	02/10/2026	PER. IMP. ENGINEER & AUTHORITY REVIEW COMMENTS

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
c/o J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
E&S DETAILS
AS NOTED

SEAL

DRAWN BY: RCW
CHECKED BY: SPG
DATE: FEBRUARY 9, 2026
PROJECT NO.: 251195-001
SHEET: **ES4** OF **4**

ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SSKO

LAW OFFICES
MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

P. O. BOX 4686
LANCASTER, PENNSYLVANIA 17604-4686

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(1971 - 2021)

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1536 W MAIN STREET
EPHRATA, PA 17522
717-733-2313

659 E WILLOW STREET
ELIZABETHTOWN, PA 17022
717-361-8524

February 21, 2026

VIA EMAIL

Matthew J. Mandia, Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Re: Preliminary/Final Land Development Plan for MESA Substation
Our File No. 10221-1

Dear Matt:

I have been provided with a copy of the Preliminary/Final Land Development Plan for MESA Substation (the "Plan") prepared by Harbor Engineering, Inc. The Plan states that it proposes development of a substation for the Municipal Emergency Services Authority of Lancaster County ("MESA") on land held by David L. Hawthorne ("Landowner") identified as Tax Account No. 461-82955-0-0000. The Plan actually proposes development on both that lot and adjoining land held by Hawthorne Electric, Inc., identified as 1892 West Main Street. The Plan must first be updated to identify both entities as landowners and to address zoning issues for both lots.

The proposed MESA substation is a municipal use as that term is defined in the Zoning Ordinance. As such, it is exempt from use, coverage, off-street parking, and other requirements. Therefore, as far as the proposed MESA facility is concerned, the fact that its access and several off-street parking spaces are located on 1892 West Main Street do not create zoning issues for MESA. However, they create zoning issues for 1892 West Main Street.

Both lots are located within the General Commercial District. The maximum impervious surface coverage in the General Commercial District is 65 percent. Zoning Ordinance §135-135.F(2). The Plan does not contain any information for 1892 West Main Street. Looking at the 2024 imagery on the GIS, it appears that the impervious surface coverage of 1892 West Main Street may already exceed 65 percent. The Plan proposes the removal of two existing trees along the common property line and an extension of the impervious surface coverage throughout that area. Harbor Engineering should provide the calculation of the current impervious surface coverage of 1892 West Main Street and the proposed impervious surface coverage of 1892 West Main Street. Hawthorne Electric may have to obtain a variance from Section 135-135.F(2) for the additional impervious surface coverage the Plan proposes.

Matthew J. Mandia, Township Manager
February 21, 2026
Page 2

Zoning Ordinance Section 135-135.E(2) requires that parking lots, loading areas and outdoor storage areas be set back at least 15 feet from each side lot line but if there are shared parking facilities the side yard setback can be waived solely for parking and access. Sheet 5 of the Plan identifies an “access easement”. There is no way to tell from the Plan whether those parking spaces are to be shared.

Zoning Ordinance Section 135-135.E(3)(b) requires that all parking lots, loading areas, and outdoor storage areas be set back at least 15 feet from rear lot lines. There is at least one parking space or portion thereof on 1892 West Main Street and the entirety of the turning portion of the parking lot is located within that 15 foot setback. As indicated above, the municipal use exemption from setbacks does not apply to 1892 West Main Street.

It appears from Sheet 6 of the Plan that all storm water management facilities (i.e. infiltration bed, pipes, and inlets) are located on the MESA lot. However, those storm water management facilities serve the impervious surface coverage to be constructed on both lots. The Storm Water Management Agreement must include both lots.

The Plan proposes that the MESA substation will be provided with public sewer service through a low pressure line in an easement along the rear of its lot, 1892 West Main Street, and 1916 West Main Street held by Usdin Realty Management, LLC. I assume that Elizabethtown Regional Sewer Authority will review the Plan and will address the required easement and other documentation.

1892 West Main Street is provided with sewer service through an on-lot sewage disposal system which is proposed to be removed. Sheet 3 of the Plan states that the existing drainfield and septic tanks will be removed in accordance with all applicable Department of Environmental Protection regulations. The Sewage Enforcement Officer should be allowed to confirm that the on-lot sewage disposal system serving 1892 West Main Street has been properly removed or abandoned.

If you have any questions concerning these comments, please contact me.

Very truly yours,



Josele Cleary

JC:sle

MUNI\10221-1(7)\260217\71

cc: Justin S. Evans, AICP, Assistant Zoning Officer (via email)
Patricia J. Bailey, Township Secretary, Assistant Zoning Officer (via email)
Benjamin S. Craddock, P.E. (via email)
Steven P. Gergely, RLA (via email)

March 19, 2026

Matthew Mandia
Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: matt@mtjoytp.org

Re: MESA Substation
Preliminary/Final Land Development Plan
Township Permit No. 2026-02-FLDP
LCEC Project No: 25-208



LANCASTER CIVIL
★ ★ engineering company ★ ★
p.o. box 8972, lancaster, pa 17604-8972
www.lancastercivil.com

Dear Mr. Mandia,

We have received a preliminary/final land development plan submission from Harbor Engineering, Inc. for the above-referenced project. The submission consisted of the following documents:

- Comment response letter dated March 10, 2026
- Preliminary/Final Land Development Plan revised March 10, 2026
- SWM and E&S Report Addendum revised March 10, 2026
- Drainage Area Maps revised March 9, 2026
- Water and Sewer Feasibility Report undated
- Sewer Capacity Certification dated February 27, 2026
- PPL Electric Utilities ROW Encroachment Application dated February 9, 2026
- Emergency Services Review Request letters dated March 9, 2026
- Opinion of Probable Cost dated March 9, 2026
- Modification Request Letter dated March 10, 2026

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. The proposed municipal use is exempted from all Zoning requirements (135-312).
2. The building on the Hawthorne Electric, Inc. tract is within the front yard setback. This is an existing non-conformity (135-135.E(1)(a)).
3. The maximum impervious coverage shall be sixty-five (65) percent (135-135.F(2)). The proposed impervious coverage on the 1892 West Main Street lot does not meet this requirement.
4. The clear sight triangle for Driveway 'B' shall be shown on the plans (135-299.E(2), 119-31.D(12) & 119-52.L).

Subdivision and Land Development Ordinance

5. A preliminary plan is required (119-25). The applicant has requested a waiver of this requirement.

Waiver response: The applicant proposes to process this as a preliminary/final plan which includes both preliminary and final plan requirements. The plan addresses the requirements of both a Preliminary and Final Plan submission. This project is not phased and construction of public improvements is not scheduled to begin prior to plan recordation, therefore I have no objection to this modification.

6. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
7. The Rural zoning district boundary line label shown on Sheet 3 shall be corrected to Agricultural (119-31.B(9)).
8. Bearings and distances shall be provided for the Hawthorne Electric tract boundaries via survey (i.e. deed plot is not permitted) (119-31.B(17)).
9. Existing features within 200 feet of the subject tract shall be shown on the plans (119-31.C(3) & 113-43.I(5)). The applicant has requested a waiver of this requirement.

Waiver response: Detailed survey information has been provided in the area surrounding the proposed development and the proposed force sewer main improvements. The features that are not shown would not be affected by the project or visa versa, therefore I have no objection to this modification.

10. The plans shall indicate whether the western lot line corners on the 1892 West Main Street tract have been found or are to be set (119-31.D(14)(a)).
11. A wetlands study shall be provided (119-32.B & 119-34.E(3)(c)). The applicant has requested a waiver of this requirement.

Waiver response: The Hawthorne Electric site is largely impervious area and the vacant site has no low-lying areas with wetland vegetation. In addition, the National Wetlands Inventory Mapper does not show wetlands and there are no hydric soils on the subject tracts. Based on these considerations, I have no objections to a waiver of this requirement.

12. A traffic impact study is required since the development is a nonresidential development with a building in excess of 1,000 square feet of usable space (119-32.C(2) & (6)). The applicant has requested a waiver of this requirement.

Waiver response: Based on the anticipated staff members and number of ambulance calls, the applicant indicates that the proposed sub-station will generate very little traffic. In addition, they indicate that in a twenty-four hour period, there will be no more than two to three staff vehicles entering/leaving at shift change, which occur at six o'clock AM and PM and an anticipated four to seven ambulance calls. There are no new additional access points proposed. Finally, the proposed use is a non-profit municipal service use. Based on these considerations, I have no objections to a waiver of this requirement.

13. A contribution in lieu of the preparation of a traffic study shall be provided (119-32.C(2)). The applicant has requested a waiver of this requirement.

Waiver response: The contribution in lieu of a traffic study is intended to “defray the costs of improvements which would be recommended by such studies.” Since the number of new trips generated by this development is very unlikely to require improvements, I have

no specific engineering objections to a waiver of this requirement; however, I consider this a policy decision.

14. All certificates shall be executed prior to final plan approval (119-35.E).
15. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
16. The applicant shall provide proof of notification to owners of existing PP&L right-of-way within the tract. A copy of such correspondence shall be provided to the Township. A note stating any condition regarding the use of the land, minimum building setback or right-of-way lines for the PP&L easement shall be included on the plan (119-35.E(2)(b)).
17. The applicant shall provide written notice from the Elizabethtown Regional Sewer Authority that the proposed sewer system has been designed to the Authority's standards (119-35.E(2)(e) & (f) / 119-60.A.(2) & B.(2)).
18. Written notices from the police and fire emergency service providers that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)).
19. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
20. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
21. Financial security shall be provided prior to final plan approval (119-41 & 113-60). The Opinion of Probable Cost shall include costs for topsoil stripping/stockpiling, bulk/finish grading, NAG150 matting, the detectable warning surface, 4" superpave asphalt binder course, 8" 2A stone subbase, ADA parking, site demolition, property corners, and excavation of Infiltration Bed – SCM 1. The number of Precast Concrete Bumper Block shall be corrected. The "Amount" for the Seeding and Mulching, Permanent, North American Green S75 Liner, and 1.5" Superpave Wearing Course line items shall be corrected (due to rounding).
22. The frontage along West Main Street (SR 0230) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Additional right-of-way shall be provided and concrete curbing and sidewalk shall be constructed. The required right-of-way is 100 feet for West Main Street. Improvements indicated on the Official Map include construction of a second eastbound/westbound through lane and a pedestrian/bicycle pathway (119-52.J(3)(a) & 119-53.B(2) / 119-53.C). The applicant has requested a waiver of these requirements.

Waiver response: The existing cartway width meets the ordinance requirements for arterial streets. There are no sidewalks, curbs, a bicycle/pedestrian pathway, or an eastbound/westbound through lane located on adjacent or nearby properties. Based on these considerations, I have no objections to a deferral of these requirements with the condition a deferral agreement in a form acceptable to the Township Solicitor be executed and recorded.

23. If the Township determines that the road improvements required by 119-52.J(3)(a) are not feasible at the time of development, the developer shall deposit funds with the Township in the amount of 110% of the cost of improvements, or the applicant shall enter into an

agreement that would defer road improvements to a time the Township would deem such road improvements as feasible (119-52.J(3)(d)).

24. The applicant shall address the traffic engineering comments provided by Traffic Planning and Design dated March 19, 2026 (119-52.S(4)(c)).
25. An 8" curb reveal is required (119-53.C(2)(a)). The applicant has requested a waiver of this requirement.

Waiver response: A 6" curb reveal is proposed for all concrete curb in the development. A 6" curb reveal is sufficient to direct stormwater runoff to proposed inlets and the curb will be privately owned/maintained. Based on these considerations, I have no objections to a waiver of this requirement.

26. All utility easements shall have a minimum width of 30 feet (119-56.D). The applicant has requested a waiver of this requirement.

Waiver response: The proposed sanitary sewer easement is currently shown as between 10 and 20 feet wide. The proposed building size and location on the site is limited by the existing PP&L right-of-way. Per the applicant, the proposed easement widths were discussed with ERSA, which found the easements to be acceptable. Based on these considerations, I have no objections to a waiver of this requirement.

27. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

Stormwater Management Ordinance

28. Evidence of NPDES and E&S permit approval by the Lancaster County Conservation District shall be provided (113-31.D, 113-45.B & 113-45.C).
29. The stabilized infiltration rate is to be determined in the same location and within the same soil horizon as the bottom of the infiltration facility (113-31.L(2)(a)).
30. Post-development runoff coefficients for Swale 1 shall be based on winter or poor land use conditions since it conveys an off-site discharge (113-35.G).
31. The minimum diameter for a pipe that experiences vehicular loading is 15 inches (113-37.C(1)(a)[4]). The applicant has requested a modification of this requirement.

Modification response: The applicant is proposing 8" diameter pipe at various locations under vehicular areas. The 8" diameter pipes have adequate capacity for 100 year storm flow. The pipes are also being proposed with adequate cover to withstand vehicular loading and will be privately maintained. Based upon these considerations, I have no objection to this modification request.

32. The bottom width to flow depth ratio for the Vegetated Swale 1 exceeds 12:1 (113-37.C(1)(d)[6]).
33. The grading for vegetated Swale 1 does not provide the 1' depth (113-37.C(5)).
34. The landowner shall execute the final documents prior to final plan approval (113-41.B).
35. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62).

Traffic

36. The proposed development is located within the Transportation Service Area; however, as a municipal use this project is exempt from this requirement (125-10.A(1)).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,



Benjamin S. Craddock, PE, President

LANCASTER CIVIL

cc: Justin Evans, Township Assistant Zoning Officer (via email)
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)
Cindy Gonzalez, Assistant Township Secretary (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Christopher Lincoln, PE, Traffic Planning & Design (via email)
Steve Gergley, RLA, Harbor Engineering (via email)
Marc Hershey, MESA (via email)
Steve Rettew, ERSA (via email)
Abraham King, RETTEW (via email)
Renee Addleman, Planner, LCPC (via email)