

MOUNT JOY TOWNSHIP

LANCASTER COUNTY, PENNSYLVANIA

Application for Consideration of a Subdivision and/or Land Development Plan

For Mount Joy Township Use Only:

M.J.T.P.C. File No.:	25-09-LLCP	Date of Receipt/Filing:	June 12, 2025	
School District:	X Donegal	Elizabethtown		

The undersigned hereby applies for approval under Chapter 119, Subdivision and Land Development, of the Code of the Township of Mount Joy for the Plan submitted herewith and described below:

Plan & Project Information

			Tian G		oject inic	mina	tion		
Plan Name:	Lot	Add-On I	Plan for Jacob B.	. Ht	uyard				
Plan No.:	24	.19898			Pla	n Date	: A	pril 22, 2025	
Location:	No	Northwest corner of Risser Mill and Valley View Roads							
Property Own	ner:	Jacob B	& Ruth S. Huya	ırd	/ Arthur S. A	Auker,	Jr.		
Owner Addre	ess:	1835 Ri	sser Mill Road /	15	01 Valley vie	w Roa	ad, Mou	nt Joy, PA 17552	2
Telephone No).:	(717) 9	45-4376 - Jacob						
E-mail:		jake@l	appstructures.c	om	- Jacob				
Deed Referen	ce:	2024678	52749 / 4239-52	21	Tax Parcel	No.:	461-03	3206 / 36133-0-0	000
Plan Type:			Sketch			Prelin	ninary		Final
		Χ	Lot Line Chan	ge		Mino	r Agricu	icultural or Land Developme	
Zoning Distri		CVCDUE SEASON	lacob's tract at 1	10.3	302 total (10	0.00 ac	res to R	een as 10.0 acre	
				76					
Is a zoning ch					yes, please s	pecity		Tv 1.5	
use approval	0		ecial exception,	or (conditional		No	If yes, attach Z	HB decision.
Total Acreage	:	15.289	Acres						
Name of appl	icant	(if other t	han owner):		Jacob B. Huy	ard (li	nformat	ion Above)	
Address:									
Telephone No).:								
E-mail:									
Firm which p	repai	ed plan:	Gordon L. Bro	ıwc	n & Associat	es			
Address:	ss: 2586 Lititz Pike, Lancaster, PA 17601								
Phone No.:		(717)	569-0528						
	rsible	THE RESIDENCE OF THE PARTY OF T	Timothy S.	1905 CASA	eAle Calle Creation Invited Advancement				
E-mail:		ttrostle	@strausserinc.o	con	n				

Proposed Lots and Units

	ш ст.	# CTT :		# CT .	# CTT :-
	# of Lots	# of Units		# of Lots	# of Units
Total #	2	2	Mixed Use		
Agricultural			Single Family Detached	2	2
Commercial			Multifamily (attached-sale)		
Industrial			Multifamily (attached-rental)		
Institutional			Other:		
Total Square Feet of Ground	d Floor Area	a (building	footprint):	22,334 sf	
Total Square Feet of Existin		22,334 sf			
Total Square Feet of Propos	s):	N/A			
Total Square Feet (or Acres)	N/A				
Linear feet of new street:					
Identify all street(s) not pro	N/A				

Type of water supply proposed:

Public (Live)		Community
Public (Capped)	Χ	Individual

Type of sanitary sewage disposal proposed:

Public (Live)		Community
Public (Capped)	X	Individual

The undersigned hereby represents that, to the best of his knowledge and belief, all information listed above is true, correct and complete.

Signature of Landowner of Applicant	4-30-25 Date			
Ruth 8. Huyard	4-30-25			
Aruhur S. Auker JA	April 30 2025			

NOTES

- PERMANENT 5/8" REBARS (O) SHALL BE INSTALLED UPON APPROVAL OF THIS PLAN.
- PARKING HAS BEEN PROVIDED FOR EACH LOT AS PER THE MOUNT JOY TOWNSHIP ZONIHG ORDINANCE.
- UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UNDERGROUND UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. STRAUSSER SURVEYING AND ENGINEERING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. STRAUSSER SURVEYING AND ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACCURATELY SHOWN.
- ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF GORDON L. BROWN AND ASSOCIATES, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THIS PLAN OR REVISIONS TO THIS PLAN REQUIRES PRIOR WRITTEN APPROVAL FROM THE APPROPRIATE AUTHORITY.
- NO ONE SHALL SCALE FROM THIS PLAN FOR CONSTRUCTION PURPOSES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THIS PLAN DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS OF WAY, EASEMENTS, RESTRICTIONS, ETC., WHICH MAY BE DISCOVERED BY A COMPLETE TITLE SEARCH.
- PARCEL "A" SHALL BE JOINED IN COMMON WITH LOT No. 1 AND MADE A PART THEREOF. TOTAL AREA 10.302 ACRES.
- 9. THE EXISTING DWELLINGS SHOWN HEREON ARE SERVED BY AN ON-LOT WELLS AND BY ON-LOT SEWAGE DISPOSAL SYSTEMS.
- 10. ALL SIGNIFICANT ENVIRONMENTAL FEATURES, TOPOGRAPHICAL FEATURES, EXISTING RIGHT OF WAYS AND CARTWAYS FOR STREETS, ACCESS DRIVES AND SERVICE STREETS WITHIN 200 FEET OF THE SUBJECT TRACT HAVE BEEN DELINEATED AS SHOWN HEREON.
- 11. NO AREAS ARE BEING PROPOSED FOR DEDICATION ON THIS PLAN.
- 12. LOT No. 1 HAS BEEN PREVIOUSLY BEEN RECORDED IN SUBVISION PLAN BOOK J-183 PAGE 91, AND LOT No. 2 IN DOCUMENT ID No. 2014-0013-J.
- 13. ALL LANDS WITHIN THE AGRICULTURAL ZONE ARE LOCATED WITHIN AN AREA WHERE LAND IS USED FOR COMMERCIAL AGRICULTURAL PRODUCTION. OWNERS, RESIDENTS AND OTHER USERS OF THIS PROPERTY MAY BE SUBJECTED TO INCONVENIENCE, DISCOMFORT, AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL PRACTICES AND OPERATIONS, INCLUDING, BUT NOT LIMITED TO, NOISE, ODORS, DUST, THE OPERATION OF MACHINERY OF ANY KIND, INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS, HERBICIDES, PESTICIDES AND NIGHT/WEEKEND OPERATIONS. OWNERS, OCCUPANTS AND USERS OF THIS PROPERTY SHOULD BE PREPARED TO ACCEPT SUCH INCONVENIENCES, DISCOMFORT, AND POSSIBILITY OF INJURY FROM NORMAL AGRICULTURAL OPERATIONS, AND ARE HEREBY PUT ON OFFICIAL NOTICE THAT SECTION 4 OF PENNSYLVANIA ACT 133 OF 1982, THE "RIGHT TO FARM" LAW, AND THE AGRICULTURE COMMUNITIES AND RURAL ENVIRONMENT (ACRE). PA ACT 38 OF 2005, MAY BAR THEM FROM OBTAINING A LEGAL JUDGMENT AGAINST SUCH NORMAL AGRICULTURAL OPERATIONS. FROM THE EFFECTIVE DATE, ALL SUBSEQUENT SUBDIVISION PLANS SUBMITTED WITHIN THE (ARH) ZONE SHALL REQUIRE A NOTE WHICH DUPLICATES THIS SECTION AND WHICH MUST BE TRANSFERRED TO THE PURCHASER BY THE SELLER.

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF LANCASTER

ON THIS, THE ____ DAY OF ___, 20___, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED ARTHUR S. AUKER, JR., WHO BEING DULY SWORN OR AFFIRMED ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

ARTHUR S. AUKER, JR.

NOTARY PUBLIC

NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF LANCASTER

ON THIS, THE ____ DAY OF __ , 20___, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED, JACOB B. AND RUTH S. HUYARD, WHO BEING DULY SWORN OR AFFIRMED ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

LOT ADD - ON PLAN **FOR**

JACOB B. HUYARD

MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA

OWNER

ARTHUR S. AUKER, JR. 1501 VALLEY VIEW ROAD MOUNT JOY, PA 17552

JACOB B. AND RUTH S. HUYARD 1835 RISSER MILL ROAD MOUNT JOY, PA 17552

SOURCE OF TITLE

RECORD BOOK 4239 *PAGE 521 – LOT No. 1* DOCUMENT ID 202467852749 LOT No. 2

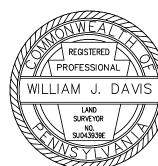
ACCOUNT NUMBER

461-36133-0-0000 LOT No. 1

461-03206-0-0000 LOT No. 2

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

WILLIAM J. DAVIS, PLS



SITE DATA

MAXIMUM BUILDING COVERAGE

MAXIMUM BUILDING HEIGHT

PROPOSED LOT 1 LOT COVERAGE

SHEET INDEX

** TO BE RECORDED

SHEET 1 OF 2 - COVER SHEET **

SHEET 2 OF 2 - LOT ADD-ON PLAN **

NUMBER OF LOTS - 2 NUMBER OF DWLLING UNITS - 2 NUMBER OF ACRES - 15.290 ACRES DENSITY - 0.042 UNITS/ACRE USE OF LAND - RESIDENTIAL ZONING - AGRICULTURAL MINIMUM LOT SIZE - 1 ACRE MAXIMUM LOT SIZE - 2 ACRES MINIMUM LOT WIDTH - 100' @ SB MINIMUM LOT DEPTH - 150' FRONT YARD SETBACK - 35 ' SIDE YARD SETBACK REAR YARD SETBACK MAXIMUM LOT COVERAGE - 25%

_, 20___, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND

- 20%

- 35'

- 54.2%

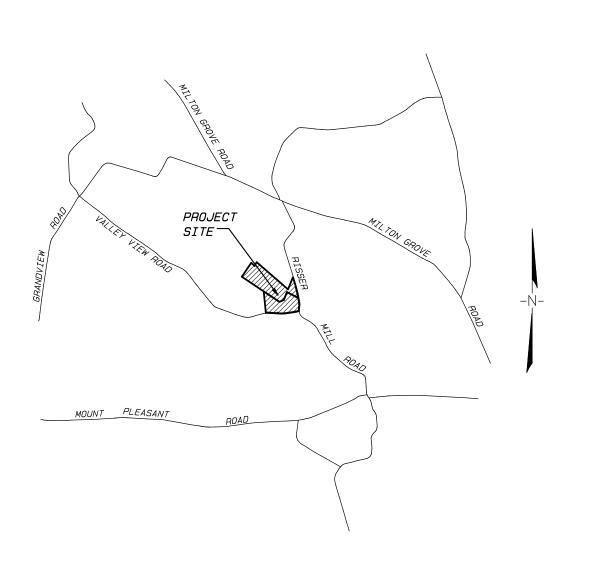
THIS PLAN, BEARING LCPC FILE NO. _____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON ______, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

APRIL 22, 2025 DRAWING No.:

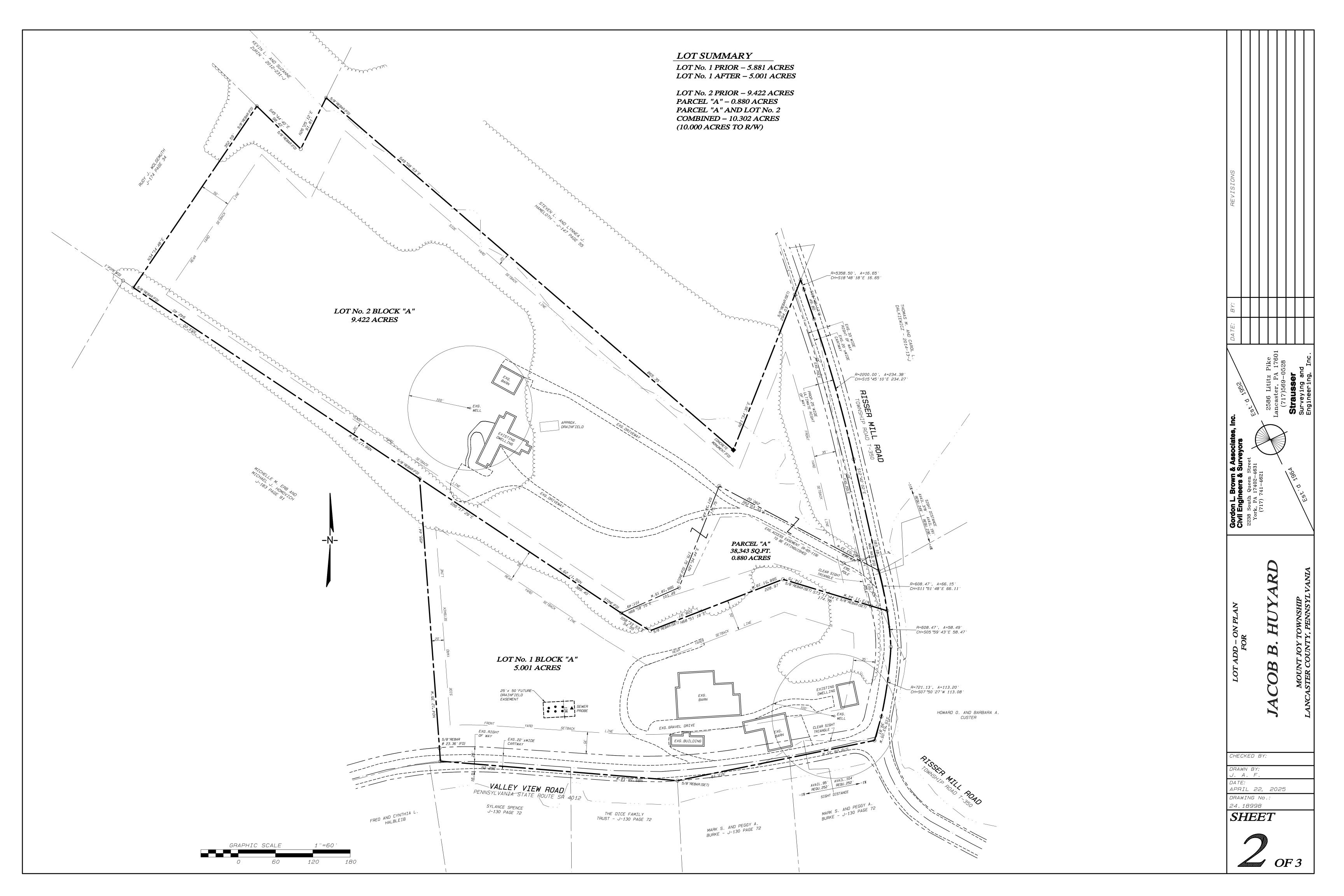
24.18998

CHECKED BY:

. A. F.



LOCATION MAP SCALE : 1" = 2000'



LAW OFFICES

ANTHONY P. SCHIMANECK JOSELE CLEARY ROBERT E. SISKO JASON M. HESS

WILLIAM C. CROSSWELL

RANDALL K. MILLER

OF COUNSEL

MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

P. O. BOX 4686

LANCASTER, PENNSYLVANIA 17604-4686

WWW.MHCK.COM

FAX (717) 299-6170

E-MAIL: attorneys@mhck.com

GEORGE J. MORGAN (1971 - 2021)

<u>RETIRED</u> CARL R. HALLGREN MICHAEL P. KANE

700 NORTH DUKE STREET LANCASTER, PA 17602 717-299-5251

> 1536 W MAIN STREET EPHRATA, PA 17522 717-733-2313

659 E WILLOW STREET ELIZABETHTOWN, PA 17022 717-361-8524

June 20, 2025

VIA EMAIL

Kimberly Kaufman, Township Manager Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022

Re: Lot Add-On Plan for Jacob B. Huyard

Our File No. 10221-1

Dear Kim:

I have reviewed the Lot Add-On Plan for Jacob B. Huyard (the "Plan") prepared by Gordon L. Brown & Associates, Inc. The Plan proposes that the property of Jacob Huyard and Ruth Huyard identified as 1835 Rissermill Road (the "Huyard Lot") will be increased by 0.88 acre to result in a new lot containing 10.3 gross acres and 10.0 net acres. The adjoining lot held by Arthur Auker identified as 1501 Valley View Road (the "Auker Lot") will be decreased by that amount and will result in a lot containing approximately five acres. This letter will set forth comments on the Plan.

Both properties are located within the Rural District and are provided with on-lot sewage disposal. The Plan indicates a tested replacement location on the Auker Lot. It does not include a tested location on the Huyard Lot. Section 100-58.A of the Code of Ordinances requires that any person filing an application for subdivision or land development approval must demonstrate that a suitable area exists on the existing lot or on each lot to be created for an initial and a replacement on-lot sewage disposal system. The Huyard Lot was created in its existing configuration by the Lot Line Change Plan for Carol L. Dalkiewicz recorded at Document No. 2014-0013-J (the "2014 Plan"). The 2014 Plan does not indicate a tested replacement location.

Note 22 of the 2014 Plan states:

By recording this plan landowners Carol L. Dalkiewicz and Thomas M. Dalkiewicz hereby irrevocably dedicate right-of-way along all frontages of Rissermill Road so that the right-of-way shall be 25 from the centerline at all points along the frontages of Lot 1 and Lot 1A. Landowners, for themselves and their personal representatives, heirs, successors and assigns, agree that by the recording of this plan the landowners shall, if requested by the Township in the future, execute any

Kimberly Kaufman, Township Manager June 20, 2025 Page 2

documents necessary to confirm the dedication of the additional right-of-way along Rissermill Road.

The Plan shows a line along the Rissermill Road frontage of the Huyard Lot identified as "Prop. 25' wide ultimate right of way". The Plan also contains Note 11 which states, "No areas are being proposed for dedication on this plan."

The Township should determine whether it desires to enforce Note 22 on the 2014 Plan or whether it will simply require a substantially identical note with the names of the landowners changed be placed on the Plan. The Township at a minimum should require a note substantially identical to the note on the 2014 Plan.

If the Township approves the Plan, I strongly recommend that it impose conditions requiring that a deed with a perimeter legal description for the Huyard Lot as enlarged and a deed with a perimeter legal description for the Auker Lot as reduced be recorded within 30 days from the release of the Plan for recording.

If you have any questions concerning any of these comments, please contact me.

Very truly yours,

Josele Cleary

JC:sle MUNI\10221-1(7)\250618\71

cc: Joseph Price, Community Development Director/Zoning Officer (via email)
Patricia J. Bailey, Township Secretary (via email)

Benjamin S. Craddock, P.E. (via email)

Timothy S. Trostle, Project Manager (via email)

July 19, 2025

Kim Kaufman Township Manager Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org

Re: Jacob Huyard Lot-Line Change Plan

Lot Add-On Plan

Township Permit No. 25-09-LLCP

LCEC Project No: 25-198



Dear Mr. Kaufman,

We have received a lot add-on plan submission from Gordon L. Brown & Associates for the above-referenced project. The submission consisted of the following documents (received June 18, 2025):

Lot Add-On Plan dated April 22, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

- 1. The number of lots which may be created from a parent tract in the Agricultural District is limited by Section 135-85.B of the Zoning Ordinance based upon the size of the parent tract. The size of the parent tract as it existed on June 4, 1978 shall be used in determining the number of lots which may be created from the parent tract (135-85.B(3)). The plans shall specify which lot or lots shall carry with it any remaining rights of further subdivision or erection of single-family dwellings or other principal nonagricultural buildings. This shall also be included in the deeds for each lot (135-85.B(6)).
- 2. The minimum lot area for single-family detached dwellings shown in the Site Data table shall be corrected (135-82.C(2)).
- 3. The existing dwelling, barn, and building on Lot No. 1 are within the front yard setback. These are existing non-conformities (135-85.F).
- 4. The minimum front yard setback requirement for "all other buildings" shall be provided on the Cover Sheet (135-85.F(1)).
- 5. The northerly "required" stopping sight distance shall be corrected for the Lot No. 2 driveway (135-299.E(2) & 119-31.D(12)).

Subdivision Ordinance

6. Plan Note #8 shall be corrected (i.e. Parcel A is being joined to Lot No. 2) (119-31.A(3)).

- 7. The total number of sheets for Sheet 2 shall be corrected (119-31.A(3)).
- 8. It is recommended that a linetype and symbol legend be added to the plans (119-31.A(4)).
- 9. The plans shall be signed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
- 10. The sum of the individual areas of Lot No. 2 Block "A", Parcel "A", and Lot No. 1 Block "A" shown on Sheet 2 and in the Lot Summary table (15.303 acres) is inconsistent with the Number of Acres shown in the Site Data table (15.290 acres) (119-31.B(6)).
- 11. The source of title for Lot No. 1 shall be corrected (119-31.B(10)).
- 12. The plan shall identify the parent tract and all prior subdivisions from the parent tract which have been recorded (119-31.B(13)).
- 13. The plan shall identify all prior plans, including all notes or restrictions affecting the current development, with a verification signed by the design professional that such list is complete and correct (119-31.B(14)).
- 14. The units of occupancy, density, and land use shall be provided for each lot separately (Lot Nos. 1 and 2) (119-31.D(3)).
- 15. Bearings and distances shall be provided for the existing right-of-way (119-31.D(4)).
- 16. The Lot Summary table on Sheet 2 should distinguish between the net and gross lot area for Lot No. 1 (119-31.D(9)).
- 17. The existing and proposed lot widths and lot depths for each lot shall be provided (119-31.D(9)).
- 18. For Lot Nos. 1 and 2, the existing and proposed building coverages shall be provided. The proposed lot coverage shall be provided for Lot No. 2 (119-31.D(9)). Please note that the proposed lot coverage for Lot No. 1 shown on the Site Data exceeds the maximum lot coverage requirement for the Agricultural Zoning District. If the resulting lot add-on results in an expansion of an existing non-conformity for the lot coverage on Lot No. 1, a variance may be required.
- 19. A wetlands study shall be provided (119-35.E(3)(c)).
- 20. Bearings and distances shall be provided for the new lot line and curves that will result from the dedication of the proposed right-of-way (119-35.D(2)).
- 21. All certificates shall be executed prior to final plan approval (119-35.E).
- 22. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
- 23. Plan Note #11 indicates that "no areas are being proposed for dedication on this plan"; however, Sheet 2 indicates that street right-of-way is proposed (119-35.E(2)(d)). This should be clarified in the plans.
- 24. Legal descriptions for the right-of-way proposed for dedication to Mount Joy Township shall be provided (119-35.E(4)(b)).
- 25. A copy of the deed with the perimeter description of Lot No. 2 shall be provided prior to the final release of financial security (119-35.E(4)(g)).
- 26. A construction cost estimate and financial security shall be provided (119-41). The cost estimate shall include the costs for setting the proposed lot markers and monuments. If

July 19, 2025 Page 2 of 3

- the proposed lot markers and monuments are set prior to the recording of the plan, and the plan is revised to include the set markers and monuments, then financial security would not need to be posted.
- 27. The frontage along Valley View Road and Risser Mill Road (local streets) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Improvements shall include pavement widening. The existing cartways are shown as 22 feet and 20 feet wide respectively; the required cartway width for a local street outside of the designated growth area is 20 feet with 2-foot paved shoulders (24 feet total) (119-52.J(3)(a)).
- 28. If the Township determines that the road improvements required by 119-52.J(3)(a) are not feasible at the time of development, the developer shall deposit funds with the Township in the amount of 110% of the cost of improvements, or the applicant shall enter into an agreement that would defer road improvements to a time the Township would deem such road improvements as feasible (119-52.J(3)(d)).
- 29. A note shall be added to the plan with the requirement that nothing shall be placed, planted, set or put within an easement that would adversely affect the function of the easement or conflict with the easement agreement (119-56.B). This note shall also be included in all deeds for lots which contain an easement.
- 30. Conservation easements shall be provided surrounding the limits of riparian corridors, wetlands, floodplains, mature forests and other environmentally sensitive areas as defined by Chapter 135, Zoning (119-56.H).
- 31. Three monuments shall be spaced around the proposed project, with at least two of the monuments places as consecutive corners along the street right-of-way (119-57.B). A note on the plans shall indicate when the monuments are to be set (119-57.H).
- 32. Lot line markers shall be set at the street right-of-way (119-57.D).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,

Benjamin S. Craddock, PE, President

LANCASTER CIVIL

Bayamin S Candlack

cc: Justin Evans, Assistant Zoning Officer (via email)

Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)

Josele Cleary, Esquire, Township Solicitor (via email)

Renee Addleman, Planner, LCPC (via email)

Jacob Huyard (via email)

Timothy Trostle, Gordon L. Brown and Associates (via email)

July 19, 2025 Page 3 of 3