



MOUNT JOY TOWNSHIP

LANCASTER COUNTY, PENNSYLVANIA

Application for Consideration of a Subdivision and/or Land Development Plan

For Mount Joy Township Use Only:

M.J.T.P.C. File No.:	25-09-LLCP	Date of Receipt/Filing:	June 12, 2025
School District:	X Donegal		Elizabethtown

The undersigned hereby applies for approval under Chapter 119, Subdivision and Land Development, of the Code of the Township of Mount Joy for the Plan submitted herewith and described below:

Plan & Project Information

Plan Name:	Lot Add-On Plan for Jacob B. Huyard		
Plan No.:	24.19898	Plan Date:	April 22, 2025
Location:	Northwest corner of Risser Mill and Valley View Roads		
Property Owner:	Jacob B. & Ruth S. Huyard / Arthur S. Auker, Jr.		
Owner Address:	1835 Risser Mill Road / 1501 Valley view Road, Mount Joy, PA 17552		
Telephone No.:	(717) 945-4376 - Jacob		
E-mail:	jake@lappstructures.com - Jacob		
Deed Reference:	202467852749 / 4239-521	Tax Parcel No.:	461-03206 / 36133-0-0000
Plan Type:	<input type="checkbox"/> Sketch	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final
	<input checked="" type="checkbox"/> Lot Line Change	<input type="checkbox"/> Minor Agricultural or Land Development	
Description:	Client is proposing to purchase 0.880 acres (Parcel "A") and add to his existing 9.422 acre tract. Purpose of purchase is to apply for Clean & Green as 10.0 acres is needed. This will put Jacob's tract at 10.302 total (10.00 acres to ROW).		
Zoning District:	R - Rural District		
Is a zoning change necessary?	No	If yes, please specify:	
Is/was a zoning variance, special exception, or conditional use approval necessary?	No	If yes, attach ZHB decision.	
Total Acreage:	15.289 Acres		
Name of applicant (if other than owner):	Jacob B. Huyard (Information Above)		
Address:			
Telephone No.:			
E-mail:			
Firm which prepared plan:	Gordon L. Brown & Associates		
Address:	2586 Lititz Pike, Lancaster, PA 17601		
Phone No.:	(717) 569-0528		
Person responsible for plan:	Timothy S. Trostle		
E-mail:	ttrostle@strausserinc.com		

♦ SUPERVISORS ♦ PARK & RECREATION BOARD ♦ PLANNING COMMISSION ♦ ZONING HEARING BOARD

8853 ELIZABETHTOWN ROAD, ELIZABETHTOWN, PA 17022
PHONE (717) 367-8917 - FAX (717) 367-9208
www.mtjoytp.org

Proposed Lots and Units

	# of Lots	# of Units		# of Lots	# of Units
Total #	2	2	Mixed Use		
Agricultural			Single Family Detached	2	2
Commercial			Multifamily (attached-sale)		
Industrial			Multifamily (attached-rental)		
Institutional			Other:		
Total Square Feet of Ground Floor Area (building footprint):			22,334 sf		
Total Square Feet of Existing Structures (all floors):			22,334 sf		
Total Square Feet of Proposed Structures (all floors):			N/A		
Total Square Feet (or Acres) of Proposed Parkland/Other Public Use:			N/A		
Linear feet of new street:			N/A		
Identify all street(s) not proposed for dedication:			N/A		

Type of water supply proposed:

<input type="checkbox"/>	Public (Live)	<input type="checkbox"/>	Community
<input type="checkbox"/>	Public (Capped)	<input checked="" type="checkbox"/>	Individual

Type of sanitary sewage disposal proposed:

<input type="checkbox"/>	Public (Live)	<input type="checkbox"/>	Community
<input type="checkbox"/>	Public (Capped)	<input checked="" type="checkbox"/>	Individual

The undersigned hereby represents that, to the best of his knowledge and belief, all information listed above is true, correct and complete.

Jacob B. Huyard
Signature of Landowner of Applicant

4-30-25
Date

Ruth S. Huyard

4-30-25

Arthur S. Auker Jr

April 30 2025

ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISCO
JASON M. HESS

LAW OFFICES
MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

P. O. BOX 4686
LANCASTER, PENNSYLVANIA 17604-4686

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FAX (717) 299-6170

E-MAIL: attorneys@mhck.com

GEORGE J. MORGAN
(1971 - 2021)

RETIRED
CARL R. HALLGREN
MICHAEL P. KANE

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EPHRATA, PA 17522
717-733-2313

659 E WILLOW STREET
ELIZABETHTOWN, PA 17022
717-361-8524

OF COUNSEL
WILLIAM C. CROSSWELL
RANDALL K. MILLER

June 20, 2025

VIA EMAIL

Kimberly Kaufman, Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Re: Lot Add-On Plan for Jacob B. Huyard
Our File No. 10221-1

Dear Kim:

I have reviewed the Lot Add-On Plan for Jacob B. Huyard (the "Plan") prepared by Gordon L. Brown & Associates, Inc. The Plan proposes that the property of Jacob Huyard and Ruth Huyard identified as 1835 Rissermill Road (the "Huyard Lot") will be increased by 0.88 acre to result in a new lot containing 10.3 gross acres and 10.0 net acres. The adjoining lot held by Arthur Auker identified as 1501 Valley View Road (the "Auker Lot") will be decreased by that amount and will result in a lot containing approximately five acres. This letter will set forth comments on the Plan.

Both properties are located within the Rural District and are provided with on-lot sewage disposal. The Plan indicates a tested replacement location on the Auker Lot. It does not include a tested location on the Huyard Lot. Section 100-58.A of the Code of Ordinances requires that any person filing an application for subdivision or land development approval must demonstrate that a suitable area exists on the existing lot or on each lot to be created for an initial and a replacement on-lot sewage disposal system. The Huyard Lot was created in its existing configuration by the Lot Line Change Plan for Carol L. Dalkiewicz recorded at Document No. 2014-0013-J (the "2014 Plan"). The 2014 Plan does not indicate a tested replacement location.

Note 22 of the 2014 Plan states:

By recording this plan landowners Carol L. Dalkiewicz and Thomas M. Dalkiewicz hereby irrevocably dedicate right-of-way along all frontages of Rissermill Road so that the right-of-way shall be 25 from the centerline at all points along the frontages of Lot 1 and Lot 1A. Landowners, for themselves and their personal representatives, heirs, successors and assigns, agree that by the recording of this plan the landowners shall, if requested by the Township in the future, execute any

Kimberly Kaufman, Township Manager
June 20, 2025
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documents necessary to confirm the dedication of the additional right-of-way along Rissermill Road.

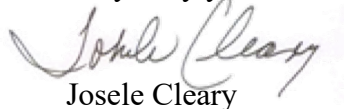
The Plan shows a line along the Rissermill Road frontage of the Huyard Lot identified as "Prop. 25' wide ultimate right of way". The Plan also contains Note 11 which states, "No areas are being proposed for dedication on this plan."

The Township should determine whether it desires to enforce Note 22 on the 2014 Plan or whether it will simply require a substantially identical note with the names of the landowners changed be placed on the Plan. The Township at a minimum should require a note substantially identical to the note on the 2014 Plan.

If the Township approves the Plan, I strongly recommend that it impose conditions requiring that a deed with a perimeter legal description for the Huyard Lot as enlarged and a deed with a perimeter legal description for the Auker Lot as reduced be recorded within 30 days from the release of the Plan for recording.

If you have any questions concerning any of these comments, please contact me.

Very truly yours,



Josele Cleary

JC:sle
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cc: Joseph Price, Community Development Director/Zoning Officer (via email)
Patricia J. Bailey, Township Secretary (via email)
Benjamin S. Craddock, P.E. (via email)
Timothy S. Trostle, Project Manager (via email)

July 19, 2025

Kim Kaufman
Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org



LANCASTER CIVIL
★ ★ engineering company ★ ★
p.o. box 8972, lancaster, pa 17604-8972
www.lancastercivil.com

Re: Jacob Huyard Lot-Line Change Plan
Lot Add-On Plan
Township Permit No. 25-09-LLCP
LCEC Project No: 25-198

Dear Mr. Kaufman,

We have received a lot add-on plan submission from Gordon L. Brown & Associates for the above-referenced project. The submission consisted of the following documents (received June 18, 2025):

- Lot Add-On Plan dated April 22, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. The number of lots which may be created from a parent tract in the Agricultural District is limited by Section 135-85.B of the Zoning Ordinance based upon the size of the parent tract. The size of the parent tract as it existed on June 4, 1978 shall be used in determining the number of lots which may be created from the parent tract (135-85.B(3)). The plans shall specify which lot or lots shall carry with it any remaining rights of further subdivision or erection of single-family dwellings or other principal nonagricultural buildings. This shall also be included in the deeds for each lot (135-85.B(6)).
2. The minimum lot area for single-family detached dwellings shown in the Site Data table shall be corrected (135-82.C(2)).
3. The existing dwelling, barn, and building on Lot No. 1 are within the front yard setback. These are existing non-conformities (135-85.F).
4. The minimum front yard setback requirement for "all other buildings" shall be provided on the Cover Sheet (135-85.F(1)).
5. The northerly "required" stopping sight distance shall be corrected for the Lot No. 2 driveway (135-299.E(2) & 119-31.D(12)).

Subdivision Ordinance

6. Plan Note #8 shall be corrected (i.e. Parcel A is being joined to Lot No. 2) (119-31.A(3)).


7. The total number of sheets for Sheet 2 shall be corrected (119-31.A(3)).
8. It is recommended that a linetype and symbol legend be added to the plans (119-31.A(4)).
9. The plans shall be signed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
10. The sum of the individual areas of Lot No. 2 Block "A", Parcel "A", and Lot No. 1 Block "A" shown on Sheet 2 and in the Lot Summary table (15.303 acres) is inconsistent with the Number of Acres shown in the Site Data table (15.290 acres) (119-31.B(6)).
11. The source of title for Lot No. 1 shall be corrected (119-31.B(10)).
12. The plan shall identify the parent tract and all prior subdivisions from the parent tract which have been recorded (119-31.B(13)).
13. The plan shall identify all prior plans, including all notes or restrictions affecting the current development, with a verification signed by the design professional that such list is complete and correct (119-31.B(14)).
14. The units of occupancy, density, and land use shall be provided for each lot separately (Lot Nos. 1 and 2) (119-31.D(3)).
15. Bearings and distances shall be provided for the existing right-of-way (119-31.D(4)).
16. The Lot Summary table on Sheet 2 should distinguish between the net and gross lot area for Lot No. 1 (119-31.D(9)).
17. The existing and proposed lot widths and lot depths for each lot shall be provided (119-31.D(9)).
18. For Lot Nos. 1 and 2, the existing and proposed building coverages shall be provided. The proposed lot coverage shall be provided for Lot No. 2 (119-31.D(9)). Please note that the proposed lot coverage for Lot No. 1 shown on the Site Data exceeds the maximum lot coverage requirement for the Agricultural Zoning District. If the resulting lot add-on results in an expansion of an existing non-conformity for the lot coverage on Lot No. 1, a variance may be required.
19. A wetlands study shall be provided (119-35.E(3)(c)).
20. Bearings and distances shall be provided for the new lot line and curves that will result from the dedication of the proposed right-of-way (119-35.D(2)).
21. All certificates shall be executed prior to final plan approval (119-35.E).
22. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
23. Plan Note #11 indicates that "no areas are being proposed for dedication on this plan"; however, Sheet 2 indicates that street right-of-way is proposed (119-35.E(2)(d)). This should be clarified in the plans.
24. Legal descriptions for the right-of-way proposed for dedication to Mount Joy Township shall be provided (119-35.E(4)(b)).
25. A copy of the deed with the perimeter description of Lot No. 2 shall be provided prior to the final release of financial security (119-35.E(4)(g)).
26. A construction cost estimate and financial security shall be provided (119-41). The cost estimate shall include the costs for setting the proposed lot markers and monuments. If

the proposed lot markers and monuments are set prior to the recording of the plan, and the plan is revised to include the set markers and monuments, then financial security would not need to be posted.

27. The frontage along Valley View Road and Risser Mill Road (local streets) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Improvements shall include pavement widening. The existing cartways are shown as 22 feet and 20 feet wide respectively; the required cartway width for a local street outside of the designated growth area is 20 feet with 2-foot paved shoulders (24 feet total) (119-52.J(3)(a)).
28. If the Township determines that the road improvements required by 119-52.J(3)(a) are not feasible at the time of development, the developer shall deposit funds with the Township in the amount of 110% of the cost of improvements, or the applicant shall enter into an agreement that would defer road improvements to a time the Township would deem such road improvements as feasible (119-52.J(3)(d)).
29. A note shall be added to the plan with the requirement that nothing shall be placed, planted, set or put within an easement that would adversely affect the function of the easement or conflict with the easement agreement (119-56.B). This note shall also be included in all deeds for lots which contain an easement.
30. Conservation easements shall be provided surrounding the limits of riparian corridors, wetlands, floodplains, mature forests and other environmentally sensitive areas as defined by Chapter 135, Zoning (119-56.H).
31. Three monuments shall be spaced around the proposed project, with at least two of the monuments places as consecutive corners along the street right-of-way (119-57.B). A note on the plans shall indicate when the monuments are to be set (119-57.H).
32. Lot line markers shall be set at the street right-of-way (119-57.D).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lanastercivil.com or via telephone at 717-799-8599.

Sincerely,



Benjamin S. Craddock, PE, President

LANCASTER CIVIL

cc: Justin Evans, Assistant Zoning Officer (via email)
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Renee Addleman, Planner, LCPC (via email)
Jacob Huyard (via email)
Timothy Trostle, Gordon L. Brown and Associates (via email)