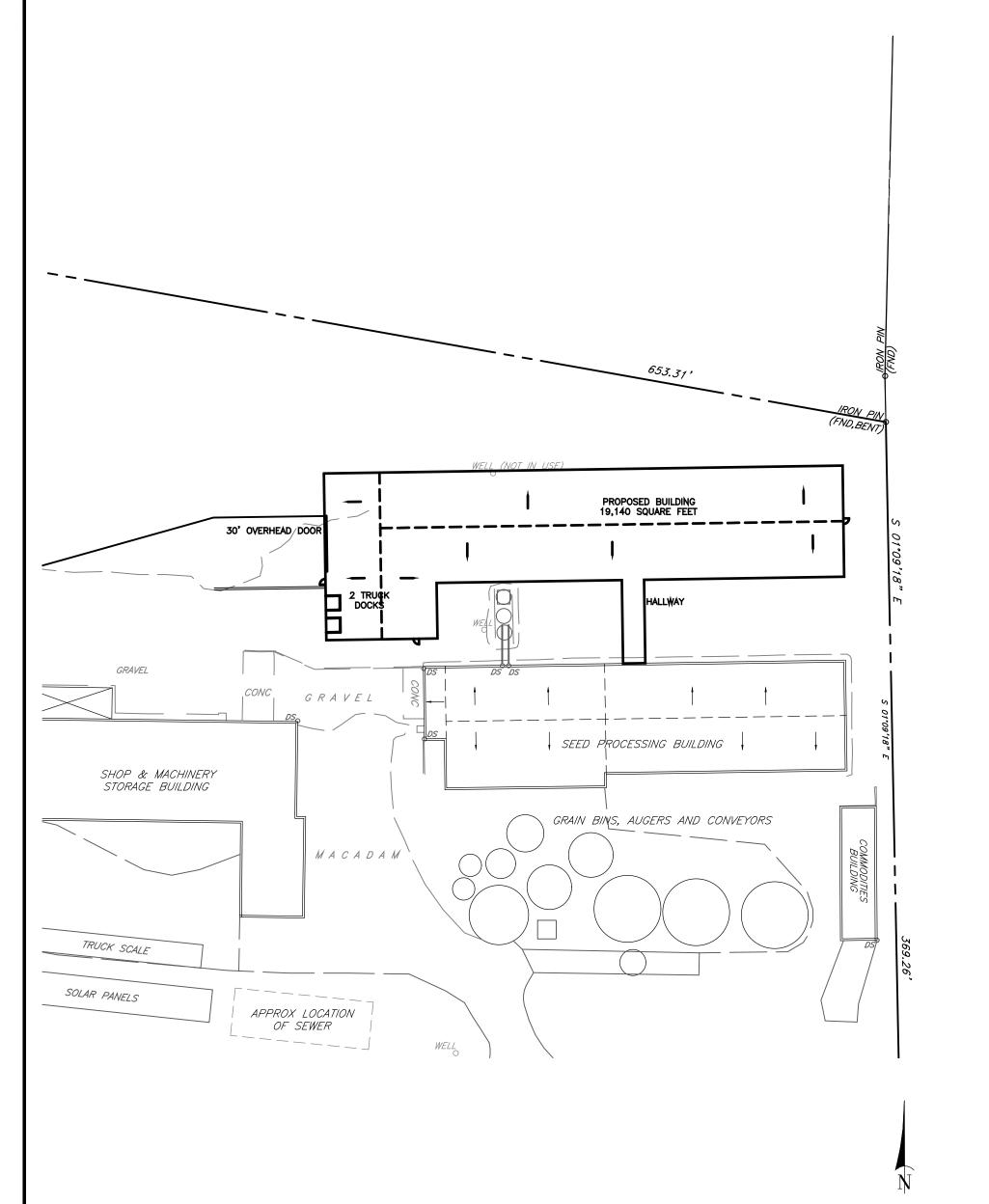
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA



TOTAL EXISTING SITE AREA 520,081.00 SQ. FT. = 11.939 AC. (EXCLUDES ALL RIGHTS-OF-WAY)

UTILITY LISTINGS

COMPANY: MOUNT JOY TOWNSHIP ADDRESS: 8853 ELIZABETHTOWN ROAD ELIZABETHTOWN, PA 17022 CONTACT: KIM KAUFMAN, MANAGER PHONE: (717) 367-7178

COMPANY: CENTURYLINK CONTACT: CUSTOMER SERVICE HTTPS://WWW.CENTURYLINK.COM/ PHONE: 1-800-244-1111

COMPANY: PPL ELECTRIC UTILITIES ADDRESS: 651 DELP ROAD LANCASTER, PA 17601-3034 CONTACT: OFFICE PERSONNEL EMAIL: www.pplelectric.com PHONE: (717) 291-3000

COMPANY: COMCAST CABLE ADDRESS: MIDDLETOWN, PA 17057 CONTACT: OFFICE PERSONNEL EMAIL: www.comcast.com

PHONE: 1-800-266-2278

ZONING DECISION:

As a result of a public hearing held on March 5, 2025, the Mount Joy Township Zoning Hearing Board (the "Board") voted unanimously to grant the following requests on the Application for the property located at 2914 lomestead Road, Mount Joy, PA 17552, Tax Parcel ID No. 461-04790-0-0000 (the "Property") in accordance with the Mount Joy Township Zoning Ordinance of 2012, as amended (the "Ordinance"):

- (i) Variance from Section 135-83.H regarding the minimum rear yard (ii) Variance from Section 135-85.1 regarding the maximum impervious
- The Property is zoned A-Agricultural, and consists of approximately 92.06 acres, 11.94 acres of which are located on the north side of Homestead Road and which are the subject of the Application. Said area contains the existing Lancaster Seed Sales business, consisting of a machine storage building, seed processing building, machine shop, storage building, and silos. The Applicant proposes to construct a 19, 140 sq. ft. expansion with internal connection to the existing seed processing building (to be located behind the existing building). The proposed improvements would encroach the 50 feet rear setback by 23.2 feet and increase impervious coverage to 28% (25% maximum requirement). The expansion is needed to accommodate growth of the business, and connection to the seed processing building is imperative. The improvements

The relief shall be subject to the following conditions and safeguards which the Board deems reasonable and necessary to implement the purpose of the Ordinance and the Pennsylvania Municipalities Planning Code:

cannot be placed in front of the seed processing building due to location of

existing grain bins and silos. The Applicant demonstrated through credible evidence no adverse impact to the adjacent properties or neighborhood if the

relief is granted, and otherwise satisfied the standards for the requested

- 1. The Applicant shall apply for and obtain land development approval for the proposed improvements, subject to any waivers that may be granted. 2. The Applicant shall apply for and obtain all appropriate permits or approvals from Mount Joy Township to construct the proposed structures.
- 3. The Applicant shall comply with all other provisions contained in the Zoning Ordinance for which relief has not been requested or granted. 4. The Applicant and any representative of the Applicant shall comply with and adhere to the testimony and any evidence presented to the Board at the hearing held on March 5, 2025, except to the extent modified by conditions imposed by the Board herein..

ZONING DATA

AGRICULTURAL DISTRICT 2. MIN. LOT SIZE 25 ACRES (AGRICULTURAL USE) . 100' @ SETBACK LINE 3. MIN. LOT WIDTH

4. MIN. LOT DEPTH 5. MIN. FRONT YARD .50 FEET FROM ULTIMATE RIGHT OF WAY FOR AGRICULTURAL BUILDINGS 6. MIN. SIDE YARD . 7. MIN. REAR YARD .

8. MAX. BUILDING COVERAGE 9. MAX. IMPERVIOUS COVERAGE 25% 10. MAX. BUILDING HEIGHT .

1. BUILDINGS DEVOTED TO AGRICULTURAL USE SHALL BE EXEMPT FROM HEIGHT REGULATIONS

SITE DATA - EXISTING

1. LOT AREA	. 520,081.00 S.F.
2. NUMBER OF LOTS	1
3. NUMBER OF ACRES	. 11.939 ACRES
4. ZONING	AGRICULTURAL DISTRICT
5. EXISTING LAND USE	AGRICULTURAL
6. UNITS OF OCCUPANCY	. 2 EXISTING
7. EXISTING BUILDING COVERAGE	. 46,786 S.F. OR 9.0%
7. EXISTING LOT COVERAGE	137,565 S.F. OR 26.5%

SITE DATA - PROPOSED

2. NUMBER OF LOTS 3. NUMBER OF ACRES 11.939 ACRES AGRICULTURAL DISTRICT 4. ZONING 5. EXISTING LAND USE .. AGRICULTURAL 6. PROPOSED LAND USE AGRICULTURAL 7. UNITS OF OCCUPANCY N/A 8. PROPOSED BUILDING COVERAGE.. 61,886 S.F. OR 11.9% 9. PROPOSED LOT COVERAGE....... 154,981 S.F. OR 29.8% 10. PARKING PROVIDED INDUSTRIAL USES:

> WAREHOUSING USES SHALL BE PROVIDED WITH ONE SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT

THERE ARE 3 EMPLOYEES AND THERE ARE 3 PARKING SPACES PROVIDED. THERE ARE NO NEW EMPLOYEES ASSOCIATED WITH THE NEW BUILDING.

1. THE PROPOSED LOT COVERAGE OF 29.8% HAS BEEN APPROVED PER THE APPROVED ZONING

TENTATIVE CONSTRUCTION SCHEDULE

SUMMER 2025 BEGIN SITE WORK COMPLETE GRADING SUMMER 2025 COMMENCE BUILDING IMPROVEMENTS SUMMER 2025 COMPLETE BUILDING AND SITE IMPROVEMENTS SUMMER 2025

ACT 187 UNDERGROUND UTILITY PROTECTION ACT

D. C. GOHN ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT NO. 287 OF 1974, AS AMENDED BY ACT 187 OF 1996, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THE DRAWINGS:

- 1. PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, D. C. GOHN ASSOCIATES, INC. REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (90) WORKING DAYS BEFORE FINAL DESIGN IS TO BE
- 2. PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, D. C. GOHN ASSOCIATES, INC. HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION
- 3. PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, D. C. GOHN ASSOCIATES, INC. HAS SHOWN UPON THESE DRAWINGS "THE POSITIÓN AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2). THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ON CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT."

AND D. C. GOHN ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT D. C. GOHN ASSOCIATES, INC. IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 187 OF DECEMBER 19, 1996.

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY D. C. GOHN ASSOCIATES, INC.

DATE: <u>NOVEMBER 1. 2024</u> ONE CALL SYSTEM SERIAL NUMBER: 20243062524-000

REQUESTED MODIFICATIONS:

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- SECTION 119-25 PRELIMINARY PLAN REVIEW PROCESS
- SECTION 119-32.(2)- TRAFFIC STUDY SECTION 119-52.J.(3)(A) - IMPROVEMENT OF EXISTING STREETS

STORMWATER MANAGEMENT ORDINANCE:

- 1. SECTION 113-32.A.2.(C) LOADING RATIOS
- 2. SECTION 113-37.A.(1).(A).[2] INTERIOR SIDE SLOPES

SCHEDULE OF STORMWATER MANAGEMENT-BMP INSPECTIONS

- 1. THE COMPLETION OF PRELIMINARY SITE PREPARATION, INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY STORMWATER MANAGEMENT FACILITIES.
- THE COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACEMENT OF TOPSOIL, PERMANENT DRAINAGE OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND
- 3. DURING THE CONSTRUCTION OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES AT SUCH TIMES AS SPECIFIED BY THE ENFORCEMENT OFFICER. THIS INCLUDES INSPECTION FOR SUBGRADE PRIOR TO STONE AND PIPE PLACEMENT AND THE
- 4. THE COMPLETION OF PERMANENT STORMWATER MANAGEMENT FACILITIES, INCLUDING ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
- 5. THE COMPLETION OF ANY FINAL GRADING, VEGETATIVE CONTROL MEASURES OR OTHER SITE RESTORATION WORK DONE IN ACCORDANCE WITH THE PERMIT.

6. DESCRIPTION OF MAINTENANCE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, THE

- a.REGULAR INSPECTION OF THE SWM FACILITIES. TO ASSURE PROPER
- IMPLEMENTATION OF BMPS MAINTENANCE AND CARE SWM BMPS SHOULD BE INSPECTED BY A QUALIFIED PERSON. WHICH MAY INCLUDE THE LANDOWNER. OR THE LANDOWNER'S DESIGNEE (INCLUDING THE MUNICIPALITY FOR DEDICATED AND OWNED FACILITIES). ACCORDING TO THE FOLLOWING MINIMUM FREQUENCIES:
- i. ANNUALLY FOR THE FIRST 5 YEARS.
- ii. ONCE EVERY 3 YEARS THEREAFTER. iii.DURING OR IMMEDIATELY AFTER THE CESSATION OF A 10-YEAR OR GREATER

- 1. THE APPLICANT MUST SCHEDULE CONSTRUCTION INSPECTIONS FOR ALL STORMWATER
- MANAGEMENT (SWM) FACILITIES WITH THE TOWNSHIP. 2. AT THE COMPLETION OF THE PROJECT, AND AS PREREQUISITE FOR THE RELEASE OF THE FINANCIAL SECURITY. THE APPLICANT SHALL PROVIDE CERTIFICATION OF COMPLETION FROM AN ENGINEER, LANDSCAPE ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT SWM FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS AND APPROVED
- 3. UPON RECEIPT OF THE CERTIFICATE OF COMPLETION, AND PRIOR TO RELEASE OF THE REMAINING FINANCIAL SECURITY THE TOWNSHIP SHALL CONDUCT A FINAL INSPECTION TO CERTIFY COMPLIANCE WITH THE ORDINANCE.
- THE LANDOWNER SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR MAINTENANCE ACTIVITIES; IN THE EVENT OF A CHANGE, NEW INFORMATION WILL BE SUBMITTED TO THE TOWNSHIP WITHIN TEN (10) DAYS OF THE CHANGE.
- 5. THE INDIVIDUAL PROPERTY OWNER IS RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF BOTH TEMPORARY AND PERMANENT STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES. THE RECORDED AGREEMENTS ASSOCIATED WITH THIS PROJECT SPECIFY THE ENTITY RESPONSIBLE FOR THE
- OWNERSHIP AND MAINTENANCE OF THE RESPECTIVE FACILITIES. 6. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO EARTH MOVING ACTIVITIES AND INCLUDE PERSONNEL FROM THE FOLLOWING:
- MOUNT JOY TOWNSHIP TOWNSHIP ENGINEER THE PROPERTY OWNER
- DC GOHN ASSOCIATES, INC
- THE SITE CONTRACTOR
- THE EXCAVATOR • PUBLIC UTILITY PROVIDERS
- 8. ALL IMPROVEMENT REQUIRING INSPECTION SHALL BE REQUESTED/SCHEDULED THROUGH TOWNSHIP OR THE AUTHORITY/AGENCY RESPONSIBLE FOR THE RESPECTIVE IMPROVEMENT BY THE OWNER AND/OR CONTRACTOR. ALL REQUESTS FOR REQUIRED INSPECTIONS BY THE CONTRACTOR ARE TO BE DEEMED AS APPROVED REQUESTS ON
- 9. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN

LIST OF DRAWINGS PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COVER SHEET OVERALL EXISTING CONDITIONS PLAN_ EXISTING CONDITIONS/DEMO PLAN LAYOUT AND EASEMENT PLAN FINAL GRADING / PCSM PLAN_ EROSION POTENTIAL ANALYSIS PLAN PLAN NOTES PROFILES PCSM DETAILS

ALL PLAN SHEETS TO BE RECORDED

LIST OF DRAWINGS **EROSION AND SEDIMENT CONTROL PLANS**

COVER SHEET EXISTING CONDITIONS PLAN EROSION AND SEDIMENT CONTROL PLAN EROSION AND SEDIMENT CONTROL DETAILS

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

AT A MEETING ON _____, 20___, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANING COMMISSION FILE BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113. STORMWATER MANAGEMENT.

PLANNING COMMISSION FINAL PLAN APPROVAL CERTIFICAT

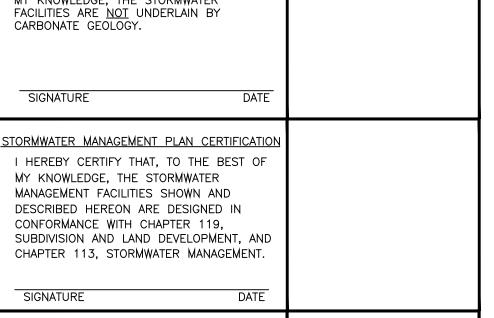
20___, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND NFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO.__ __, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. __ OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

* SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

GEOLOGY CERTIFICATION I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER



CERTIFICATE OF ACCURACY I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT. SIGNATURE DATE

SHE S DRAWING #: CG-4053

L.C.P.C. # SHEET #: 1 OF 12

THE STORMWATER MANAGEMENT FACILITIES TO BE PERMANENT FIXTURES CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE TOWNSHIP

COMMONWEALTH OF PENNSYLVANIA COUNTY OF LANCASTER

ON THIS THE ____ DAY OF __ BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREET AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE

NOTARY SIGNATURE

NOTARY SEAL

HEREBY DEDICATED TO THE PUBLIC USE.

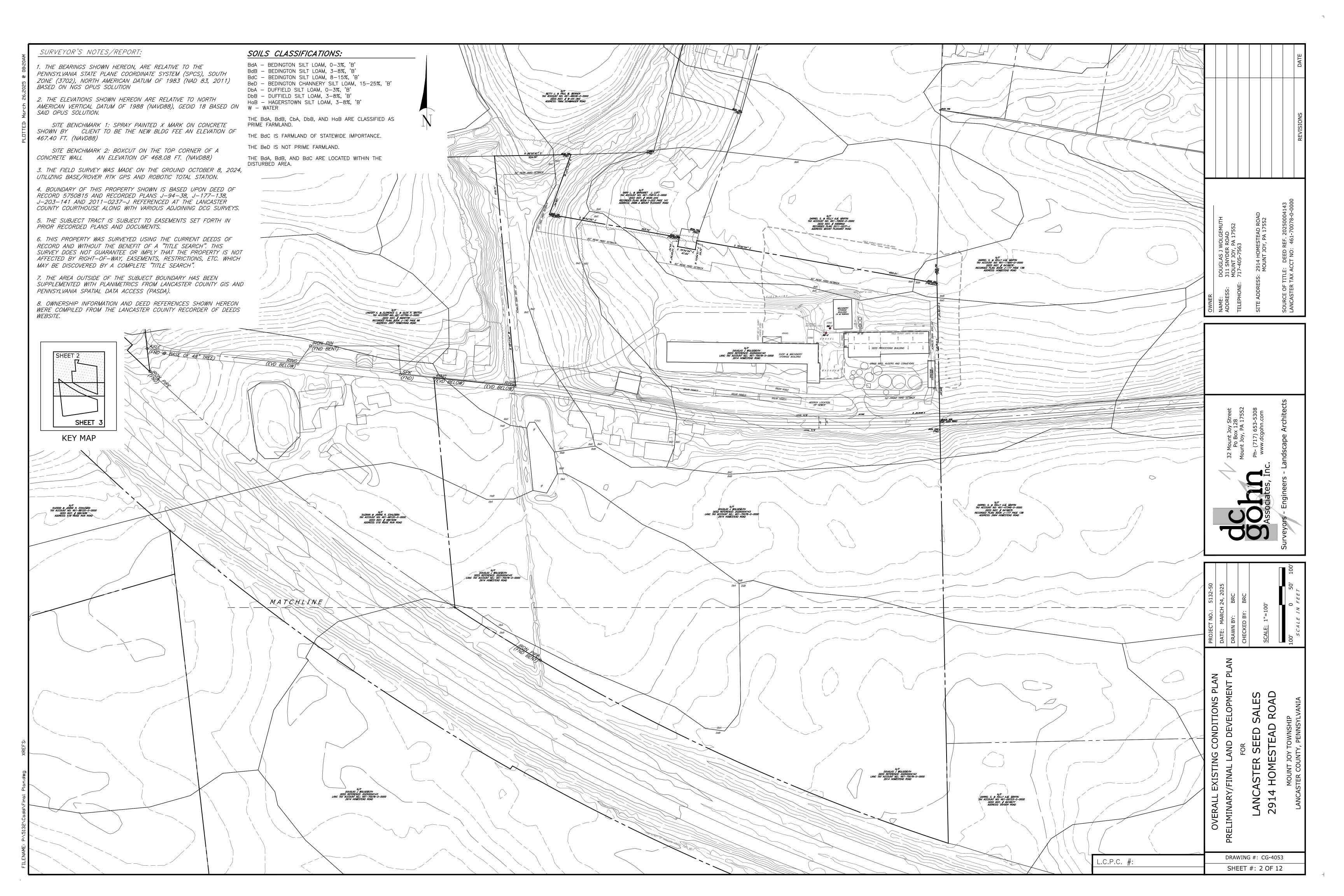
WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN

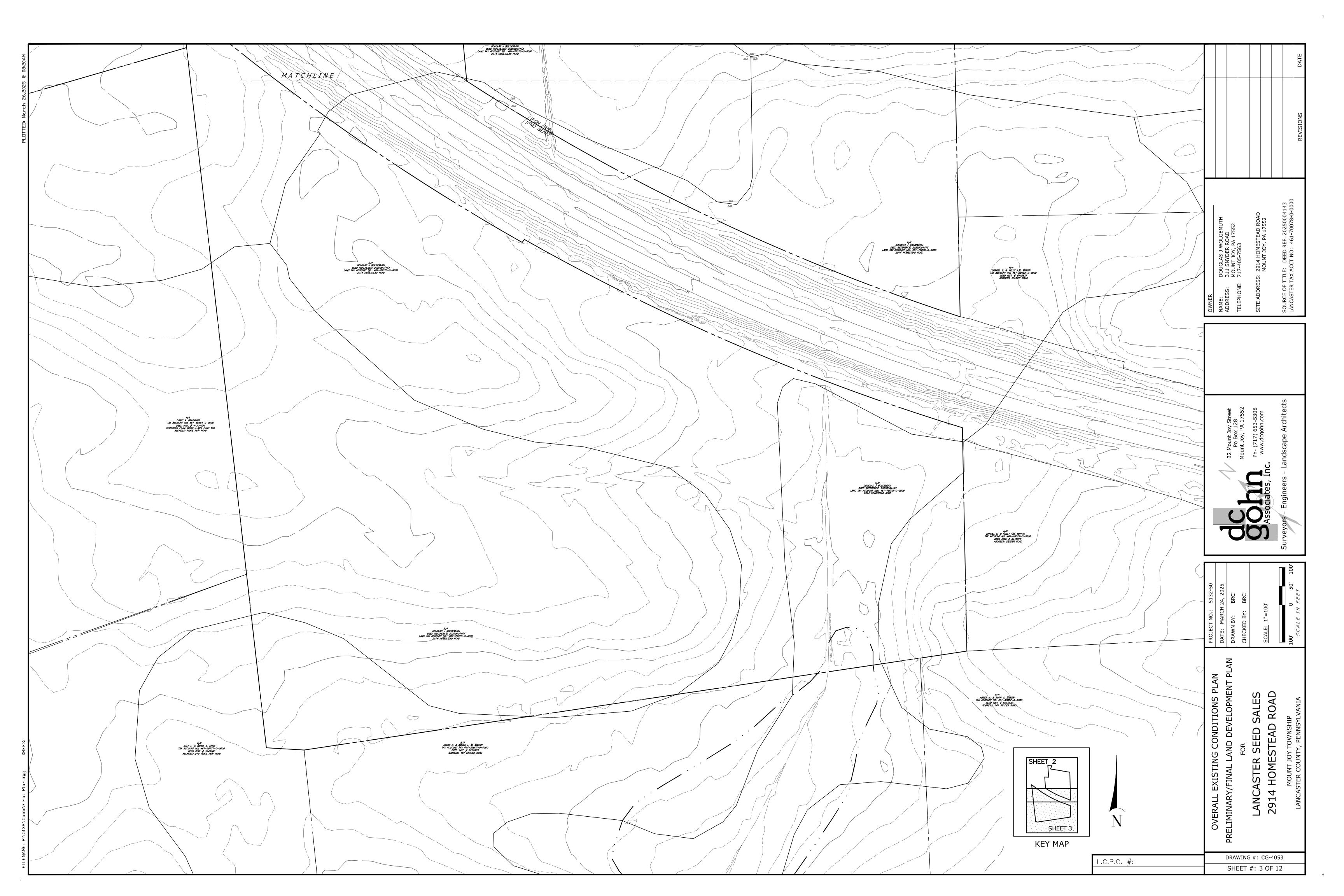
MT JOY TWF

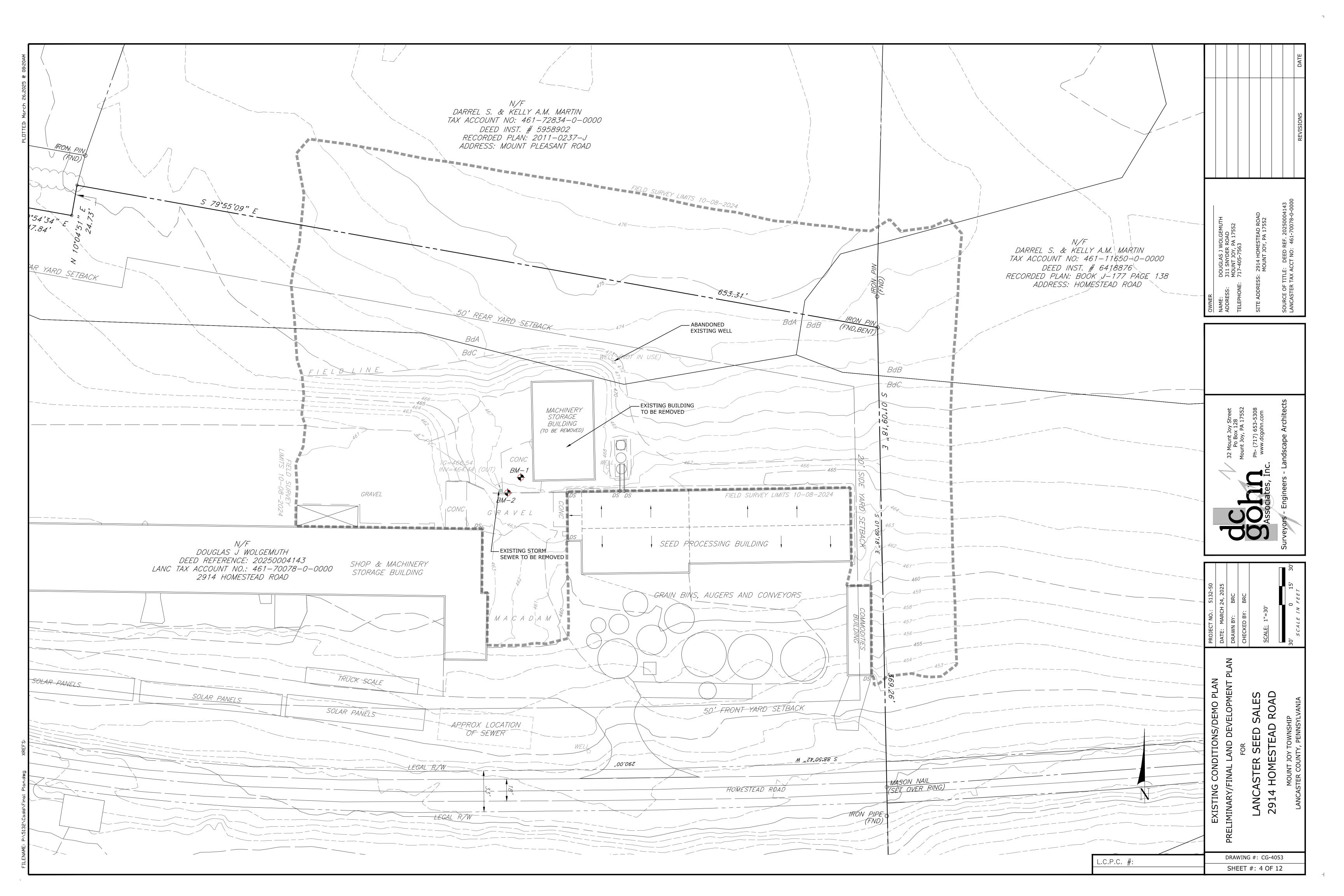
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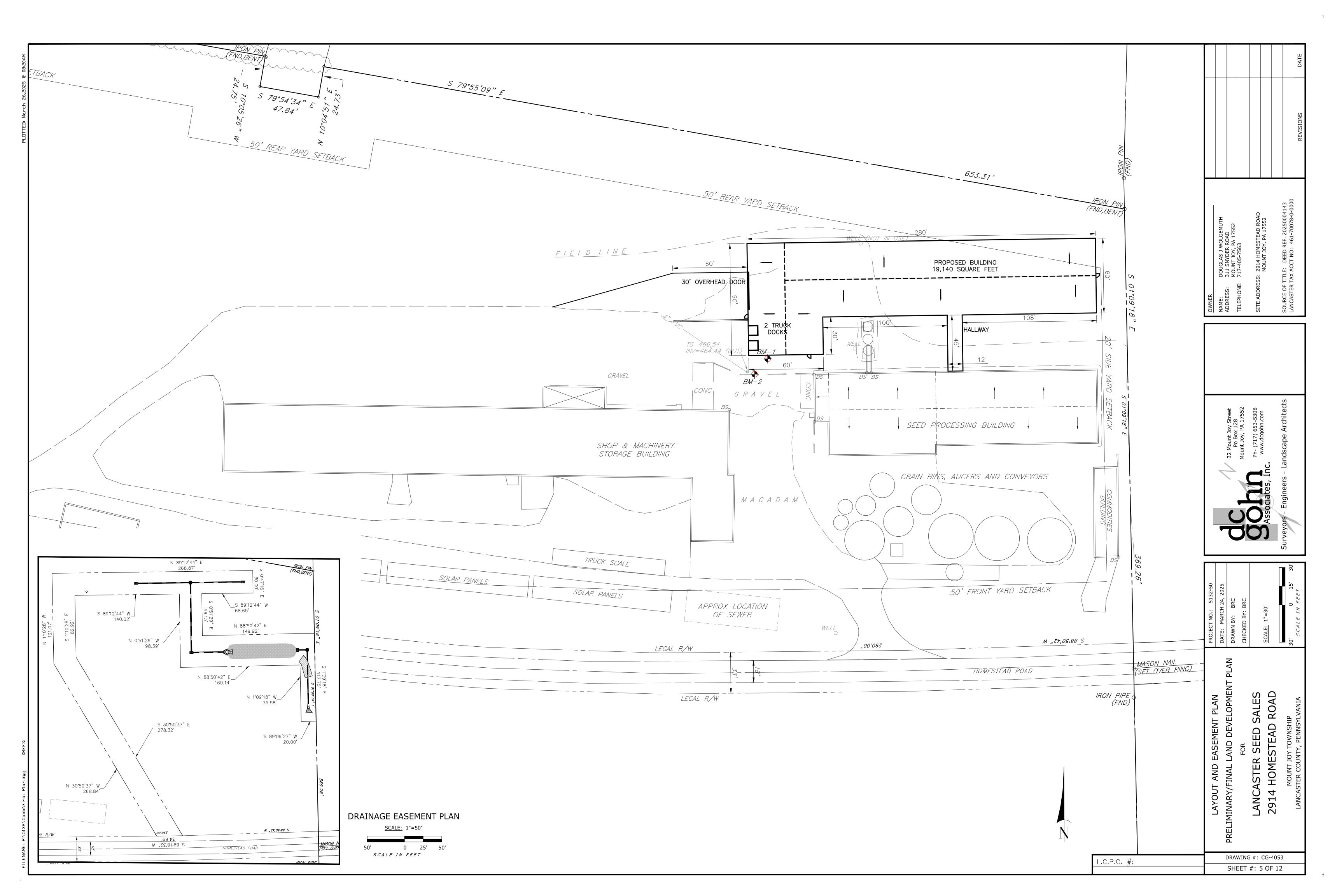
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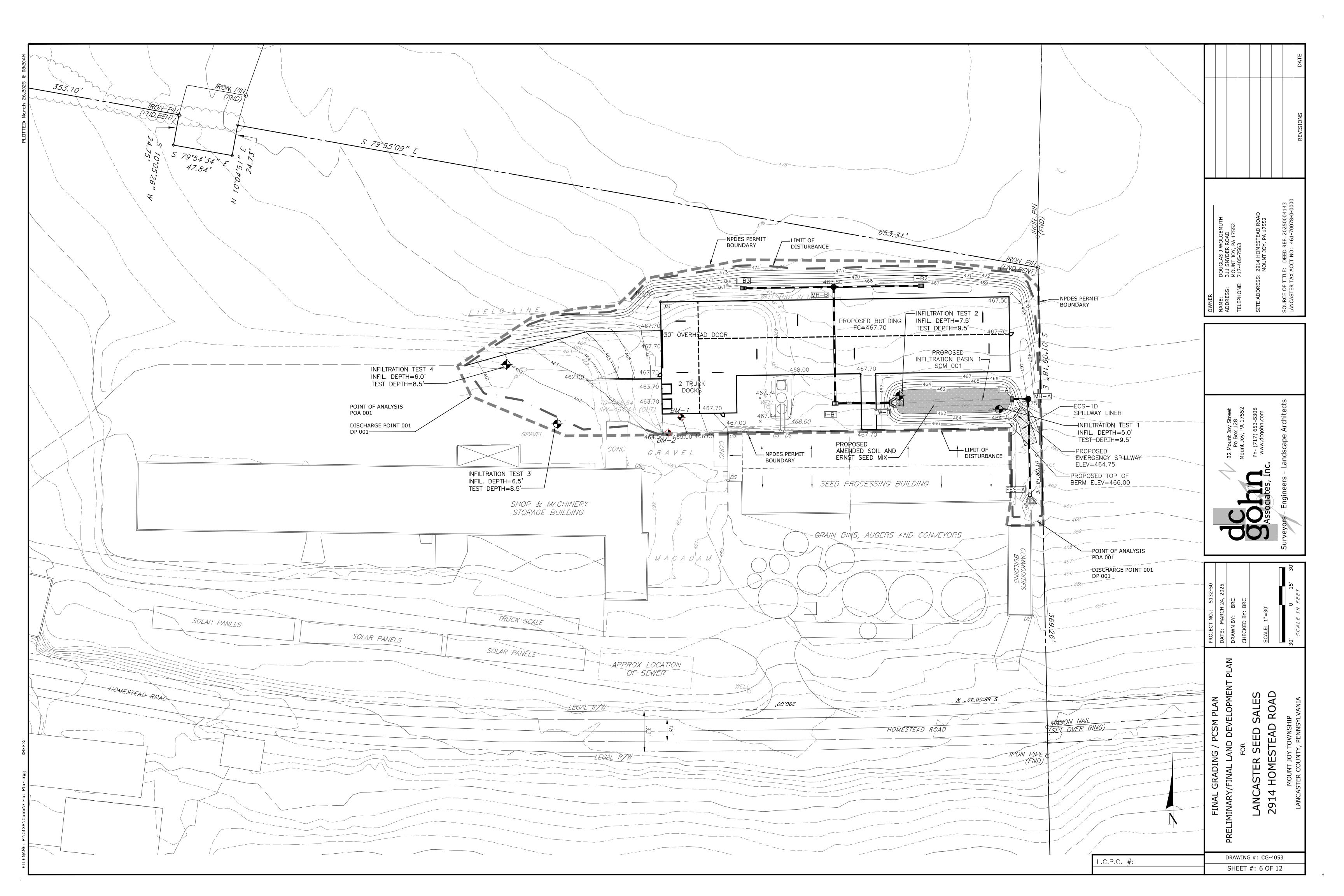
LOCATION MAP

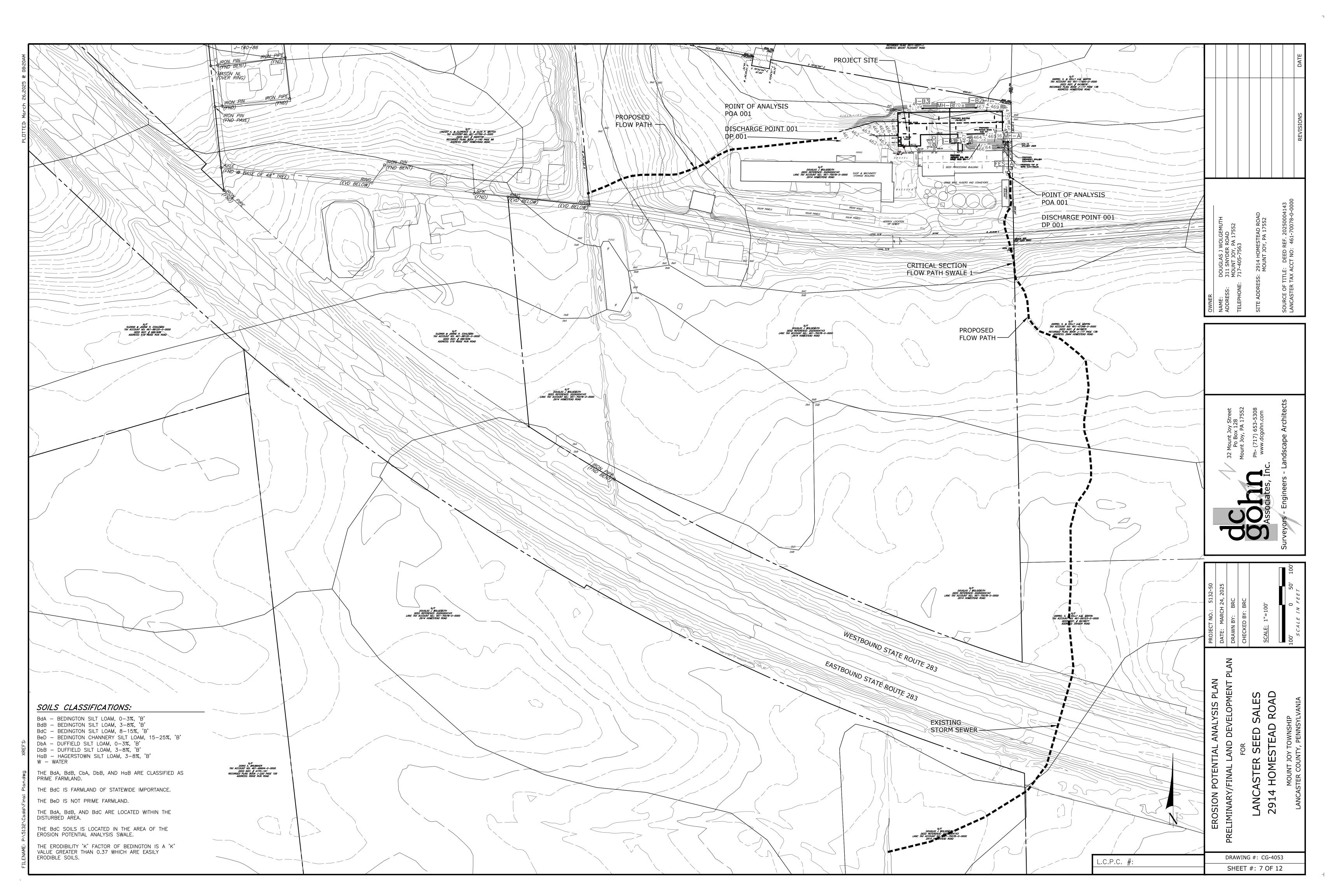












SITE NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING EXPANSION, ACCESS DRIVES, STORMWATER MANAGEMENT FACILITIES AND OTHER SITE IMPROVEMENTS.
- 2. THE ACCESS DRIVES ARE PRIVATE.
- 3. THE SITE IS SERVED BY PRIVATE ON LOT SEWER AND PRIVATE ON LOT WATER.
- 4. THIS PLAN SHOWS THE LOCATION OF RIGHT-OF-WAYS AND CARTWAYS FOR STREETS, ACCESS DRIVES, AND SERVICE STREETS AS WELL AS VISIBLE UTILITIES AND STORM WATER MANAGEMENT FACILITIES WITHIN 200 FEET OF THE SITE WHICH WERE OBSERVED BY PERSONNEL OF D. C. GOHN ASSOCIATES, INC. AS OF THE DATE OF THIS PLAN. EXACT LOCATIONS AND ROUTING OF UNDERGROUND FACILITIES MAY VARY AND MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. ANY CHANGES TO THE PROPOSED UTILITY (IE. STORMWATER MANAGEMENT) DESIGN DUE TO THE VERIFICATION OF UNDERGROUND FACILITIES SHALL BE PROVIDED TO THE TOWNSHIP FOR REVIEW AND APPROVAL.
- 5. ALL UNDERGROUND UTILITIES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE LOCATIONS ARE APPROXIMATE AND MUST BE VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION, OR BLASTING. D. C. GOHN ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. THE CONTRACTOR SHALL REVIEW THE PROJECT SITE PRIOR TO INITIATING WORK, AND IN ACCORDANCE WITH ACT 287/172, PRIOR TO THE START OF CONSTRUCTION SHALL REQUEST FROM EACH USER'S OFFICE THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, BEING "INFORMATION AS TO THE POSITION AND TYPE OF USER'S LINES", BASED ON THE INFORMATION CURRENTLY IN THE USER'S POSSESSION.
- 6. NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREAS OF ANY EASEMENTS THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT. ACCESS TO EASEMENTS INDICATED AS STORMWATER EASEMENTS APPLY TO LOCAL TOWNSHIP OFFICIALS OR THEIR
- 7. NO STRUCTURES, LANDSCAPING, OR GRADING MAY BE CONSTRUCTED, INSTALLED, OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF THE MOTORIST.
- 8. CONTRACTOR TO CHECK AND VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO
- 9. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF D. C. GOHN ASSOCIATES, INC. THE TOWNSHIP AND OWNER SHALL APPROVE ANY REVISIONS OR SUBSTITUTIONS.
- 10. AS-BUILT PLANS SHOWING ALL SITE IMPROVEMENTS, AND ANY CHANGES MADE TO APPROVED DESIGN DURING CONSTRUCTION, SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL.
- 11. ANY PART OR PORTION OF A SITE IN ANY DISTRICT WHICH IS NOT USED FOR BUILDING OR OTHER STRUCTURES SHALL BE PLANTED WITH AN ALL SEASON GROUND COVER. IT SHALL BE MAINTAINED TO PROVIDE AN ATTRACTIVE APPEARANCE AND ALL NON—SURVIVING PLANTS SHALL BE REPLACED PROMPTLY.
- 12. SHOULD THE PLAN BE APPROVED BY THE BOARD OF SUPERVISORS, THE APPLICANT SHALL SUBMIT THREE PAPER SETS (24"X36") AS SPECIFIED BY THE RECORDER OF DEEDS TO THE TOWNSHIP. THE APPLICANT SHALL ALSO PROVIDE THE TOWNSHIP AND TOWNSHIP ENGINEER WITH DIGITAL COPIES OF THE PLANS AFTER RECORDING. ALL SHEETS OF THIS PLAN SET SHALL BE FILED WITH THE RECORDER OF DEEDS.
- 13. ALL FINAL PLANS MUST CONFORM WITH ALL CONDITIONS OF FINAL APPROVAL AND MUST BE RECORDED WITHIN THE TIME PERIOD ESTABLISHED IN THE MUNICIPAL PLANNING CODE.
- 14. THERE IS A RECORDED STORMWATER OPERATION AND MAINTENANCE (O&M) AGREEMENT THAT INDICATES THE
- LOCATION AND RESPONSIBILITY FOR MAINTENANCE OF THE ON—SITE STORMWATER MANAGEMENT FACILITIES.

 15. A SET OF STORMWATER MANAGEMENT SITE PLANS APPROVED BY THE TOWNSHIP SHALL BE ON FILE AT THE DEVELOPMENT SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY. PERIODIC INSPECTIONS MAY BE
- MADE BY THE TOWNSHIP OR DESIGNEE DURING CONSTRUCTION.

 16. THERE IS A WETLAND REPORT PREPARED BY VORTEX ENVIRONMENTAL. THERE ARE NO WETLANDS IN THE
- 17. THERE IS AN INFILTRATION TESTING REPORT PREPARED BY LANCASTER GEOLOGICAL SOLUTIONS LLC WHICH IS PART OF THIS PROJECT.

MUNICIPAL NOTES AND REQUIREMENTS:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWNSHIP ORDINANCES OR SPECIFICATIONS AS
- ALL CONSTRUCTION STANDARDS AND MATERIALS NOT SPECIFIED BY LOCAL MUNICIPAL REGULATIONS SHALL BE IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, PUBLICATION 408, LATEST EDITION AND STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72, LATEST EDITION, UNLESS CERTAIN LOCAL REGULATIONS APPLY.
- 3. MAINTENANCE OF ALL DRAINAGE FACILITIES, AND DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. THE MUNICIPALITY RESERVES THE RIGHT TO ENTER ANY EASEMENT TO MONITOR, INSPECT, OR REPAIR FACILITIES LOCATED WITHIN. ALL COSTS INVOLVED IN MAINTENANCE BY THE MUNICIPALITY SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS. ALL FACILITIES MUST REMAIN AS DESIGNED AND SHOWN ON THESE PLANS.
- 4. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITIES AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE FACILITIES.
- 5. IF SUBSURFACE WATER IS ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION, THE SITE ENGINEER AND OWNER SHALL BE NOTIFIED AND THE INSTALLATION OF UNDER DRAINS SHOULD BE CONSIDERED FOR PARKING AND ROADWAY AREAS
- 6. UPON COMPLETION AND FINAL STABILIZATION OF ALL STORM WATER STORAGE AND CONTROL FACILITIES, AN AS—BUILT SURVEY AND SUPPORTING CALCULATIONS SHALL BE PREPARED AND SUBMITTED TO THE MUNICIPALITY FOR REVIEW AND ACCEPTANCE.
- 7. UPON COMPLETION OF THE PLAN IMPROVEMENTS AND PRIOR TO THE RELEASE OF FINANCIAL SECURITY, THE APPLICANT SHALL SUBMIT AN AS-BUILT PLAN TO THE TOWNSHIP. THE AS-BUILT PLAN MUST SHOW THE FINAL DESIGN SPECIFICATIONS FOR ALL STORMWATER MANAGEMENT FACILITIES AND BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.

AS-BUILT TO BE REVIEWED BY TOWNSHIP ENGINEER.

(1) THE AS-BUILT PLAN SHALL BE REVIEWED BY THE TOWNSHIP ENGINEER TO VERIFY THE PLAN INCLUDES ALL OF THE STORMWATER MANAGEMENT FACILITIES ON THE SUBJECT PROPERTY AND THE FACILITIES ARE SHOWN AT THE CORRECT LOCATION.

(2) THE TOWNSHIP ENGINEER SHALL EITHER APPROVE THE AS-BUILT PLAN OR IDENTIFY CORRECTIONS

(3) IF THE TOWNSHIP ENGINEER IDENTIFIES CORRECTIONS REQUIRED TO THE AS-BUILT PLAN, THE APPLICANT SHALL SUBMIT A REVISED AS-BUILT PLAN TO THE TOWNSHIP ADDRESSING THE CORRECTIONS.

FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER. THE APPLICANT SHALL SUBMIT

THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS. RECORDING FEES WILL BE THE RESPONSIBILITY OF THE APPLICANT/DEVELOPER.

UPON COMPLETION OF RECORDING, A DIGITAL COPY OF THE AS-BUILT PLAN, THE SWM SITE PLAN SIGNED

AND SEALED WITH THE RECORDING INFORMATION AND CALCULATIONS, WAIVER REQUESTS AND OTHER DOCUMENTS SHALL BE SUBMITTED TO THE TOWNSHIP ALONG WITH ONE PAPER COPY OF THE RECORDED PLAN.

(1) THE DIGITAL INVENTORY SHALL BE IN AN ELECTRONIC FORMAT ACCEPTABLE TO THE TOWNSHIP

(2) ALL COORDINATES AS DEPICTED ON THE PLAN SHALL BE BASED ON THE PA SOUTH ZONE STATE PLAN COORDINATE SYSTEM (NAD83 FOR HORIZONTAL AND NAVD88 FOR VERTICAL).

CONTRACTOR NOTES:

- 1. AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE COVERED BY IMPERVIOUS SURFACES OR LANDSCAPING SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS AS LISTED WITHIN THE SEDIMENTATION AND EROSION CONTROL PLAN FOR THIS SITE.
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION SHOWN ON THIS PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES WHICH ARISE BEFORE AND DURING CONSTRUCTION SHALL BE CONVEYED TO THE OFFICERS OF D. C. GOHN ASSOCIATES, INC. AND NO CONSTRUCTION SHALL COMMENCE OR CONTINUE UNTIL THE DISCREPANCY IS VERIFIED AND REMEDIED. D. C. GOHN ASSOCIATES, INC. WILL ASSUME NO RESPONSIBILITY OR LIABILITY FOR THE CONTRACTOR'S FAILURE TO PERFORM THE AROVE
- 3. THE CONTRACTOR SHALL MAINTAIN A SAFE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND THE EXISTING ROAD RIGHTS—OF—WAY WHILE ENTERING AND LEAVING THE SITE. SIGNS, MARKINGS, AND FLAG PERSONNEL SHALL BE REQUIRED AS NECESSARY TO ACHIEVE SITE SAFETY.
- 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWNSHIP, COUNTY, STATE, ETC. AS REQUIRED AND AS IT RELATES TO CONSTRUCTION ACTIVITY BEING UNDERTAKEN PRIOR TO COMMENCING CONSTRUCTION ON THE PROJECT SITE OR OFF—SITE AREAS
- 5. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CURB RAMPS, SIDEWALK AND DRIVEWAY APRONS TO THE LATEST ADA OR PENNDOT STANDARDS AT THE TIME OF CONSTRUCTION.

ISCELLANEOUS

- 1. THIS PLAN IS NOT TO BE CONSTRUED AS AN ENVIRONMENTAL AUDIT/ASSESSMENT PLAN. THIS PLAN MAKES NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED AS TO THE ENVIRONMENTAL CONDITIONS OF THE PREMISES HEREON DESCRIBED. I.E., THE DETECTION OF SURFACE OR SUBSURFACE CONTAMINANTS AS DEFINED IN D.E.R. TITLE 25-PA CODES 71, 101, 271, 273, 275, 27, 279, 281, 283, AND 285.
- 2. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF THE PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF D. C. GOHN ASSOCIATES, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL OF D. C. GOHN ASSOCIATES, INC.
- 3. CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE RESULTING FROM HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- 4. CONTRACTOR IS TO BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING, AND SHORING.
- 5. CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL, TELECOMMUNICATIONS, GAS, AND OTHER UTILITY PROVIDER SERVICE AS APPLICABLE.
- 6. D. C. GOHN ASSOCIATES, INC. MAKES NO REPRESENTATION AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT SITE AREA (I.E., THE EXISTENCE OR DEPTH OF ROCK, WATER TABLE, SOIL CONDITIONS, UTILITIES, ETC.).

STORM DRAINAGE NOTES:

- 1. MAINTENANCE OF ALL INFILTRATION BEDS, STORMWATER BMP'S, AND STRUCTURES WITHIN EASEMENTS SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE INDIVIDUAL LOT OWNER. THE LOCAL MUNICIPAL OFFICIALS RESERVE THE PERPETUAL RIGHT TO ENTER ANY EASEMENT TO MONITOR, INSPECT, OR REPAIR FACILITIES LOCATED WITHIN. ALL COSTS INVOLVED IN MAINTENANCE BY THE LOCAL MUNICIPAL OFFICIALS SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS. ALL FACILITIES MUST REMAIN AS DESIGNED AND SHOWN ON THE PLAN.
- 2. ALL STORM WATER MANAGEMENT FACILITIES SHALL BE KEPT FREE OF STRUCTURES, FILL, AND OTHER ENCROACHMENTS.
- 3. NOTHING EXCEPT EROSION CONTROL AND/OR STORM WATER MANAGEMENT FACILITIES SHALL BE PLACED, PLANTED, OR PUT WITHIN THE AREA OF A STORM WATER MANAGEMENT EASEMENT. NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
- 4. THE PROPERTY OWNER, SUCCESSOR, AND ASSIGNS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORM WATER MANAGEMENT FACILITIES TO ENSURE THAT THEY ARE KEPT IN GOOD WORKING ORDER IN ACCORDANCE WITH THE APPROVED O&M PLAN.
- 5. CONSTRUCTION OF STORM WATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE TOWNSHIP AND LANCASTER COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS.
- 6. EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONS OF THE FACILITY OR EASEMENT IN ANY WAY.
- 7. STORM WATER MANAGEMENT FOR THE PROJECT IS PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP STORM WATER MANAGEMENT ORDINANCE.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GRADING THE SITE TO CONFORM TO THE GENERAL DRAINAGE PATTERNS SHOWN ON THE APPROVED PLANS. GRADING TO PROVIDE SHEET FLOW OF STORM WATER RUNOFF SHALL BE ENCOURAGED AND GRADING WHICH PROMOTES CONCENTRATION OF RUNOFF SHALL BE AVOIDED EXCEPT AS CALLED FOR ON THE APPROVED PLANS.
- 9. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER STORM WATER MANAGEMENT FACILITIES AND/OR BMP FACILITIES WHICH MAY HAVE BEEN INSTALLED ON A PROPERTY UNLESS A STORM WATER MANAGEMENT PERMIT HAS BEEN OBTAINED TO PERMIT SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL LANDSCAPING OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY, A BMP FACILITY OR WITHIN A DRAINAGE EASEMENT.
- 10. ANY DRAINAGE EASEMENT PROHIBITS EXCAVATION, THE PLACING OF FILL OR STRUCTURE AND ANY ALTERATION THAT MAY ADVERSELY AFFECT THE FLOW OF STORM WATER WITHIN ANY PORTION OF THE
- 11. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORM WATER BMP UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM WITHOUT THE WRITTEN APPROVAL OF
- 12. THE TOWNSHIP IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
- 13. IF SUBSURFACE WATER IS ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION, THE SITE ENGINEER AND OWNER SHALL BE NOTIFIED AND THE INSTALLATION OF UNDER DRAINS SHOULD BE CONSIDERED
- 14. IF SINKHOLES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP AND DC GOHN IMMEDIATELY.
- 15. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE FACILITY.
- 16. AN AS-BUILT PLAN MEETING ALL OF THE REQUIREMENTS OF THE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE SUBMITTED PRIOR TO FINAL APPROVAL OF THE INSTALLED IMPROVEMENTS.
- 17. AN EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE FOR LANCASTER SEED SALES, PREPARED BY DC GOHN ASSOCIATES IS PART OF THIS PROJECT.
- 18. A POST CONSTRUCTION STORMWATER MANAGEMENT REPORT AND ASSOCIATED DRAINAGE MAPS FOR LANCASTER SEED SALES, PREPARED BY DC GOHN ASSOCIATES IS PART OF THIS PROJECT.
- 19. WATERTIGHT JOINTS SHALL BE PROVIDED WHERE PIPE SECTIONS ARE JOINED.20. THE INFILTRATION BASIN 1 IS DESIGNED FOR 17,400 SQUARE FEET OF IMPERVIOUS AREA.

ENVIRONMENTAL DUE DILIGENCE AND CLEAN FILL MATERIAL

- 1. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
- 2. INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL."
- 3. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
- 4. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. IT IS ANTICIPATED THAT THE PROJECT SITE WILL CONTAIN BUILDING WASTE SUCH AS EXCESS BUILDING MATERIALS, CONCRETE, CARDBOARD, AND OTHER MATERIALS.

SOILS LIMITATIONS AND RESOLUTIONS

- 1. THE RESOLUTION FOR THE ON-SITE SOILS IS TO PROVIDE THE PROPER COMPACTION IN FILL AREAS. EROSION IS SLIGHT AND WILL BE CONTROLLED BY MATTING AND PERMANENT SEEDING. VEGETATED SWALES WILL BE CONSTRUCTED WITH A MINIMUM 6" TOPSOIL, IMMEDIATELY SEEDED AND STABILIZED TO PREVENT EROSION AND ENCOURAGE GERMINATION. ONCE THE SEDIMENT TRAP IS CONVERTED TO A PERMANENT STORMWATER BASIN, PLACE 6" TOPSOIL OVER DISTURBED AREAS, PERMANENTLY SEED AND STABILIZE IMMEDIATELY.
- 2. IN ALL AREAS TO RECEIVE FILL, THE EXISTING OVER-BURDEN SHALL BE STRIPPED OF TOPSOIL, ORGANIC MATERIALS, EXISTING PAVEMENTS, AND OTHER UNSUITABLE MATERIALS. IN AREAS WHERE UNSUITABLE MATERIAL SHALL BE REMOVED, STRUCTURAL FILL SHALL BE PLACED IN HORIZONTAL, LOOSE LIFTS, NOT EXCEEDING 8 INCHES, AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY FOR THE MATERIAL AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D-1557). THE MOISTURE CONTENT OF THE MATERIAL SHALL BE WITHIN 2 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT FOR THE MATERIAL AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST. WHERE HAND-OPERATED COMPACTION EQUIPMENT IS USED, THE MAXIMUM LOOSE LIFT THICKNESS SHALL BE 4 INCHES. IN GREEN OR NON-STRUCTURAL FILL AREAS, THE NATIVE ON SITE SOILS SHALL BE COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AND WITHIN ±4% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST.
- 3. IN AREAS WHERE WEATHERED BEDROCK IS EXPOSED OR PRESENT AT THE BOTTOM OF AN INFILTRATION AREA OR STRUCTURE, A NON-WOVEN GEOTEXTILE FABRIC (60Z/SY, MIN.) SHALL BE PLACED ACCORDING TO THE MANUFACTURE'S SPECIFICATIONS ABOVE THE WEATHERED ROCK AND PRIOR TO THE PLACEMENT OF ANY OVERLYING AGGREGATE, COVER SOILS, OR TOPSOIL. IF SIGNIFICANT VOID SPACES OR VOID SPACES LARGER THAN 0.50 INCHES ARE PRESENT, AASHTO #57 CLEAN WASHED STONE, OR OTHER RELATIVELY HIGH PERMEABILITY WELL-GRADED STONE APPROVED BY THE ENGINEER, SHALL BE PLACED AND COMPACTED ACROSS THE AREA PRIOR TO
- THE PLACEMENT OF THE GEOTEXTILE FILTER FABRIC.

 4. IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION, THE GROUNDWATER MUST BE PUMPED INTO A PUMPED WATER FILTER BAG PRIOR TO BEING

DISCHARGED. REFER TO THE PUMPED WATER FILTER BAG DETAIL

5. CARE SHOULD BE TAKEN TO MINIMIZE EXCESSIVE ROCK DISTURBANCE TO THE EXTENT PRACTICAL. IF ROCK REMOVAL IS REQUIRED BELOW STORMWATER MANAGEMENT FACILITIES, ROADS OR FOUNDATIONS, ROCK SHALL BE REMOVED TO A DEPTH OF AT LEAST TWO FEET BELOW THE FINAL DESIGN GRADES, AND THE SUBGRADE SHALL BE RESTORED WITH APPROVED STRUCTURAL FILL OR COMPACTED AGGREGATE. IF THE BEDROCK SURFACE IS HIGHLY FRACTURED OR IF VOID SPACES ARE ENCOUNTERED, THE AREA SHALL BE STABILIZED WITH A GEOTEXTILE FABRIC AND/OR AGGREGATE FILTER PRIOR TO BACKFILLING SO AS TO RESTRICT SOIL MIGRATION INTO THE UNDERLYING BEDROCK. SPECIFIC MITIGATION MEASURES SHOULD BE DESIGNED AND IMPLEMENTED UNDER THE OVERSIGHT AND DIRECTION OF A QUALIFIED PROFESSIONAL DURING CONSTRUCTION.

CRITICAL STAGES OF THE PCSM BMP INSTALLATION

CONTRACTOR TO COORDINATE WITH DC GOHN BEFORE CONSTRUCTION AND INSTALLATION OF THE INFILTRATION BASIN IN ORDER TO HAVE THE DESIGN CONSULTANT ON SITE TO OBSERVE THE INSTALLATION AND CONSTRUCTION OF THE PROPOSED BMP'S. ALL BMP'S TO BE INSPECTED BY A LICENSED PROFESSIONAL.

- INFILTRATION BASIN:
- . OBSERVE INSTALLATION OF OUTLET CONTROL STRUCTURE.
 2. OBSERVE SUBGRADE OF INFILTRATION BASIN PRIOR TO
- PLACEMENT OF SOIL AMENDED AREAS.

 3. OBSERVE SOIL AMENDED AREA SOIL MIXTURE PRIOR TO
- PLACEMENT. 4. OBSERVE INSTALLATION OF SOIL AMENDED AREA. 5. REVIEW SEED MIX.

Samount Joy Street
Po Box 128
Mount Joy, PA 17552
Mount Joy, PA 17552
Mount Joy, PA 17552
Associates, Inc.

Liveyors - Engineers - Landscape Architects

Samount Joy Street
Po Box 128
Mount Joy Pa 17552
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DRAWN BY: BRC
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ASTER SEED SALES
HOMESTEAD ROAD
MOUNT JOY TOWNSHIP
ASTER COUNTY, PENNSYLVANIA

9

SHEET #: 8 OF 12

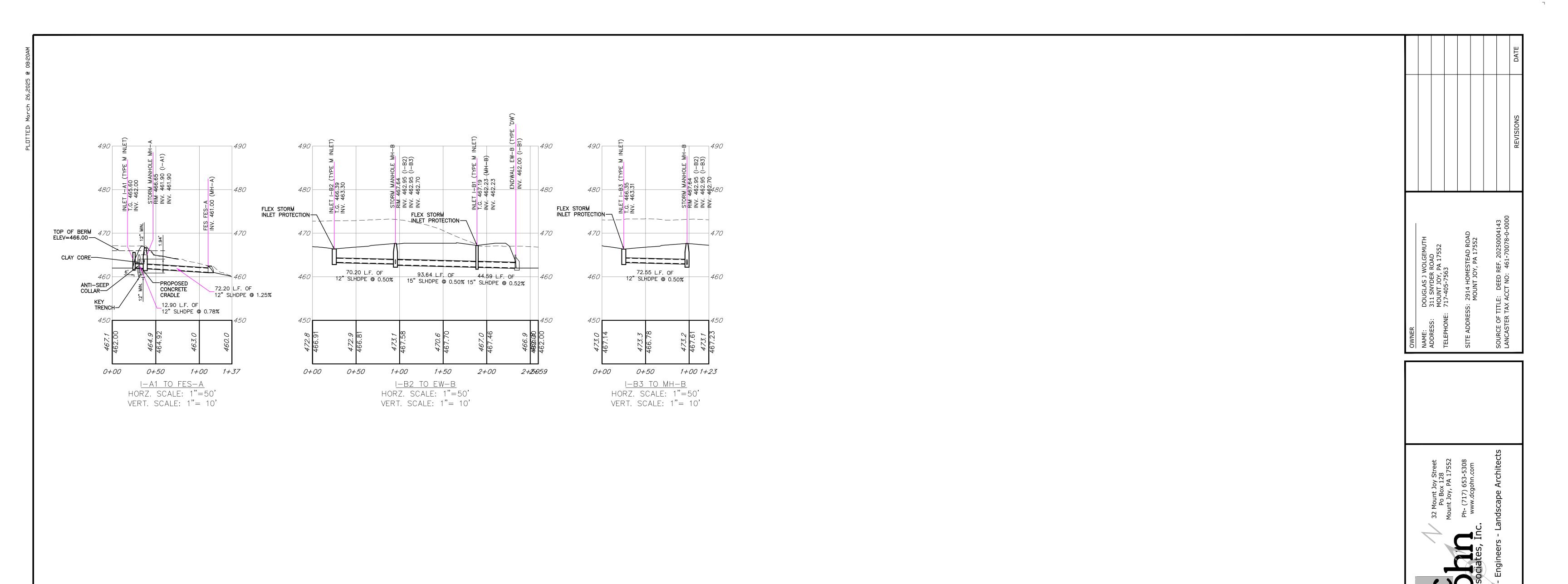
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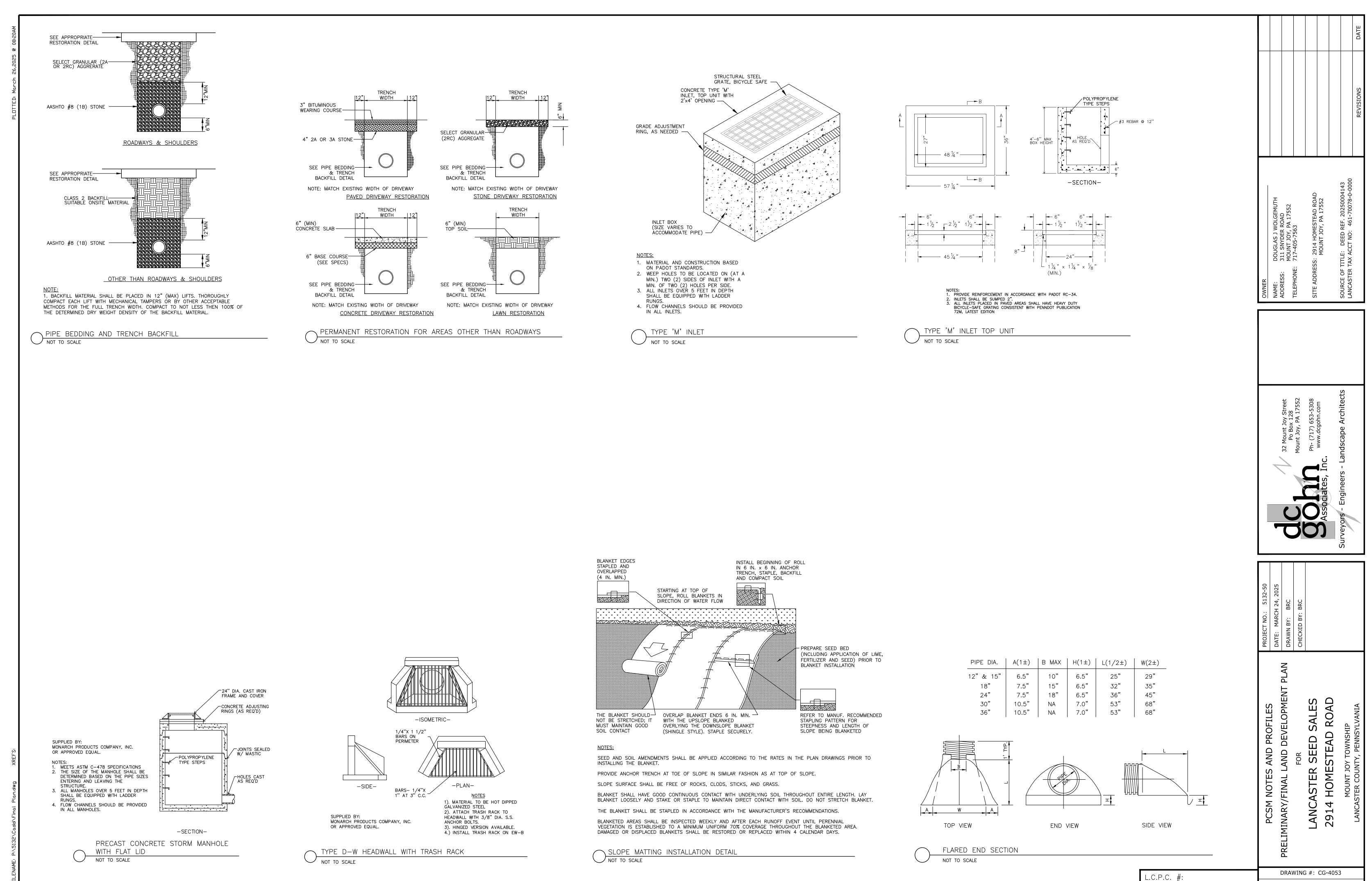


STORM PROFILES
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD

DRAWING #: CG-4053

L.C.P.C. #:

SHEET #: 9 OF 12



SHEET #: 10 OF 12

INDIVIDUAL PCSM BMP INFORMATION

OWNER PHONE: 717-405-7563

PCSM BMP NAME: INFILTRATION BASIN 1 PCSM BMP DESCRIPTION/TYPE: INFILTRATION BASIN BMP LENGTH (FT) (IF APPLICABLE): 92 FEET BMP AREA (AC): 0.039 ACRES BMP DEPTH (FT): 1.76 FEET VOLUME OF STORMWATER TREATED (CF): 4,062 CF VOLUME REDUCTION (CF) (IF APPLICABLE): 4,437 CF OWNER NAME: LANCASTÉR SEED SALES OWNER ADDRESS: 311 SNYDER ROAD MOUNT JOY. PA 17552 PROJECT SITE ADDRESS: 2914 HOMESTEAD ROAD MOUNT JOY, PA 17552

PCSM BMP #: 1 ACRES TREATED: 0.75 AC IMPERVIOUS AREA TREATED (AC): 0.40 AC LIFECYLE (YEARS): PERPETUITY NPDES PERMIT NUMBER: -----RECEIVING WATERBODY: TRIB 07927 OF DONEGAL CREEK, CWF, MF

PCSM BMP INFORMATION

INSPECTION OPERATION AND **FREQUENCY** MAINTENANCE PROCEDURE TO ASSURE PROPER OPERATION AND STRUCTURAL STABILITY, INFILTRATION TWICE PER THE OWNER SHALL INSPECT THE INFILTRATION BASIN AT LEAST ONCE EACH APRIL, AT LEAST ONCE EACH OCTOBER, AND WITHIN 48 HOURS AFTER EVERY RAINFALL EVENT EXCEEDING 1 INCH OF PRECIPITATION IN 24 HOURS. INSPECT FOR EROSION PROBLEMS, VEGETATION DAMAGE, SEDIMENT AND DEBRIS ACCUMULATION, AND LITTER. REMOVE ACCUMULATIONS OF SEDIMENT >3 INCHES IN DEPTH AND IMMEDIATELY STABILIZE DISTURBED AREAS. REMOVE SEDIMENT DURING PERIODS WHEN RUTTING WILL BE PRUNE VEGETATION AND WEED GARDENS TO ENSURE SAFETY, AESTHETICS, PROPER OPERATION, WEED AND INVASIVE/NOXIOUS VEGETATION SUPPRESSION. REMOVE INVASIVE/NOXIOUS PLANTS AND IMMEDIATELY STABILIZE DISTURBED AREAS. • REMOVE LITTER, DEBRIS, AND DETRITUS A WRITTEN REPORT IS TO BE COMPLETED WHICH DOCUMENTS EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES INSPECTION TO INLET FILTER OCCUR EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH FOLLOWING ANY (INLETS I-B1, SEDIMENT AND DEBRIS. OR AS DIRECTED. RAIN EVENT I-B2, AND I-B3) REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE. • DISPOSE OF SEDIMENT OR DEBRIS.

, PCSM OPERATION AND MAINTENANCE NOTES

RAIN GARDEN CONSTRUCTION NOTES:

1. LIMIT COMPACTION OVER THE RAIN GARDEN AREA. MAINTAIN ORANGE CONSTRUCTION FENCING TO THE EXTENT PRACTICAL. EXCAVATE RAIN GARDEN TO 12" BELOW PROPOSED BOTTOM ELEVATION OF AMENDED SOIL AS NOTED ON THE PLANS. EXCAVATION OF THE RAIN GARDENS SHOULD BE DONE WITH EQUIPMENT OUTSIDE OF THE RAIN GARDEN AREA TO THE EXTENT PRACTICAL. SCARIFY EXCAVATED BOTTOM SUBGRADE OF RAIN GARDEN A MINIMUM 12" WITH EQUIPMENT OUTSIDE OF THE RAIN GARDENS AREAS.

INSTALL UNDERDRAIN AND ASSOCIATED STONE TRENCH. INSTALL AMENDED SOIL IN 6-INCH MAXIMUM LIFTS AND LIGHTLY COMPACT (TAMP WITH BACKHOE BUCKET OR BY HAND). KEEP EQUIPMENT MOVEMENT OVER AMENDED SOIL TO A MINIMUM AND DO NOT OVERCOMPACT. PLANT ERNST SEED MIX AS NOTED ON THE PLANS PER MANUFACTURER'S SPECIFICATIONS.

GENERAL RAIN GARDEN NOTES:

1. THE AMENDED SOIL SHALL BE A UNIFORM MIXTURE CONSISTING OF 20% SAND, 60% TOPSOIL, AND 20% COMPOST. THE COMPOST SHALL BE APPROVED LANDSCAPING COMPOST COMPRISED OF NATURAL MATERIALS AND WITH AN ORGANIC MATTER CONTENT OF 35% TO 65% AS DETERMINED BY THE LOSS ON IGNITION METHOD. THE TOPSOIL SHALL BE FRIABLE LOAMY SOIL AS CLASSIFIED BY THE USDA, FREE OF WEEDS, HERBICIDES, PETROLEUM-BASED MATERIALS, ANY OTHER DELETERIOUS MATERIALS, ROCKS, AND DEBRIS. THE TOPSOIL SHALL HAVE A PH OF BETWEEN 5.5 AND 8.0. 100% OF THE TOPSOIL SHALL PASS THROUGH A 3/4" SCREEN.

CONTRACTOR TO PROVIDE AN ENGINEERED PROPRIETARY AMENDED SOILS MIX FROM A PRE-MIXED VALID SOURCE COMPLETE WITH CERTIFIED SPECIFICATIONS AND TESTING THAT VERIFIES THE CLAIMED VOID RATIOS TO VERIFY THE CLAIMED STORAGE VOLUME CAPACITY OF THE AMENDED SOILS. IN THE EVENT THAT THE ON-SITE TOPSOIL IS USED, CONTRACTOR TO PROVIDE SPECIFICATIONS FOR THE SAND AND COMPOST FOR REVIEW BY DC GOHN ASSOCIATES. THE ON-SITE MIX SHALL BE TESTED THAT VERIFIES THE VOID RATIOS FOR VOLUME

STORAGE CAPACITY OF THE AMENDED SOILS. 3. IN THE EVENT THAT GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION IN THE AREA OF THE PROPOSED RAIN GARDENS, CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER AND DC GOHN PRIOR TO PROCEEDING WITH CONSTRUCTION. A REVISED BMP DESIGN WILL NEED TO BE REVIEWED BY THE TOWNSHIP PRIOR TO COMPLETING CONSTRUCTION OF THE BMP.

4. NOTATION FOR INFILTRATION TESTING FOR THE BOTTOM SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 SHOULD BE PROVIDED CLEARLY STATING THAT THE TESTING IS TO TAKE PLACE PRIOR TO ANY BACKFILLING OF AMENDED SOILS OR PERFORATED UNDERDRAIN PIPE, INFILTRATION TESTING SHALL BE PERFORMED AT THE SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 PRIOR TO PLACEMENT OF FILTRATION MEDIA. THE INFILTRATION TEST RESULTS SHALL BE PROVIDED TO DC GONN ASSOCIATES TO VERIFY THE RATES WITH THE STORMWATER DESIGN. IF THE INFILTRATION TESTING RESULTS ARE LESS THAN THE ORIGINAL INFILTRATION TESTING RESULTS PRIOR TO CONSTRUCTION THE AMENDED SOILS AREAS OF RAIN GARDENS 1 WILL NEED TO INCLUDE ADDITIONAL AMENDED SOILS

MEDIA TILLED INTO THE BOTTOM OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 AND/OR RESIZE RAIN GARDENS 1 IF THE

INFILTRATION RATES POST CONSTRUCTION CANNOT BE OBTAINED. 5. THE EMBANKMENT FILL MATERIAL SHALL BE TAKEN FROM AN APPROPRIATE BORROW AREA WHICH SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN SIX INCHES, FROZEN OR OTHER OBJECTIONABLE MATERIALS.

******** UNCOMPACTED SUBGRADE

INFILTRATION BASIN DETAIL

STORM WATER MANAGEMENT FACILITIES (ERNST 180-1 SEED MIX)

SITE PREPARATION NOTES:

1. INVASIVE SPECIES, PARTICULARLY THOSE THAT WILL ADAPT TO WET CONDITIONS, SHOULD BE REMOVED OR SPRAYED BEFORE THEY BECOME INCORPORATED INTO THE SITE. NORMAL VEGETATION CAN BE WORKED INTO THE TOPSOIL, WHICH SHOULD BE STOCKPILED UNTIL THE FINAL GRADE HAS BEEN ESTABLISHED.

2. WITH THE ENGINEER'S SPECIFICATIONS AND DIMENSIONS IN HAND, ON—SITE CONSTRUCTION OF THE BERM AND OUTLETS MUST BE EXECUTED CAREFULLY IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY. THE PLANT GROWTH AREAS SHOULD BE LOOSE AND FRIABLE, HIGH IN ORGANIC MATTER, AND COMPLETED WITHOUT COMPACTIONS FROM HEAVY EQUIPMENT. BY USING THE "DIG AND DROP" METHOD, ONE CAN USE AN EXCAVATOR TO DIG AND FROM EACH AREA OF THE BOTTOM SOIL IN A LOOSE MANNER. AT THIS POINT, ONE CAN INCORPORATE LIME, COMPOSTED LEAVES, AND/OR GRASS CLIPPINGS. THE EXCAVATION MACHINE DOES NOT MOVE OVER THE FINISHED SURFACE, THUS AVOIDING UNNECESSARY COMPACTION. NATIVE VEGETATION CAN BE PLANTED OR SEEDED OVER THIS UNEVEN, ABSORBENT SURFACE.

SEEDING AND PLANTING METHODS NOTES:

1. SEEDING AND PLANTING SHOULD BEGIN IMMEDIATELY UPON COMPLETION OF THE STRUCTURE WHEN THE SOIL IS STILL FRIABLE AND BEFORE INVASIVE WEEDS EMERGE. PLAN SEEDING AND PLANTING BEFORE THE BASIN IS FLOODED, OR ALLOW THE BASIN TO DRAIN TO A FEW INCHES BEFORE SEEDING. BROADCAST SEED EVENLY OVER EACH UNIT BY HAND SEEDING OR HYDROSEEDING. SEEDING RATES ARE GENERALLY LOW (1/2 LB PER 1,000 SQ FT). THE USE OF A SEED FILLER; I.E. PAM-12, CAN BE USED TO CREATE A MIX OF 10 LB PER 1,000 SQ FT (I.E. 9-1/2 LB OF PAM-12 MIXED WITH 1/2 LB OF SEED), WHICH CAN BE BROADCAST EVENLY OVER THE AREA. BARLEY, OATS, OR RYE CAN PROVIDE TEMPORARY VEGETATION TO PROTECT THE SOIL IN STORM WATER MANAGEMENT FACILITIES UNTIL PERMANENT VEGETATION CAN BE ESTABLISHED. THE USE OF NATIVE SPECIES; I. E. VIRGINIA WILD RYE, CAN CREATE AN INTERMEDIATE VEGETATIVE COVE THAT SUCCEEDS TO NATIVE LONG-TERM VEGETATION. STRAW MULCH OR STRAW COCONUT MATS ARE FREQUENTLY USED TO CONTROL EROSION) PROTECT EMERGING SEEDLINGS FROM EXTREME TEMPERATURES AND DRYING OUT. MULCH SHOULD BE SPARSE TO ALLOW SUNLIGHT TO REACH THE GROUND.

2. TRANSPLANTED SEEDLINGS AND SHRUBS NEED TEMPORARY WATER UNTIL THEY BECOME WELL ROOTED. IRRIGATION OF SEEDED AREAS IS OF VALUE UNTIL

GENERAL MAINTENANCE NOTES:

1. IN ADDITION TO STRUCTURAL MAINTENANCE, SILTATION NEEDS TO BE REMOVED AS NEEDED. PLANTS NEED TO BE TRIMMED BACK TO MAINTAIN AESTHETIC VALUE AND INVASIVE SPECIES NEED TO BE CONTROLLED. CLOSE MOWING OR EXTENSIVE CHEMICAL USE IS NOT CONDUCIVE TO WATER QUALITY IMPROVEMENT OR WILDLIFE

ERNST CONSERVATION SEEDS

ERNMX-180-1

SEEDING RATE 20 lbs per acre, or 1/2 lb per 1,000 sq ft

40.4% Schizachyrium scoparium, Fort Indiantown Gap—PA Ecotype (Little Bluestem, Fort Indiantown Gap—PA Ecotype) 20.0% Carex vulpinoidea, PA Ecotype

(Fox Sedge, PA Ecotype) 20.0% Elymus virginicus, Madison-NY Ecotype (Virginia Wildrye, Madison—NY Ecotype) 9.0% Panicum clandestinum, Tioga (Deertongue, Tioga) 5.5% Panicum rigidulum, PA Ecotype

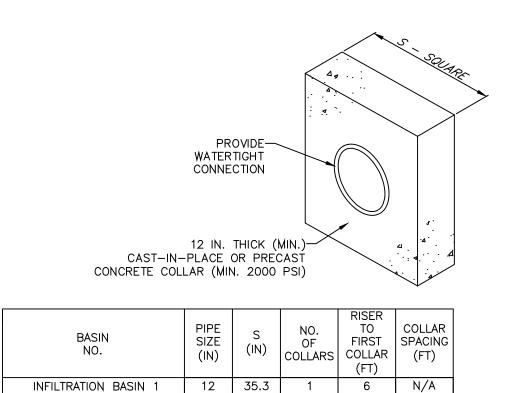
(Redtop Panicgrass, PA Ecotype) 4.0% Chasmanthium latifolium, WV Ecotype (River Oats, WV Ecotype) 0.5% Carex scoparia, PÁ Ecotype

(Blunt Broom Sedge, PA Ecotype) 0.3% Juncus effusus 0.3% Juncus tenuis, PA Ecotype (Path Rush, PA Ecotype)

ERNST SEED MIX NOTES

NOT TO SCALE

Total 100%

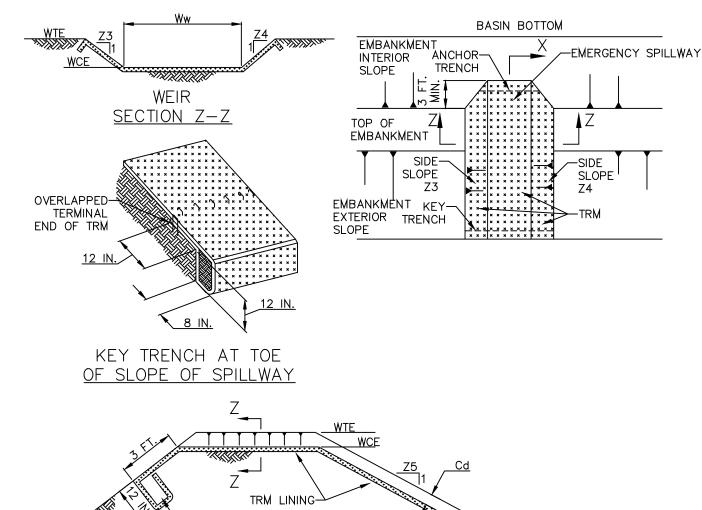


NOTES: ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

CONCRETE ANTI-SEEP COLLAR DETAIL

NOT TO SCALE



TRENCH END INTO INTERIOR SLOPE PER MANUFACTURER TRENCH TRENCHING DETAILS DETAIL EMBANKMENT SECTION ALONG EMERGENCY SPILLWAY SECTION X-X DEPTH WIDTH ELEV ELEV TRM (FT) | (FT)

WTE

(FT)

2 | 466.00 | 464.75 |

WCE

(FT)

TYPE

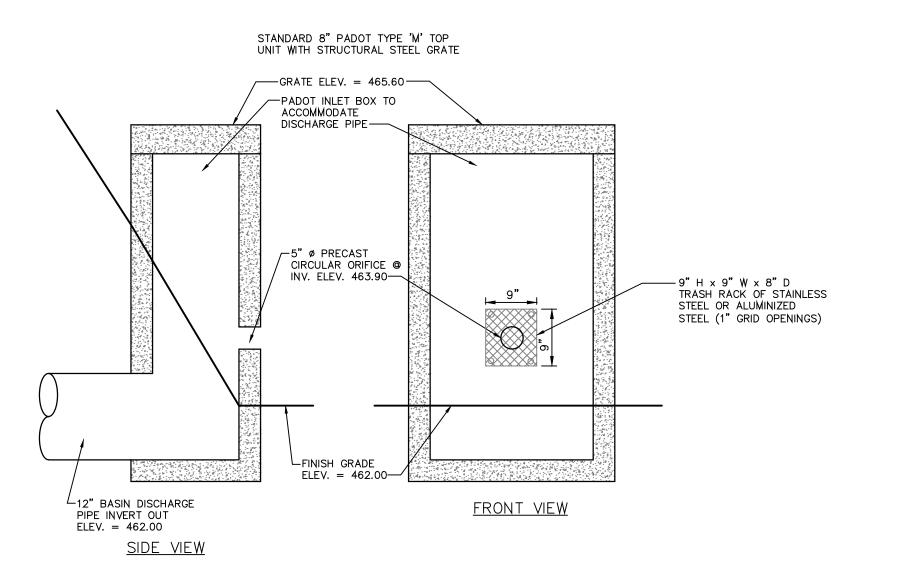
ECS-1D

INFILTRATION BASIN '

2. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

1. HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM

EMERGENCY SPILLWAY DETAIL NOT TO SCALE

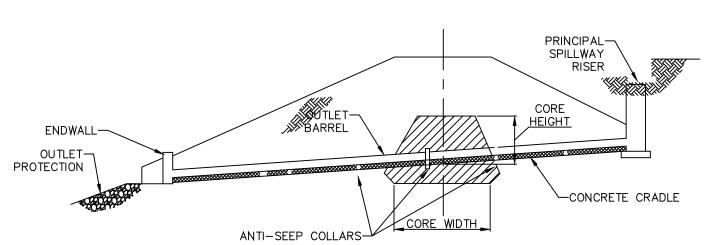


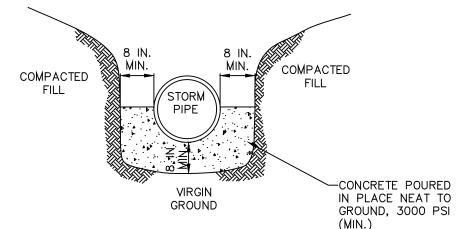
INFILTRATION BASIN 1 OUTLET STRUCTURE (I-A1)

DET, N S 6

DRAWING #: CG-4053 L.C.P.C. #:

SHEET #: 11 OF 12





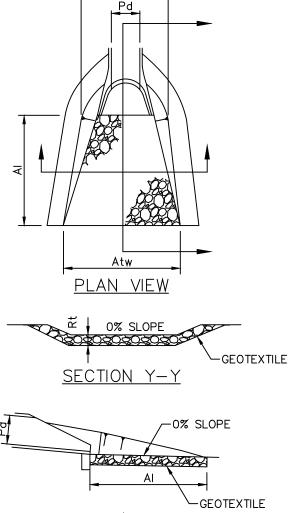
CROSS-SECTION AT OUTLET BARREL

NOTES:

- A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS AND/OR FILTER DIAPHRAGM.
- 2. ANTI-SEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN.
- 3. A CONCRETE CRADLE MUST BE INSTALLED FOR THE OUTLET BARREL FOR INFILTRATION BASIN 1.

CONCRETE CRADLE FOR BASIN OUTLET BARREL

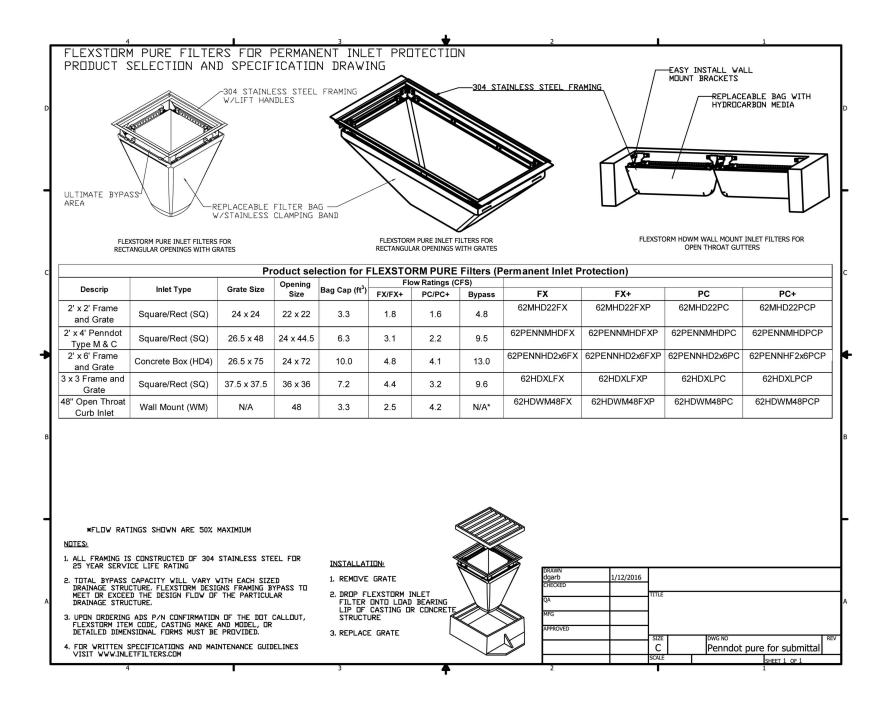
NOT TO SCALE



		RIP	RAP		APRON	
OUTLET NO.	PIPE DIA Pd (IN)	SIZE R	THICK. Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
FES-A	12	R-3	12	6.0	3.0	9.0
E₩-B	15	R-3	12	6.0	3.75	6.15

- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN.
 TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH
 RECEIVING CHANNELS.
- 2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.





FLEX STORM FILTERS FOR PERMANENT INLET PROTECTION NOT TO SCALE

PCSM DETAILS PRELIMINARY/FINAL LAND DEVELOPMENT LANCASTER SEED SALES 2914 HOMESTEAD ROAD

L.C.P.C. #:

DRAWING #: CG-4053 SHEET #: 12 OF 12

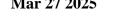
EMBANKMENT ALONG PRINCIPAL SPILLWAY

SECTION Z-Z

		RIP	RAP		APRON	l
OUTLET NO.	PIPE DIA Pd (IN)	SIZE R	THICK. Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
FES-A	12	R-3	12	6.0	3.0	9.0
FW-R	15	R-3	12	6.0	3 75	6 1 5

Mar 27 2025

MOUNT JOY TOWNSHIP





March 24, 2025

Mr. Kim Kaufman Mount Joy Township Manager 8853 Elizabethtown Road Elizabethtown, PA 17022

SUBJECT: Lancaster Seed Sales

Preliminary/Final Land Development Plan Submission Modification Requests

DCG Project Number 5132-50

Dear Mr. Kaufman:

On behalf of our client, we request the following modifications from the Mount Joy Township Subdivision and Land Development Ordinance and the Stormwater Management Ordinance.

Subdivision and Land Development Ordinance

1. Section 119-25 – Preliminary Plan Review Process

We request relief from the requirement to submit a Preliminary Plan. The alternate is the submission of a Preliminary/Final Land Development Plan.

The site is the existing Lancaster Seed Sales business. There are no new employees and no new truck traffic. Stormwater will be provided on site for rate and volume. There are no changes to site access which is from Homestead Road. A zoning hearing board decision granted certain zoning relief. There is no water or sewer usage with the building expansion. The plan meets all other zoning requirements. The final plan contains all relevant information.

2. Section 119-32.(2)—Traffic Study

We request relief from the requirement to provide a traffic study for nonresidential developments with buildings containing in excess of 1,000 square feet of usable space. The request is not to provide a traffic study.

The site is the existing Lancaster Seed Sales business. There are no new employees and no new truck traffic. There are no changes to site access which is from Homestead Road. The new building will be used for processing grain on the farm. The processed grain is turned into seed to be sold to other farmers. There will be no increase in traffic due the fact that the same amount of product is shipped to an off site warehouse. Also, there is a reduction in the amount of unprocessed grain hauled out since it is processed on site now. The warehouse allows for more flexibility and efficiency.

3. Section 119-52.J.(3)(a) – Improvement of Existing Streets

We request relief from the requirement to improve existing streets where land development abuts an existing street. The street shall be improved to the ultimate width in accordance with Subsection J or as indicated on the Township Official Map, whichever is greater, and additional right of way shall be provided, concrete curb and sidewalk, and any other street improvements shall be constructed. The request is not to widen the cartway width and provide additional right of way.

Homestead Road is classified as a local street outside of the urban growth area which requires a 50 foot right of way and 20 foot cartway with a 2 foot shoulder. Curbing is not required. Currently, Homestead Road has 33 foot right of way and 18 foot cartway. There is no curbing. There are no new employees and no new truck traffic. The site access to Homestead Road remains the same. The existing street provides adequate access to and from the site.

Stormwater Management Ordinance

1. Section 113-32.A.2.(c) – Loading Ratios

We request relief from the requirement that the maximum loading ratio for volume control facilities in nonkarst areas shall be 5:1 impervious drainage area to infiltration area and 8:1 total drainage area to infiltration area.

Infiltration Basin 1 impervious drainage area loading ratio is 10:1 and the total drainage area loading ratio is 19:1. Infiltration Basin 1 is designed to capture on site impervious and grass areas from the proposed improvements. In addition, the basin captures on site and off site agricultural areas. The on site agricultural areas are used for seed production which is used for the business. As a result, the site grading is minimized to protect and maintain the agricultural area for production. There is a cut slope to accommodate the building which is designed at 2:1 to minimize the grading impact. A bypass swale or diversion of upland stormwater would decrease the agricultural area used for the business. The off site agricultural area is upland and drains through the on site area.

There are no existing stormwater detention facilities on site. The infiltration basin is designed to infiltrate the net increase in the two year storm volume and detain stormwater rate for all of the designs storms. The location of the infiltration basin is downstream of the proposed improvements and is designed to capture a portion of the new impervious and the disturbed area. The existing and proposed building locations dictate the location and storage area of the infiltration basin. The 2:1 slope in the interior of the basin maximizes the storage area of the infiltration basin which minimizes the loading ratios. There is amended soil which provides additional infiltration and water quality capacity. The infiltration rate is excessive due to the weathered rock at the two locations tested. The maximum infiltration rate of 10.00 inches per hour is used since that is the maximum infiltration rate per the PA BMP Manual. The actual infiltration rate is significantly higher. The resultant dewatering time is 12 hours which is the minimum dewatering time indicated on the PADEP spreadsheet for volume, rate and water quality. There is an emergency

spillway which provides an emergency overflow. Based on the maximized storage area of the basin, the excessive infiltration rates, and the minimum dewatering time, the higher loading ratios will not impact the design of the infiltration basin.

2. Section 113-37.A.(1).(a).[2] – Interior Side Slopes

We request relief from the requirement that the maximum interior side slopes for a facility depth of 2 feet to 8 feet is 3:1. The proposed interior side slopes of the basin are 2:1.

The 2:1 slope in the interior of the basin maximizes the storage area of the infiltration basin which minimizes the loading ratios. The location of the infiltration basin is downstream of the proposed improvements and is designed to capture a portion of the new impervious and the disturbed area. The existing and proposed building locations dictate the storage area of the infiltration basin. The proposed building is connected to the existing building which provides an internal connection which is critical for the daily business operations. The areas downstream of the proposed improvements contain the existing seed processing building and silos as well as a steep slope embankment between the soils and existing street. These features prohibit the installation of a stormwater facility in these locations.

Call me directly if you have any questions or concerns. Thank you.

Sincerely,

D. C. GOHN ASSOCIATES, INC.

Brian R. Cooley

Staff Landscape Architect

Brian R. Cooley

cc: Lancaster Seed Sales

Lancaster Civil

Josele Cleary, Esquire

File

Kim Kaufman Township Manager Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org

Re: Lancaster Seed Sales
Preliminary/Final Land Development Plan
Township Permit No.25-07-FLDP

LCEC Project No: 25-190



Dear Mr. Kaufman,

We have received a preliminary/final land development plan submission from D.C. Gohn Associates, Inc. for the above-referenced project. The submission consisted of the following documents:

- Cover letter dated March 24, 2025
- Preliminary/Final Land Development Plans dated March 24, 2025
- Post Construction Stormwater Management Report dated March 24, 2025
- Drainage Area Plan dated March 24, 2025
- Geology/Infiltration Testing Report dated February 21, 2025
- Modification request letter dated March 24, 2025
- Wetland investigation dated March 26, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

- 1. At a Zoning Hearing Board meeting on March 5, 2025, the Board granted the following:
 - a. Variance from Section 135-83.H regarding the minimum 50' rear yard setback.
 - b. Variance from Section 135-85. I regarding the 25% maximum impervious coverage.
- 2. Prior to the expansion of an agricultural use, the landowner shall provide evidence from the Conservation District that a Conservation and Nutrient Management Plan is being implemented (135-212.D(1),(2),&(3)).
- 3. An exterior lighting plan shall be submitted (if exterior lighting is proposed) (135-298.D).
- 4. A clear sight triangle and stopping sight distances shall be shown at the proposed access points (135-299.E(2) & 119-31.D(12)).
- 5. Slopes greater than 15% shall be shown on the plans (135-305.A).

- 6. Finished slopes of all cuts and fills shall not exceed 3:1, unless the applicant can satisfactorily demonstrate that the steeper slopes can be stabilized and maintained adequately (135-305.D(2)).
- 7. Riparian corridors shall be established to include 30 feet on each side of the watercourse, measured from the top of each stream bank (135-306.B).
- 8. The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the riparian corridor, in a form acceptable to the Township Solicitor (135-306.F).
- 9. Off street loading space information shall be shown on the plans (135-346).

Subdivision and Land Development Ordinance

- 10. A preliminary plan is required (119-25). The applicant has requested a modification of this requirement.
 - <u>Waiver response</u>: The applicant proposes to process this as a preliminary/final plan which includes both preliminary and final plan requirements. This project is not phased and construction of public improvements is not scheduled to begin prior to plan recordation. Based on these considerations, I have no objection to a waiver of this requirement.
- 11. A legend showing existing and proposed features and linetypes shall be provided (119-31.A(4)).
- 12. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
- 13. The name and address of the owner of the subtract tracts shall be corrected (119-31.B(3)).
- 14. The plan shall identify the parent tract and all prior subdivisions from the parent tract which have been recorded (119-31.B(13)).
- 15. The plan shall identify all prior plans, including all notes or restrictions affecting the current development, with a verification signed by the design professional that such list is complete and correct (119-31.B(14)).
- 16. The entire tract boundary with bearing and distances shall be shown on the plans (119-31.B(17) & 113-42.F). Please note that lots with an area greater than 10 acres may be identified by deed-plotting.
- 17. The existing culvert in Homestead Road, the PP&L utility line (and associated easement/right-of-way), the existing gravel lane, and the existing utility pole (and associated easements/right-of-way) shall be shown on the plans (119-31.C(4) & 113-43.I(5)).
- 18. The replacement on-lot septic system shall be shown on the plans (119-31.C(4)
- 19. Any existing water supplies shall be shown (119-31.C(4)(b)). (DEP's eMap website shows an existing on-lot well).
- 20. The units of occupancy and density shall be provided on the plans (119-31.D(3)).
- 21. The existing right-of-way for Route 283 shall be dimensioned. Route 283 shall be labeled on the plans (119-31.D(4)).
- 22. An erosion and sedimentation control plan shall be submitted (119-31.D(14)(e), 113-31.E & 113-43.K).
- 23. A water and sewer feasibility report shall be provided (119-32.A & 119-35.E(3)(b)).

April 24, 2025 Page 2 of 6

- 24. A PDNI search shall be included in the wetlands study. The wetlands study shall be provided for the entire site (119-32.B).
- 25. The applicant has requested a waiver of the requirement to provide a traffic impact study; however, since this is a proposed agricultural development a traffic impact study is not required. The modification request letter shall be updated to remove the reference to this request (119-32.C(2)).
- 26. All certificates shall be executed prior to final plan approval (119-35.E).
- 27. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
- 28. Written notices from the emergency service providers that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)).
- 29. Legal descriptions for easements to be dedicated to the Township, including but not limited to, drainage easements, shall be provided (119-35.E(4)(a)).
- 30. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
- 31. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
- 32. A construction cost estimate and financial security shall be provided (119-41 & 113-60).
- 33. The frontage along Homestead Road (a local street) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Improvements shall include pavement widening and dedication of additional right-of-way (119-52.J(3)(a)). The required right-of-way for a local street outside of the urban growth area is 50 feet, and the required cartway width is 24 feet. The applicant has requested a waiver of this requirement.
 - <u>Waiver response</u>: The applicant has requested a waiver to provide additional right-of-way and to widen the existing cartway. The existing right-of-way is 33 feet and the cartway width is 18 feet, which does not meet PennDOT's minimum required width for rural local roads (22 feet). The applicant indicates that there are no new employees and no new truck traffic anticipated as part of the proposed development. The access on Homestead Road will remain the same following the proposed development. However, since the existing road is well below Township and State standards for minimum road widths and the use of this property creates truck traffic, I am unable to support a waiver of this requirement.
- 34. If the Township determines that the road improvements required by 119-52.J(3)(a) are not feasible at the time of development, the developer shall deposit funds with the Township in the amount of 110% of the cost of improvements, or the applicant shall enter into an agreement that would defer road improvements to a time the Township would deem such road improvements as feasible (119-52.J(3)(d)).
- 35. Three monuments shall be spaced around the proposed project, with at least two of the monuments placed as consecutive corners along the street right-of-way (119-57.B).
- 36. Lot line markers shall be set at the street right-of-way, at all angles in property lines and at the intersection of all other property lines (119-57.D).

April 24, 2025 Page 3 of 6

- 37. A note shall be provided on the plan indicating when the monuments and markers are to be set (119-57.H).
- 38. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C & 113-96).

Stormwater Management Ordinance

- 39. Evidence of NPDES and E&S permit approval by the Lancaster County Conservation District shall be provided (113-31.D, 113-45.B & 113-45.C).
- 40. To the maximum extent practicable, areas proposed for infiltration BMPs shall be protected from sedimentation and compaction during the construction phase to maintain maximum infiltration capacity (113-31.0). To the maximum extent practicable, infiltration BMPs shall not be constructed nor receive runoff from disturbed areas until the entire contributory drainage area to the infiltration BMP has achieved final stabilization (113-31.P). The plan shall show the provisions for protecting Infiltration Basin 1 during construction.
- 41. The proposed access and drainage easements shall be shown on the layout plan (or vice versa) to confirm the location of the easements. In addition, access to proposed Infiltration Basin 1 shall be provided (113-31.Q).
- 42. There is no undetained area shown in the General Information worksheet; however, there are undetained drainage areas shown on the drainage area maps (113-32).
- 43. The total "Proposed Impervious in DA (Acres)" shown in the General Information worksheet is inconsistent with the total impervious area ("Total To Infiltration Basin 1" and "Post Area A Undetained") shown in "Post Development Drainage Area" worksheet (113-32).
- 44. The Ordinance requires the loading ratio for the total drainage area to infiltration area to be less than 8:1 and the impervious drainage area to infiltration area to be less than 5:1 (113-32.A.(2)(c). A total loading ratio of 19:1 and an impervious loading ratio of 10:1 are provided; a modification is being requested, however per Ordinance 312-2017 the Township Engineer can approve higher loading ratios.
 - <u>Approval response:</u> The loading ratio guideline is a recommendation intended to prevent infiltration of a substantial volume of water in a very small area (especially in Karst areas), to limit excessive depth of water in infiltration facilities and to avoid lengthy dewatering/drawdown times. The proposed Infiltration Basin 1 is not in a Karst area and has been designed to capture a depth of 1.76 feet for the 2 year storm with a dewatering time of less than 2 hours, which will mitigate each of the risk factors described above. Given these considerations, I have no objection to the higher ratios with the condition at least two (2) feet of amended soils are provided in Infiltration Basin 1 to help mitigate the extremely fast dewatering times.
- 45. There are two distinct points of interest that drain in opposite directions; however, they are being analyzed as one point. A separate pre/post-development analysis shall be provided for each point of interest (113-33).
- 46. Minimum floor elevations for all structures that would be affected by open conveyance systems where ponding may occur shall be two feet above the one-hundred-year water surface elevation (113-34.F). The proposed building is less than two feet above Inlets I-B2 and I-B3. The first floor elevation of the Seed Processing Building shall be provided.
- 47. The pipe system conveying runoff to Proposed Infiltration Basin 1 shall be designed for the 100-year storm (113-34.G(3)).

April 24, 2025 Page 4 of 6

- 48. The plans shall indicate where the downspouts are located to confirm the Post To Infiltration Basin 1 drainage area and I-B1 subdrainage area boundaries are correct (113-35.B).
- 49. The impervious areas for Inlets I-B2 and I-B3 shown in the "Post Development Drainage Areas" worksheet are inconsistent with the impervious area shown on the sub drainage area map for Inlets I-B2 and I-B3 (113-35.B).
- 50. The data used to determine the rainfall intensity from NOAA Atlas 14 data or PennDOT Publication 584, PennDOT Drainage Manual, shall be provided (113-35.D).
- 51. Post-development runoff coefficients for pipes that convey off-site discharges shall be based on winter or poor land use conditions (113-35.G).
- 52. Runoff coefficients for off-site runoff that is routed through rate control facilities shall be based on actual land use assuming winter or poor land conditions (113-35.H(4)).
- 53. The plans shall show the proposed top width, interior and exterior side slopes for the infiltration basin embankment (113-37.A(1)).
- 54. The applicant has requested a waiver of the requirement to provide a maximum interior side slope of 3:1 for aboveground storage facilities; however, since proposed Infiltration Basin 1 is less than 2 feet deep this waiver is not needed. The modification request letter shall be updated to remove the reference to this request (113-37.A(1)(a)[2]).
- 55. A note shall be added to the plan to specify that the embankment fill material shall be free of roots, stumps, wood, rubbish, stones greater than six inches, frozen or other objectionable materials (113-37.A.(3)(c)).
- 56. The landowner shall execute the final documents prior to final plan approval (113-41.B).
- 57. A note shall be added to the plan informing the owner that the Township shall have the right of entry for the purposes of inspecting all stormwater conveyance, treatment, or storage facilities (113-43.G).
- 58. Site Note 14 shall provide the instrument number of any previously recorded stormwater management agreements (113-43.I(6)).
- 59. Construction details shall be provided for the clay core/key trench shown in the I-A1 to FES-A vertical profile (113-43.J(5)). The extents of the clay core/key trench shall be shown on the plans.
- 60. The pipe diameter of the Outfall Culvert shown in the Outlet Structure Configuration (15") in the PCSM Report is inconsistent with the pipe diameter shown on the plans (12") (113-43.J(5)).
- 61. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,

Benjamin S. Oraddock E-beneradock Blancastercivicon.
O-Lancaster Civil Engineering Co.,
CN. Benjamin S. Craddock
Date: 2025.04.24 10.57:53-04'00'

Benjamin S. Craddock, PE, President

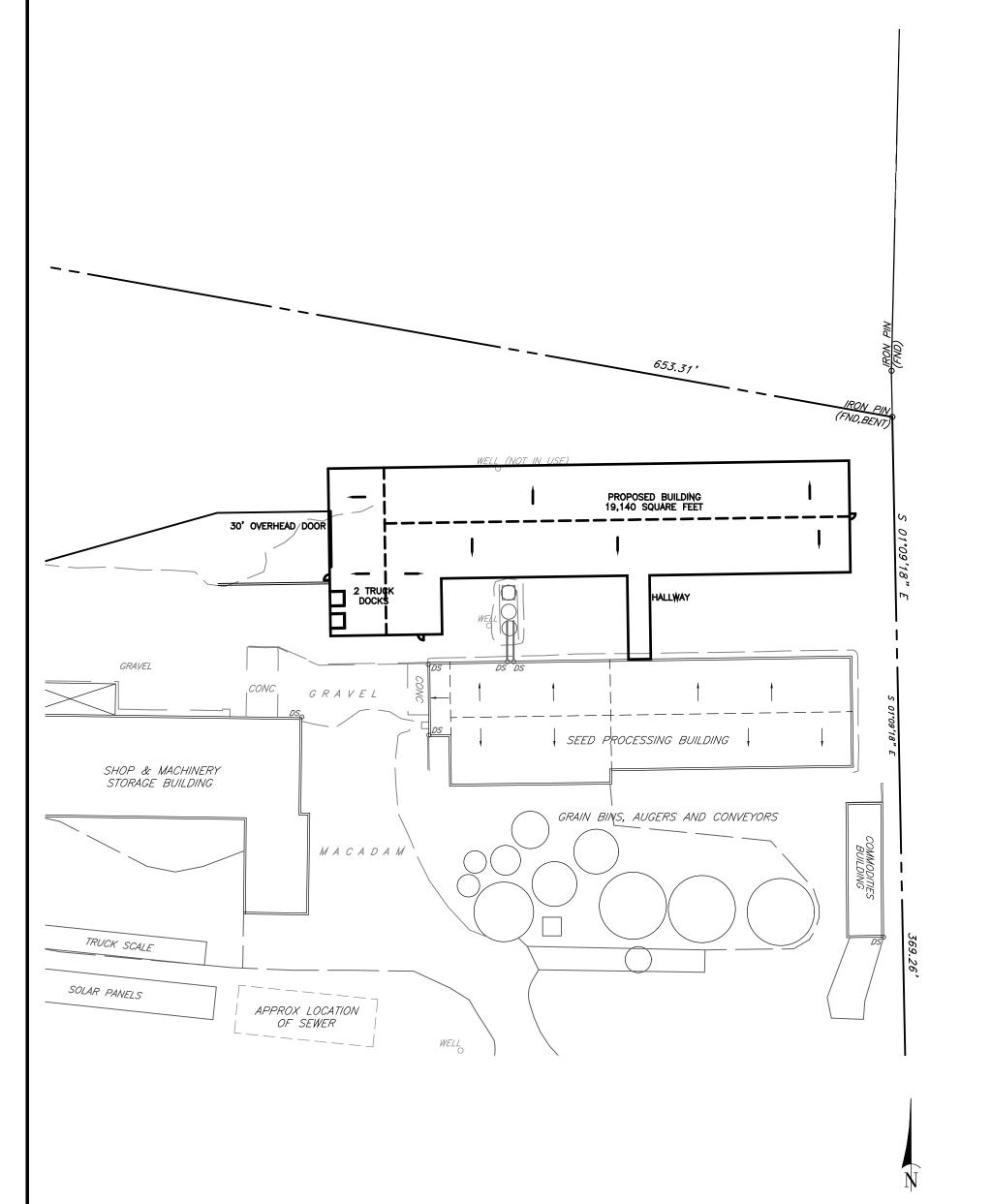
LANCASTER CIVIL

April 24, 2025 Page 5 of 6

cc: Jackie Wilbern, Township Zoning Officer (via email)
Justin Evans, Assistant Zoning Officer (via email)
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Renee Addleman, Planner, LCPC (via email)
Brian Cooley, D.C. Gohn (via email)

April 24, 2025 Page 6 of 6

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA



TOTAL EXISTING SITE AREA 520,081.00 SQ. FT. = 11.939 AC. (EXCLUDES ALL RIGHTS-OF-WAY)

UTILITY LISTINGS

Copyright ADC The Map People

Permitted Use Number 20902178

LOCATION MAP

MT JOY TWF

COMPANY: MOUNT JOY TOWNSHIP ADDRESS: 8853 ELIZABETHTOWN ROAD ELIZABETHTOWN, PA 17022 CONTACT: KIM KAUFMAN, MANAGER PHONE: (717) 367-7178

COMPANY: CENTURYLINK CONTACT: CUSTOMER SERVICE HTTPS://WWW.CENTURYLINK.COM/ PHONE: 1-800-244-1111

COMPANY: PPL ELECTRIC UTILITIES ADDRESS: 651 DELP ROAD LANCASTER, PA 17601-3034 CONTACT: OFFICE PERSONNEL EMAIL: www.pplelectric.com PHONE: (717) 291-3000

ADDRESS: MIDDLETOWN, PA 17057 CONTACT: OFFICE PERSONNEL EMAIL: www.comcast.com

ZONING DECISION:

As a result of a public hearing held on March 5, 2025, the Mount Joy Township Zoning Hearing Board (the "Board") voted unanimously to grant the following requests on the Application for the property located at 2914 lomestead Road, Mount Joy, PA 17552, Tax Parcel ID No. 461-04790-0-0000 (the "Property") in accordance with the Mount <u>Joy Towns</u>hip Zoning Ordinance of 2012, as amended (the "Ordinance"): 135-85.H

- (i) Variance from Section 135-83.H regarding the minimum rear yard
- (ii) Variance from Section 135-85.1 regarding the maximum impervious

The Property is zoned A-Agricultural, and consists of approximately 92.06 acres, 11.94 acres of which are located on the north side of Homestead Road and which are the subject of the Application. Said area contains the existing Lancaster Seed Sales business, consisting of a machine storage building, seed processing building, machine shop, storage building, and silos. The Applicant proposes to construct a 19, 140 sq. ft. expansion with internal connection to the existing seed processing building (to be located behind the existing building). The proposed improvements would encroach the 50 feet rear setback by 23.2 feet and increase impervious coverage to 28% (25% maximum requirement). The expansion is needed to accommodate growth of the business, and connection to the seed processing building is imperative. The improvements cannot be placed in front of the seed processing building due to location of existing grain bins and silos. The Applicant demonstrated through credible evidence no adverse impact to the adjacent properties or neighborhood if the relief is granted, and otherwise satisfied the standards for the requested

The relief shall be subject to the following conditions and safeguards which the Board deems reasonable and necessary to implement the purpose of the Ordinance and the Pennsylvania Municipalities Planning Code:

- 1. The Applicant shall apply for and obtain land development approval for the proposed improvements, subject to any waivers that may be granted. 2. The Applicant shall apply for and obtain all appropriate permits or approvals from Mount Joy Township to construct the proposed structures.
- 3. The Applicant shall comply with all other provisions contained in the Zoning Ordinance for which relief has not been requested or granted. 4. The Applicant and any representative of the Applicant shall comply with and adhere to the testimony and any evidence presented to the Board at the hearing held on March 5, 2025, except to the extent modified by conditions imposed by the Board herein..

ZONING DATA

1. DISTRICT AGRICULTURAL DISTRICT 2. MIN. LOT SIZE 25 ACRES (AGRICULTURAL USE) . 100' @ SETBACK LINE 3. MIN. LOT WIDTH 4. MIN. LOT DEPTH

5. MIN. FRONT YARD .50 FEET FROM ULTIMATE RIGHT OF WAY FOR AGRICULTURAL BUILDINGS 6. MIN. SIDE YARD . 7. MIN. REAR YARD . 8. MAX. BUILDING COVERAGE

10. MAX. BUILDING HEIGHT .. 1. BUILDINGS DEVOTED TO AGRICULTURAL USE

SITE DATA - EXISTING

9. MAX. IMPERVIOUS COVERAGE 25%

1.	LOT AREA	520,081.00 S.F.
2.	NUMBER OF LOTS	1
3.	NUMBER OF ACRES	11.939 ACRES
4.	ZONING	AGRICULTURAL DISTRICT
5.	EXISTING LAND USE	AGRICULTURAL
6.	UNITS OF OCCUPANCY	2 EXISTING
7.	EXISTING BUILDING COVERAGE	46,786 S.F. OR 9.0%
7.	EXISTING LOT COVERAGE	137,565 S.F. OR 26,5%

SHALL BE EXEMPT FROM HEIGHT REGULATIONS

SITE DATA - PROPOSED

1. LOT AREA	520,081.00 S.F.
2. NUMBER OF LOTS	1
3. NUMBER OF ACRES	
4. ZONING	AGRICULTURAL DISTRICT 1 nonresidential
5. EXISTING LAND USE	
6. PROPOSED LAND USE	_AGRICULTURAŁ
7. UNITS OF OCCUPANCY	N/A
8. PROPOSED BUILDING COVERAGE	
9. PROPOSED LOT COVERAGE	154,981 S.F. OR 29.8%
10. PARKING PROVIDED	INDUSTRIAL USES:

WAREHOUSING USES SHALL BE PROVIDED WITH ONE SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT

THERE ARE 3 EMPLOYEES AND THERE ARE 3 PARKING SPACES PROVIDED. THERE ARE NO NEW EMPLOYEES ASSOCIATED WITH THE NEW BUILDING.

1. THE PROPOSED LOT COVERAGE OF 29.8% HAS BEEN APPROVED PER THE APPROVED ZONING

TENTATIVE CONSTRUCTION SCHEDULE

BEGIN SITE WORK	SUMMER 2025
COMPLETE GRADING	SUMMER 2025
COMMENCE BUILDING IMPROVEMENTS	SUMMER 2025
COMPLETE BUILDING AND SITE IMPROVEMENTS	SUMMER 2025

ACT 187 UNDERGROUND UTILITY PROTECTION ACT

D. C. GOHN ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT NO. 287 OF 1974, AS AMENDED BY ACT 187 OF 1996, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THE DRAWINGS:

- 1. PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, D. C. GOHN ASSOCIATES, INC. REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (90) WORKING DAYS BEFORE FINAL DESIGN IS TO BE
- 2. PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, D. C. GOHN ASSOCIATES, INC. HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION
- 3. PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, D. C. GOHN ASSOCIATES, INC. HAS SHOWN UPON THESE DRAWINGS "THE POSITIÓN AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2). THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ON CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT."

OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT D. C. GOHN ASSOCIATES, INC. IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO.

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY D. C. GOHN ASSOCIATES, INC.

DATE: <u>NOVEMBER 1. 2024</u> ONE CALL SYSTEM SERIAL NUMBER: 20243062524-000

REQUESTED MODIFICATIONS:

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

SECTION 119-25 - PRELIMINARY PLAN REVIEW PROCESS 2. SECTION 119-32.(2)- TRAFFIC STUDY

3. SECTION 119-52.J.(3)(A) - IMPROVEMENT OF EXISTING STREETS

STORMWATER MANAGEMENT ORDINANCE:

SECTION 113-32.A.2.(C) - LOADING RATIOS 2. SECTION 113-37.A.(1).(A).[2] - INTERIOR SIDE SLOPES

SCHEDULE OF STORMWATER MANAGEMENT-BMP INSPECTIONS

- 1. THE COMPLETION OF PRELIMINARY SITE PREPARATION, INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY STORMWATER MANAGEMENT FACILITIES.
- THE COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACEMENT OF TOPSOIL, PERMANENT DRAINAGE OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND
- 3. DURING THE CONSTRUCTION OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES AT SUCH TIMES AS SPECIFIED BY THE ENFORCEMENT OFFICER. THIS INCLUDES INSPECTION FOR SUBGRADE PRIOR TO STONE AND PIPE PLACEMENT AND THE
- 4. THE COMPLETION OF PERMANENT STORMWATER MANAGEMENT FACILITIES, INCLUDING ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
- 5. THE COMPLETION OF ANY FINAL GRADING, VEGETATIVE CONTROL MEASURES OR OTHER SITE RESTORATION WORK DONE IN ACCORDANCE WITH THE PERMIT.
- 6. DESCRIPTION OF MAINTENANCE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, THE
- a.REGULAR INSPECTION OF THE SWM FACILITIES. TO ASSURE PROPER IMPLEMENTATION OF BMPS MAINTENANCE AND CARE SWM BMPS SHOULD BE INSPECTED BY A QUALIFIED PERSON WHICH MAY INCLUDE THE LANDOWNER OR THE LANDOWNER'S DESIGNEE (INCLUDING THE MUNICIPALITY FOR DEDICATED AND OWNED FACILITIES), ACCORDING TO THE FOLLOWING MINIMUM FREQUENCIES:
- i. ANNUALLY FOR THE FIRST 5 YEARS.
- ii. ONCE EVERY 3 YEARS THEREAFTER.

iii.DURING OR IMMEDIATELY AFTER THE CESSATION OF A 10-YEAR OR GREATER

- 1. THE APPLICANT MUST SCHEDULE CONSTRUCTION INSPECTIONS FOR ALL STORMWATER MANAGEMENT (SWM) FACILITIES WITH THE TOWNSHIP.
- 2. AT THE COMPLETION OF THE PROJECT, AND AS PREREQUISITE FOR THE RELEASE OF THE FINANCIAL SECURITY. THE APPLICANT SHALL PROVIDE CERTIFICATION OF COMPLETION FROM AN ENGINEER, LANDSCAPE ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT SWM FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS AND APPROVED
- 3. UPON RECEIPT OF THE CERTIFICATE OF COMPLETION, AND PRIOR TO RELEASE OF THE REMAINING FINANCIAL SECURITY THE TOWNSHIP SHALL CONDUCT A FINAL INSPECTION TO CERTIFY COMPLIANCE WITH THE ORDINANCE.
- THE LANDOWNER SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR MAINTENANCE ACTIVITIES; IN THE EVENT OF A CHANGE, NEW INFORMATION WILL BE SUBMITTED TO THE TOWNSHIP WITHIN TEN (10) DAYS OF THE CHANGE.
- 5. THE INDIVIDUAL PROPERTY OWNER IS RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF BOTH TEMPORARY AND PERMANENT STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL FACILITIES. THE RECORDED AGREEMENTS ASSOCIATED WITH THIS PROJECT SPECIFY THE ENTITY RESPONSIBLE FOR THE
- OWNERSHIP AND MAINTENANCE OF THE RESPECTIVE FACILITIES. 6. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO EARTH MOVING ACTIVITIES AND INCLUDE PERSONNEL FROM THE FOLLOWING:
- TOWNSHIP ENGINEER THE PROPERTY OWNER

MOUNT JOY TOWNSHIP

- DC GOHN ASSOCIATES, INC
- THE SITE CONTRACTOR
- THE EXCAVATOR PUBLIC UTILITY PROVIDERS
- 8. ALL IMPROVEMENT REQUIRING INSPECTION SHALL BE REQUESTED/SCHEDULED THROUGH TOWNSHIP OR THE AUTHORITY/AGENCY RESPONSIBLE FOR THE RESPECTIVE IMPROVEMENT BY THE OWNER AND/OR CONTRACTOR. ALL REQUESTS FOR REQUIRED INSPECTIONS BY THE CONTRACTOR ARE TO BE DEEMED AS APPROVED REQUESTS ON
- 9. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN

THE STORMWATER MANAGEMENT FACILITIES TO BE PERMANENT FIXTURES CANNOT BE

ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE TOWNSHIP

BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED,

AND THAT ALL STREET AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE

THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES

PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE

IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT

LIST OF DRAWINGS PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

COVER SHEET	1
OVERALL EXISTING CONDITIONS PLAN	2-3
EXISTING CONDITIONS/DEMO PLAN	4
LAYOUT AND EASEMENT PLAN	5
FINAL GRADING / PCSM PLAN	6
EROSION POTENTIAL ANALYSIS PLAN	7
PLAN NOTES	8
PROFILES	9
PCSM DETAILS	10-12

ALL PLAN SHEETS TO BE RECORDED

LIST OF DRAWINGS **EROSION AND SEDIMENT CONTROL PLANS**

COVER SHEET EXISTING CONDITIONS PLAN_ EROSION AND SEDIMENT CONTROL PLAN EROSION AND SEDIMENT CONTROL DETAILS

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

AT A MEETING ON _____, 20___, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANING COMMISSION FILE BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113. STORMWATER MANAGEMENT.

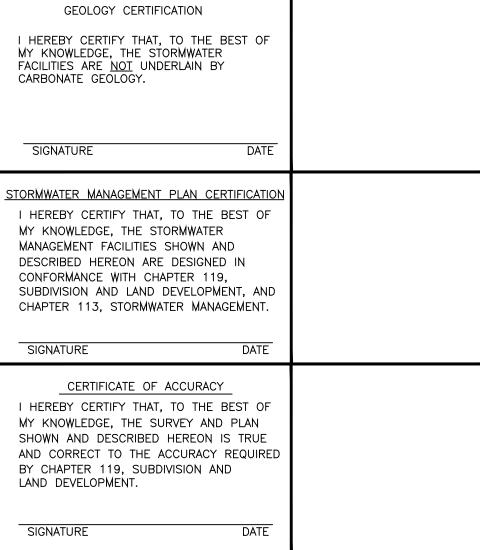
PLANNING COMMISSION FINAL PLAN APPROVAL CERTIFICAT

20___, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND NFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO._____ __, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. ___ OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

* SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE



L.C.P.C. #

SHE

DRAWING #: CG-4053 SHEET #: 1 OF 12

S

COMPANY: COMCAST CABLE

PHONE: 1-800-266-2278

AND D. C. GOHN ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE 187 OF DECEMBER 19. 1996.

DAY AND DATE ABOVE WRITTEN

WITNESS MY HAND AND SEAL THE

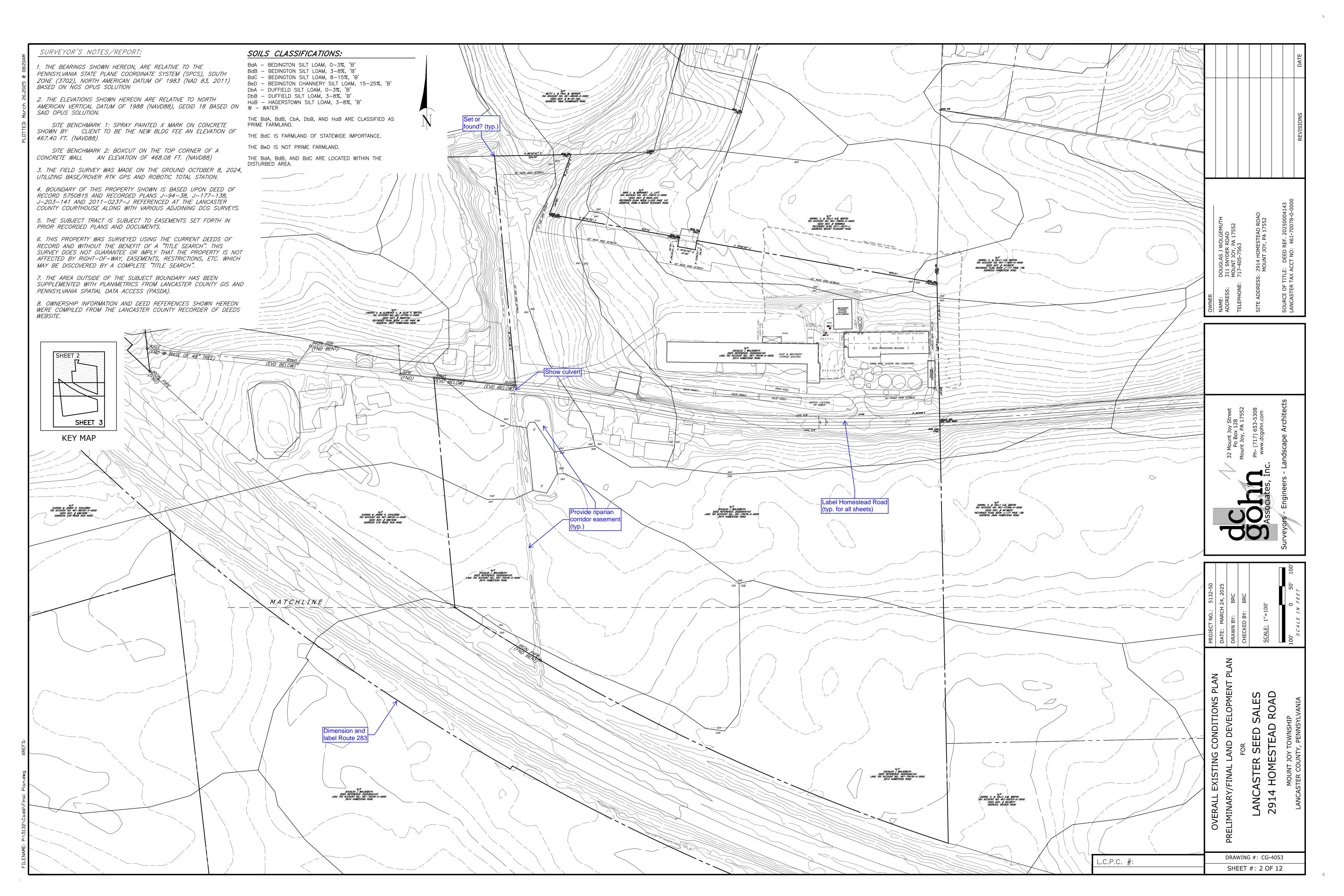
HEREBY DEDICATED TO THE PUBLIC USE.

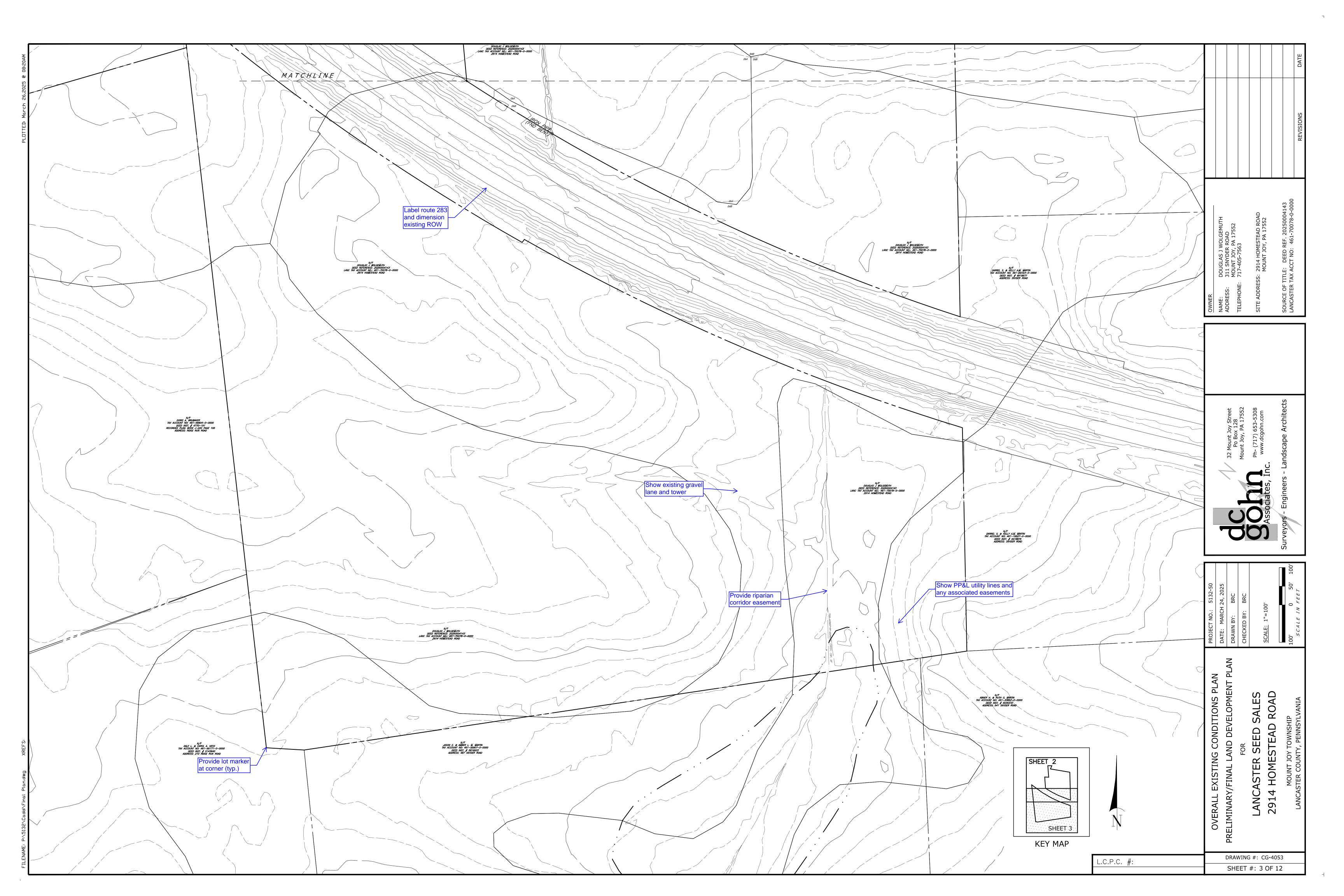
COMMONWEALTH OF PENNSYLVANIA

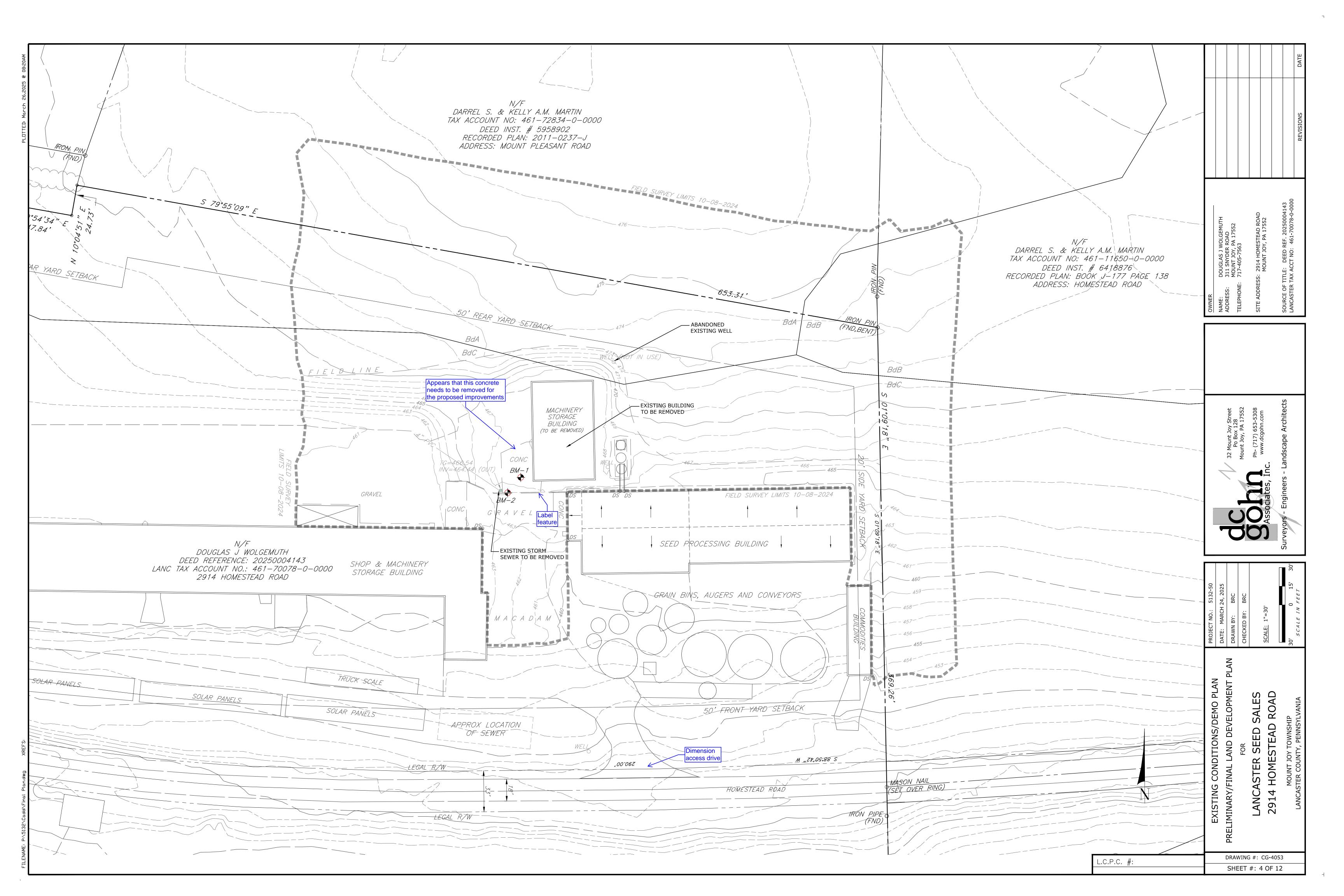
ON THIS THE ____ DAY OF __

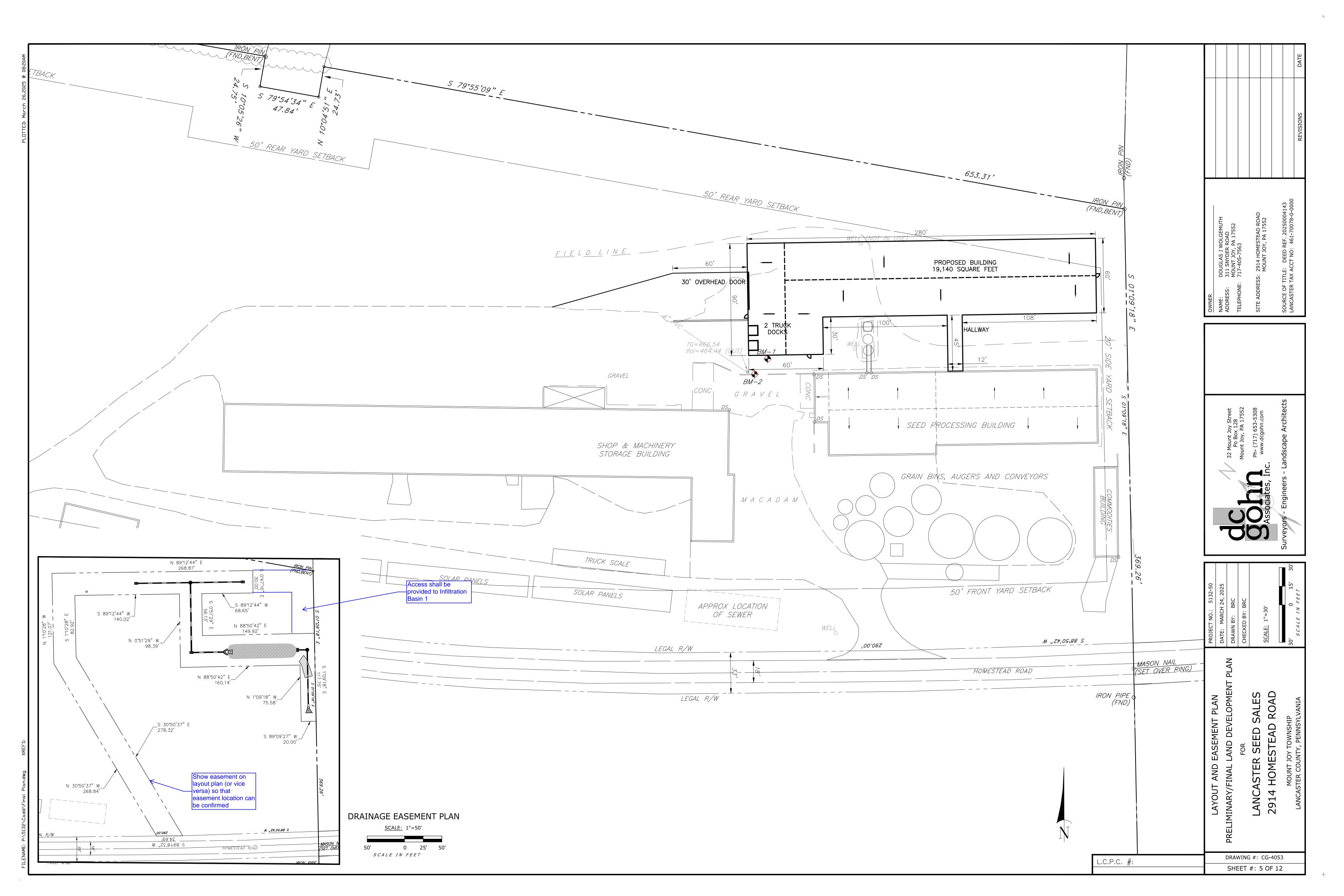
COUNTY OF LANCASTER

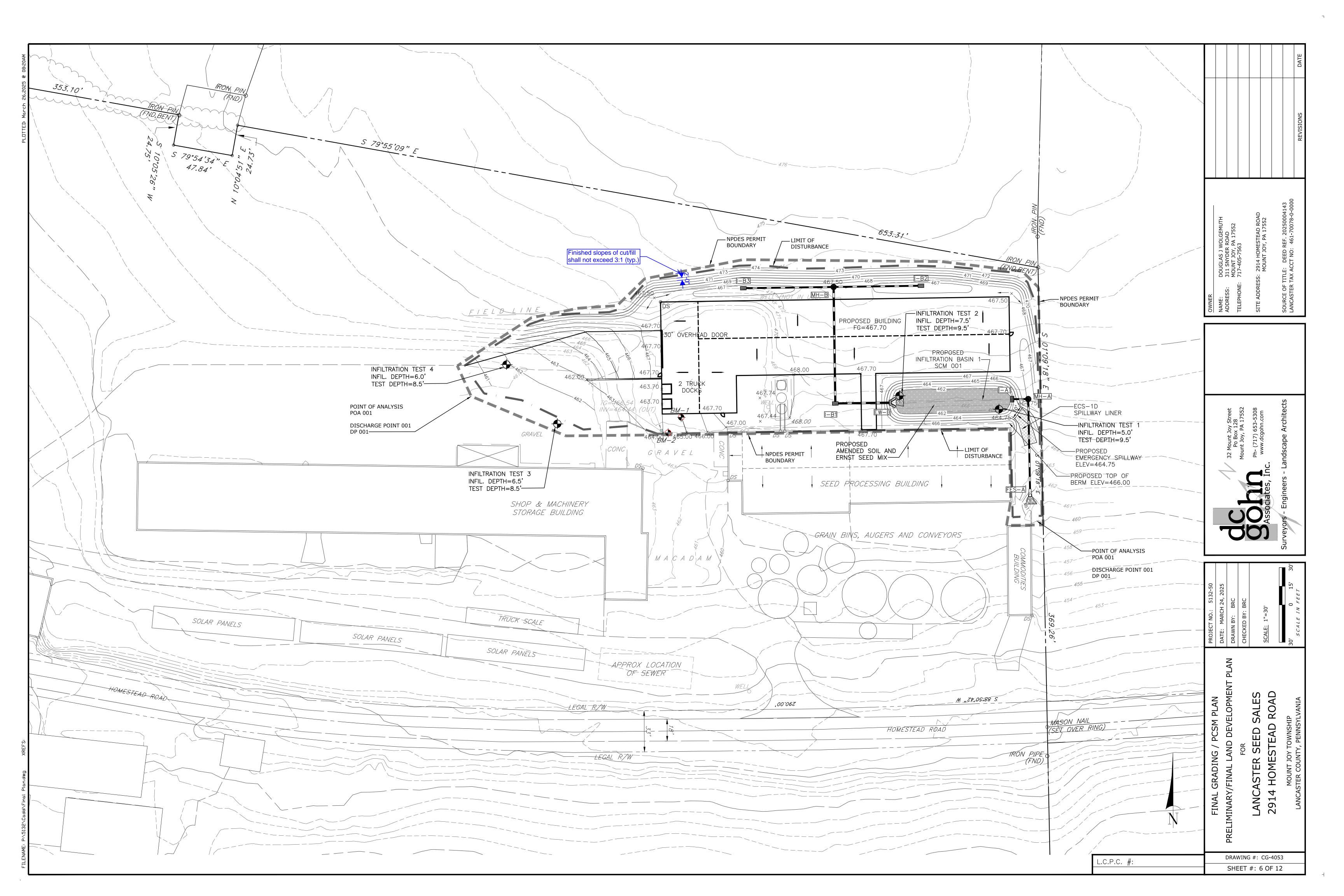
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- THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING EXPANSION, ACCESS DRIVES, STORMWATER MANAGEMENT FACILITIES AND OTHER SITE IMPROVEMENTS.
- 2. THE ACCESS DRIVES ARE PRIVATE.
- 3. THE SITE IS SERVED BY PRIVATE ON LOT SEWER AND PRIVATE ON LOT WATER.
- THIS PLAN SHOWS THE LOCATION OF RIGHT-OF-WAYS AND CARTWAYS FOR STREETS, ACCESS DRIVES, AND SERVICE STREETS AS WELL AS VISIBLE UTILITIES AND STORM WATER MANAGEMENT FACILITIES WITHIN 200 FEET OF THE SITE WHICH WERE OBSERVED BY PERSONNEL OF D. C. GOHN ASSOCIATES, INC. AS OF THE DATE OF THIS PLAN. EXACT LOCATIONS AND ROUTING OF UNDERGROUND FACILITIES MAY VARY AND MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. ANY CHANGES TO THE PROPOSED UTILITY (IE. STORMWATER MANAGEMENT) DESIGN DUE TO THE VERIFICATION OF UNDERGROUND FACILITIES SHALL BE PROVIDED TO THE TOWNSHIP FOR REVIEW AND APPROVAL.
- 5. ALL UNDERGROUND UTILITIES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE LOCATIONS ARE APPROXIMATE AND MUST BE VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION, OR BLASTING. D. C. GOHN ASSOCIATES. INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. THE CONTRACTOR SHALL REVIEW THE PROJECT SITE PRIOR TO INITIATING WORK, AND IN ACCORDANCE WITH ACT 287/172, PRIOR TO THE START OF CONSTRUCTION SHALL REQUEST FROM EACH USER'S OFFICE THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, BEING "INFORMATION AS TO THE POSITION AND TYPE OF USER'S LINES", BASED ON THE INFORMATION CURRENTLY IN THE USER'S POSSESSION
- NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREAS OF ANY EASEMENTS THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT. ACCESS TO EASEMENTS INDICATED AS STORMWATER EASEMENTS APPLY TO LOCAL TOWNSHIP OFFICIALS OR THEIR
- . NO STRUCTURES, LANDSCAPING, OR GRADING MAY BE CONSTRUCTED, INSTALLED, OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF THE MOTORIST.
- 8. CONTRACTOR TO CHECK AND VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO
- 9. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF D. C. GOHN ASSOCIATES, INC. THE TOWNSHIP AND OWNER SHALL APPROVE ANY REVISIONS OR SUBSTITUTIONS.
- 10. AS-BUILT PLANS SHOWING ALL SITE IMPROVEMENTS, AND ANY CHANGES MADE TO APPROVED DESIGN DURING CONSTRUCTION, SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL
- 11. ANY PART OR PORTION OF A SITE IN ANY DISTRICT WHICH IS NOT USED FOR BUILDING OR OTHER STRUCTURES SHALL BE PLANTED WITH AN ALL SEASON GROUND COVER. IT SHALL BE MAINTAINED TO PROVIDE
- AN ATTRACTIVE APPEARANCE AND ALL NON-SURVIVING PLANTS SHALL BE REPLACED PROMPTLY. 12. SHOULD THE PLAN BE APPROVED BY THE BOARD OF SUPERVISORS, THE APPLICANT SHALL SUBMIT THREE PAPER SETS (24"X36") AS SPECIFIED BY THE RECORDER OF DEEDS TO THE TOWNSHIP. THE APPLICANT SHALL ALSO PROVIDE THE TOWNSHIP AND TOWNSHIP ENGINEER WITH DIGITAL COPIES OF THE PLANS AFTER RECORDING, ALL SHEETS OF THIS PLAN SET SHALL BE FILED WITH THE RECORDER OF DEEDS.
- 13. ALL FINAL PLANS MUST CONFORM WITH ALL CONDITIONS OF FINAL APPROVAL AND MUST BE RECORDED WITHIN THE TIME PERIOD ESTABLISHED IN THE MUNICIPAL PLANNING CODE
- 14. THERE IS A RECORDED STORMWATER OPERATION AND MAINTENANCE (0&M) AGREEMENT THAT INDICATES THE LOCATION AND RESPONSIBILITY FOR MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES
- 15. A SET OF STORMWATER MANAGEMENT SITE PLANS APPROVED BY THE TOWNSHIP SHALL BE ON FILE AT THE DEVELOPMENT SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY. PERIODIC INSPECTIONS MAY BE MADE BY THE TOWNSHIP OR DESIGNEE DURING CONSTRUCTION.
- 16. THERE IS A WETLAND REPORT PREPARED BY VORTEX ENVIRONMENTAL. THERE ARE NO WETLANDS IN THE
- 17. THERE IS AN INFILTRATION TESTING REPORT PREPARED BY LANCASTER GEOLOGICAL SOLUTIONS LLC WHICH IS PART OF THIS PROJECT.

MUNICIPAL NOTES AND REQUIREMENTS:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWNSHIP ORDINANCES OR SPECIFICATIONS AS
- ALL CONSTRUCTION STANDARDS AND MATERIALS NOT SPECIFIED BY LOCAL MUNICIPAL REGULATIONS SHALL BE IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, PUBLICATION 408, LATEST EDITION AND STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72, LATEST EDITION, UNLESS CERTAIN LOCAL REGULATIONS APPLY.
- MAINTENANCE OF ALL DRAINAGE FACILITIES, AND DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. THE MUNICIPALITY RESERVES THE RIGHT TO ENTER ANY EASEMENT TO MONITOR, INSPECT, OR REPAIR FACILITIES LOCATED WITHIN. ALL COSTS INVOLVED IN MAINTENANCE BY THE MUNICIPALITY SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS. ALL FACILITIES MUST REMAIN AS DESIGNED AND SHOWN ON THESE PLANS.
- THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITIES AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE FACILITIES.
- 5. IF SUBSURFACE WATER IS ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION, THE SITE ENGINEER AND OWNER SHALL BE NOTIFIED AND THE INSTALLATION OF UNDER DRAINS SHOULD BE CONSIDERED FOR PARKING
- UPON COMPLETION AND FINAL STABILIZATION OF ALL STORM WATER STORAGE AND CONTROL FACILITIES, AN AS-BUILT SURVEY AND SUPPORTING CALCULATIONS SHALL BE PREPARED AND SUBMITTED TO THE MUNICIPALITY FOR REVIEW AND ACCEPTANCE.
- UPON COMPLETION OF THE PLAN IMPROVEMENTS AND PRIOR TO THE RELEASE OF FINANCIAL SECURITY, THE APPLICANT SHALL SUBMIT AN AS-BUILT PLAN TO THE TOWNSHIP. THE AS-BUILT PLAN MUST SHOW THE FINAL DESIGN SPECIFICATIONS FOR ALL STORMWATER MANAGEMENT FACILITIES AND BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.

AS-BUILT TO BE REVIEWED BY TOWNSHIP ENGINEER.

(1) THE AS-BUILT PLAN SHALL BE REVIEWED BY THE TOWNSHIP ENGINEER TO VERIFY THE PLAN INCLUDES ALL OF THE STORMWATER MANAGEMENT FACILITIES ON THE SUBJECT PROPERTY AND THE FACILITIES ARE SHOWN AT THE CORRECT LOCATION.

(2) THE TOWNSHIP ENGINEER SHALL EITHER APPROVE THE AS-BUILT PLAN OR IDENTIFY CORRECTIONS

(3) IF THE TOWNSHIP ENGINEER IDENTIFIES CORRECTIONS REQUIRED TO THE AS-BUILT PLAN, THE APPLICANT SHALL SUBMIT A REVISED AS-BUILT PLAN TO THE TOWNSHIP ADDRESSING THE CORRECTIONS.

THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS. RECORDING FEES WILL BE THE RESPONSIBILITY OF THE APPLICANT/DEVELOPER. UPON COMPLETION OF RECORDING, A DIGITAL COPY OF THE AS-BUILT PLAN, THE SWM SITE PLAN SIGNED AND SEALED WITH THE RECORDING INFORMATION AND CALCULATIONS, WAIVER REQUESTS AND OTHER

FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER. THE APPLICANT SHALL SUBMIT

DOCUMENTS SHALL BE SUBMITTED TO THE TOWNSHIP ALONG WITH ONE PAPER COPY OF THE RECORDED PLAN. THE DIGITAL INVENTORY SHALL BE IN AN ELECTRONIC FORMAT ACCEPTABLE TO THE TOWNSHIP

(2) ALL COORDINATES AS DEPICTED ON THE PLAN SHALL BE BASED ON THE PA SOUTH ZONE STATE PLAN COORDINATE SYSTEM (NAD83 FOR HORIZONTAL AND NAVD88 FOR VERTICAL).

CONTRACTOR NOTES:

- 1. AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE COVERED BY IMPERVIOUS SURFACES OR LANDSCAPING SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS AS LISTED WITHIN THE SEDIMENTATION AND EROSION CONTROL PLAN FOR THIS SITE
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION SHOWN ON THIS PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES WHICH ARISE BEFORE AND DURING CONSTRUCTION SHALL BE CONVEYED TO THE OFFICERS OF D. C. GOHN ASSOCIATES, INC. AND NO CONSTRUCTION SHALL COMMENCE OR CONTINUE UNTIL THE DISCREPANCY IS VERIFIED AND REMEDIED. D. C. GOHN ASSOCIATES, INC. WILL ASSUME NO RESPONSIBILITY OR LIABILITY FOR THE CONTRACTOR'S FAILURE TO PERFORM
- 3. THE CONTRACTOR SHALL MAINTAIN A SAFE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND THE EXISTING ROAD RIGHTS-OF-WAY WHILE ENTERING AND LEAVING THE SITE. SIGNS, MARKINGS, AND FLAG PERSONNEL SHALL BE REQUIRED AS NECESSARY TO ACHIEVE SITE SAFETY.
- 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWNSHIP, COUNTY, STATE, ETC. AS REQUIRED AND AS IT RELATES TO CONSTRUCTION ACTIVITY BEING UNDERTAKEN PRIOR TO COMMENCING CONSTRUCTION ON THE PROJECT SITE OR
- 5. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CURB RAMPS, SIDEWALK AND DRIVEWAY APRONS TO THE LATEST ADA OR PENNDOT STANDARDS AT THE TIME OF

- 1. THIS PLAN IS NOT TO BE CONSTRUED AS AN ENVIRONMENTAL AUDIT/ASSESSMENT PLAN. THIS PLAN MAKES NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED AS TO THE ENVIRONMENTAL CONDITIONS OF THE PREMISES HEREON DESCRIBED. I.E., DETECTION OF SURFACE OR SUBSURFACE CONTAMINANTS AS DEFINED IN D.E.R. TITLE 25-PA CODES 71, 101, 271, 273, 275, 27, 279, 281, 283, AND 285.
- 2. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF THE PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF D. C. GOHN ASSOCIATES, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL OF D. C. GOHN ASSOCIATES, INC.
- 3. CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE RESULTING FROM HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- 4. CONTRACTOR IS TO BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING, AND SHORING.
- 5. CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL, TELECOMMUNICATIONS, GAS, AND OTHER UTILITY PROVIDER SERVICE AS APPLICABLE.
- 6. D. C. GOHN ASSOCIATES, INC. MAKES NO REPRESENTATION AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT SITE AREA (I.E., THE EXISTENCE OR DEPTH OF ROCK, WATER TABLE, SOIL CONDITIONS, UTILITIES, ETC.).

Provide recording info assuming this is an

STORM DRAINAGE NOTES:

- MAINTENANCE OF ALL INFILTRATION BEDS. STORMWATER BMP'S. AND STRUCTURES WITHIN EASEMENTS SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE INDIVIDUAL LOT OWNER. THE LOCAL MUNICIPAL OFFICIALS RESERVE THE PERPETUAL RIGHT TO ENTER ANY EASEMENT TO MONITOR. INSPECT. OR REPAIR FACILITIES LOCATED WITHIN. ALL COSTS INVOLVED IN MAINTENANCE BY THE LOCAL MUNICIPAL OFFICIALS SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS. ALL FACILITIES MUST REMAIN AS DESIGNED AND SHOWN ON THE PLAN.
- 2. ALL STORM WATER MANAGEMENT FACILITIES SHALL BE KEPT FREE OF STRUCTURES, FILL, AND OTHER
- NOTHING EXCEPT EROSION CONTROL AND/OR STORM WATER MANAGEMENT FACILITIES SHALL BE PLACED, PLANTED, OR PUT WITHIN THE AREA OF A STORM WATER MANAGEMENT EASEMENT. NOTHING SHALL BE PLACED. PLANTED. SET. OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
- 4. THE PROPERTY OWNER, SUCCESSOR, AND ASSIGNS SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORM WATER MANAGEMENT FACILITIES TO ENSURE THAT THEY ARE KEPT IN GOOD WORKING ORDER IN ACCORDANCE WITH THE APPROVED O&M PLAN.
- 5. CONSTRUCTION OF STORM WATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE TOWNSHIP AND LANCASTER COUNTY CONSERVATION DISTRICT STANDARDS AND
- 6. EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONS OF THE FACILITY OR EASEMENT IN ANY WAY.
- 7. STORM WATER MANAGEMENT FOR THE PROJECT IS PROVIDED IN ACCORDANCE WITH THE EQUIREMENTS OF THE TOWNSHIP STORM WATER MANAGEMENT ORDINANCE.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GRADING THE SITE TO CONFORM TO THE GENERAL DRAINAGE PATTERNS SHOWN ON THE APPROVED PLANS. GRADING TO PROVIDE SHEET FLOW OF STORM WATER RUNOFF SHALL BE ENCOURAGED AND GRADING WHICH PROMOTES CONCENTRATION OF RUNOFF SHALL BE AVOIDED EXCEPT AS CALLED FOR ON THE APPROVED PLANS.
- 9. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER STORM WATER MANAGEMENT FACILITIES AND/OR BMP FACILITIES WHICH MAY HAVE BEEN INSTALLED ON A PROPERTY UNLESS A STORM WATER MANAGEMENT PERMIT HAS BEEN OBTAINED TO PERMIT SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL LANDSCAPING OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY, A BMP FACILITY OR WITHIN A DRAINAGE
- 10. ANY DRAINAGE EASEMENT PROHIBITS EXCAVATION, THE PLACING OF FILL OR STRUCTURE AND ANY ALTERATION THAT MAY ADVERSELY AFFECT THE FLOW OF STORM WATER WITHIN ANY PORTION OF THE
- 11. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORM WATER BMP UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM WITHOUT THE WRITTEN APPROVAL OF
- 12. THE TOWNSHIP IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.
- 13. IF SUBSURFACE WATER IS ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION, THE SITE ENGINEER AND OWNER SHALL BE NOTIFIED AND THE INSTALLATION OF UNDER DRAINS SHOULD BE CONSIDERED
- 14. IF SINKHOLES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP AND DC GOHN IMMEDIATELY.
- 15. THE MAINTENANCE OF ALL STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE FACILITY.
- 16. AN AS-BUILT PLAN MEETING ALL OF THE REQUIREMENTS OF THE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE SUBMITTED PRIOR TO FINAL APPROVAL OF THE INSTALLED IMPROVEMENTS.
- 17. AN EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE FOR LANCASTER SEED SALES, PREPARED BY DC GOHN ASSOCIATES IS PART OF THIS PROJECT.
- 18. A POST CONSTRUCTION STORMWATER MANAGEMENT REPORT AND ASSOCIATED DRAINAGE MAPS FOR LANCASTER SEED SALES, PREPARED BY DC GOHN ASSOCIATES IS PART OF THIS PROJECT.
- 19. WATERTIGHT JOINTS SHALL BE PROVIDED WHERE PIPE SECTIONS ARE JOINED.
- 20. THE INFILTRATION BASIN 1 IS DESIGNED FOR 17,400 SQUARE FEET OF IMPERVIOUS AREA.

ENVIRONMENTAL DUE DILIGENCE AND CLEAN FILL MATERIAL

- 1. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
- INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL."
- 3. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
- 4. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. IT IS ANTICIPATED THAT THE PROJECT SITE WILL CONTAIN BUILDING WASTE SUCH AS EXCESS BUILDING MATERIALS, CONCRETE, CARDBOARD, AND OTHER MATERIALS.

SOILS LIMITATIONS AND RESOLUTIONS

- 1. THE RESOLUTION FOR THE ON-SITE SOILS IS TO PROVIDE THE PROPER COMPACTION IN FILL AREAS. EROSION IS SLIGHT AND WILL BE CONTROLLED BY MATTING AND PERMANENT SEEDING. VEGETATED SWALES WILL BE CONSTRUCTED WITH A MINIMUM 6" TOPSOIL, IMMEDIATELY SEEDED AND STABILIZED TO PREVENT EROSION AND ENCOURAGE GERMINATION. ONCE THE SEDIMENT TRAP IS CONVERTED TO A PERMANENT STORMWATER BASIN, PLACE 6" TOPSOIL OVER DISTURBED AREAS, PERMANENTLY SEED AND STABILIZE IMMEDIATELY.
- 2. IN ALL AREAS TO RECEIVE FILL, THE EXISTING OVER-BURDEN SHALL BE STRIPPED OF TOPSOIL, ORGANIC MATERIALS, EXISTING PAVEMENTS, AND OTHER UNSUITABLE MATERIALS. IN AREAS WHERE UNSUITABLE MATERIAL SHALL BE REMOVED, STRUCTURAL FILL SHALL BE PLACED IN HORIZONTAL LOOSE LIFTS, NOT EXCEEDING 8 INCHES, AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY FOR THE MATERIAL AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D-1557). THE MOISTURE CONTENT OF THE MATERIAL SHALL BE WITHIN 2 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT FOR THE MATERIAL AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST. WHERE HAND-OPERATED COMPACTION EQUIPMENT IS USED, THE MAXIMUM LOOSE LIFT THICKNESS SHALL BE 4 INCHES. IN GREEN OR NON-STRUCTURAL FILL AREAS, THE NATIVE ON SITE SOILS SHALL BE COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AND WITHIN ±4% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST
- 3. IN AREAS WHERE WEATHERED BEDROCK IS EXPOSED OR PRESENT AT THE BOTTOM OF AN INFILTRATION AREA OR STRUCTURE, A NON-WOVEN GEOTEXTILE FABRIC (60Z/SY, MIN.) SHALL BE PLACED ACCORDING TO THE MANUFACTURE'S SPECIFICATIONS ABOVE THE WEATHERED ROCK AND PRIOR TO THE PLACEMENT OF ANY OVERLYING AGGREGATE, COVER SOILS, OR TOPSOIL. IF SIGNIFICANT VOID SPACES OR VOID SPACES LARGER THAN 0.50 INCHES ARE PRESENT, AASHTO #57 CLEAN WASHED STONE, OR OTHER RELATIVELY HIGH PERMEABILITY WELL-GRADED STONE APPROVED BY THE ENGINEER, SHALL BE PLACED AND COMPACTED ACROSS THE AREA PRIOR TO
- THE PLACEMENT OF THE GEOTEXTILE FILTER FABRIC 4. IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION, THE GROUNDWATER MUST BE PUMPED INTO A PUMPED WATER FILTER BAG PRIOR TO BEING DISCHARGED. REFER TO THE PUMPED WATER FILTER BAG DETAIL
- 5. CARE SHOULD BE TAKEN TO MINIMIZE EXCESSIVE ROCK DISTURBANCE TO THE EXTENT PRACTICAL. IF ROCK REMOVAL IS REQUIRED BELOW STORMWATER MANAGEMENT FACILITIES, ROADS OR FOUNDATIONS, ROCK SHAL BE REMOVED TO A DEPTH OF AT LEAST TWO FEET BELOW THE FINAL DESIGN GRADES, AND THE SUBGRADE SHALL BE RESTORED WITH APPROVED STRUCTURAL FILL OR COMPACTED AGGREGATE. IF THE BEDROCK SURFACE IS HIGHLY FRACTURED OR IF VOID SPACES ARE ENCOUNTERED. THE AREA SHALL BE STABILIZED WITH A GEOTEXTILE FABRIC AND/OR AGGREGATE FILTER PRIOR TO BACKFILLING SO AS TO RESTRICT SOIL MIGRATION INTO THE UNDERLYING BEDROCK. SPECIFIC MITIGATION MEASURES SHOULD BE DESIGNED AND IMPLEMENTED UNDER THE OVERSIGHT AND DIRECTION OF A QUALIFIED PROFESSIONAL DURING CONSTRUCTION.

CRITICAL STAGES OF THE PCSM BMP INSTALLATION

CONTRACTOR TO COORDINATE WITH DC GOHN BEFORE CONSTRUCTION AND INSTALLATION OF THE INFILTRATION BASIN IN ORDER TO HAVE THE DESIGN CONSULTANT ON SITE TO OBSERVE THE INSTALLATION AND CONSTRUCTION OF THE PROPOSED BMP'S. ALL BMP'S TO BE INSPECTED BY A LICENSED PROFESSIONAL.

- INFILTRATION BASIN:
- . OBSERVE INSTALLATION OF OUTLET CONTROL STRUCTURE. . OBSERVE SUBGRADE OF INFILTRATION BASIN PRIOR TO
- PLACEMENT OF SOIL AMENDED AREAS. 3. OBSERVE SOIL AMENDED AREA SOIL MIXTURE PRIOR TO
- PLACEMENT. . OBSERVE INSTALLATION OF SOIL AMENDED AREA. 5. REVIEW SEED MIX.



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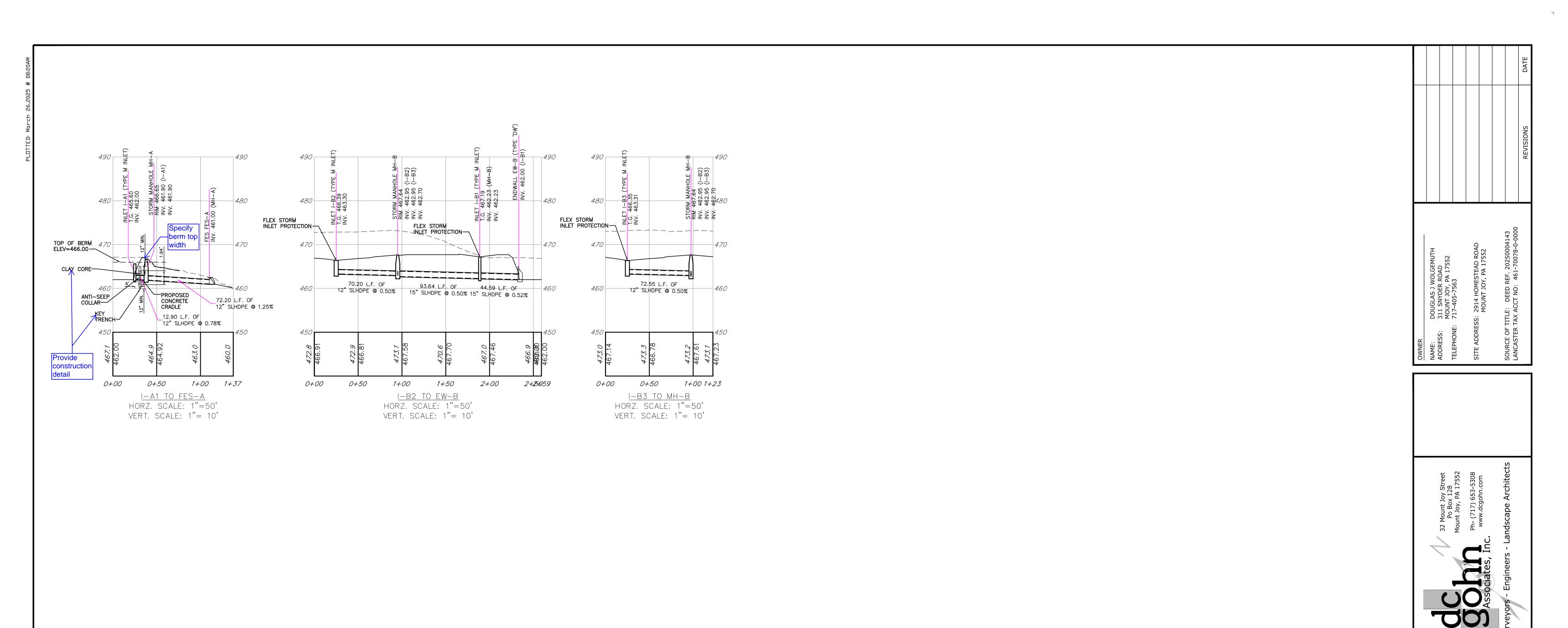
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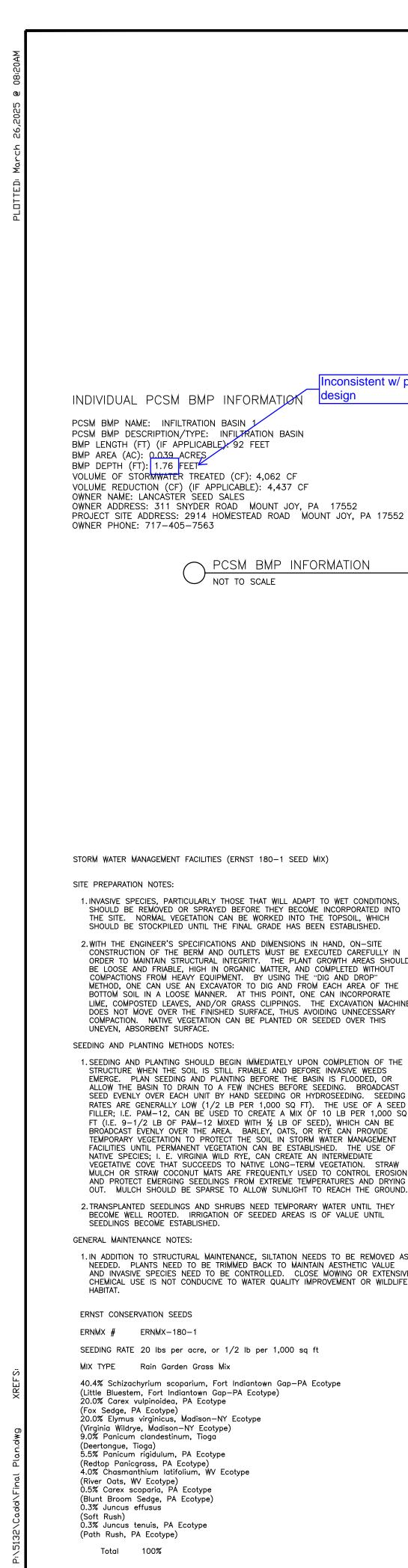
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STORM PROFILES
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD DRAWING #: CG-4053

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INSPECTION OPERATION AND **FREQUENCY** MAINTENANCE PROCEDURE TO ASSURE PROPER OPERATION AND STRUCTURAL STABILITY, INFILTRATION TWICE PER THE OWNER SHALL INSPECT THE INFILTRATION BASIN AT LEAST ONCE EACH APRIL, AT LEAST ONCE EACH OCTOBER, AND WITHIN 48 HOURS AFTER EVERY RAINFALL EVENT EXCEEDING 1 INCH OF PRECIPITATION IN 24 HOURS. INSPECT FOR EROSION PROBLEMS, VEGETATION DAMAGE, SEDIMENT AND DEBRIS ACCUMULATION, AND LITTER. REMOVE ACCUMULATIONS OF SEDIMENT >3 INCHES IN DEPTH AND IMMEDIATELY STABILIZE DISTURBED AREAS. REMOVE SEDIMENT DURING PERIODS WHEN RUTTING WILL BE PRUNE VEGETATION AND WEED GARDENS TO ENSURE SAFETY, AESTHETICS, PROPER OPERATION, WEED AND INVASIVE/NOXIOUS VEGETATION SUPPRESSION. REMOVE INVASIVE/NOXIOUS PLANTS AND IMMEDIATELY STABILIZE DISTURBED AREAS. REMOVE LITTER, DEBRIS, AND DETRITUS A WRITTEN REPORT IS TO BE COMPLETED WHICH DOCUMENTS EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES INSPECTION TO INLET FILTER OCCUR EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH FOLLOWING ANY (INLETS I-B1, SEDIMENT AND DEBRIS. OR AS DIRECTED. RAIN EVENT I-B2, AND I-B3) REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE. • DISPOSE OF SEDIMENT OR DEBRIS.

, PCSM OPERATION AND MAINTENANCE NOTES

nfiltration rain Garden Construction Notes: 1. Limit Compaction over the rain garden area. Maintain orange construction fencing to the extent practical. Basin (typ.) EXCAVATE RAIN GARDEN TO 12" BELOW PROPOSED BOTTOM ELEVATION OF AMENDED SOIL AS NOTED ON THE PLANS. EXCAVATION OF THE RAIN GARDENS SHOULD BE DONE WITH EQUIPMENT OUTSIDE OF THE RAIN GARDEN AREA TO THE EXTENT PRACTICAL. SCARIFY EXCAVATED BOTTOM SUBGRADE OF RAIN GARDEN A MINIMUM 12" WITH EQUIPMENT OUTSIDE OF THE RAIN GARDENS AREAS. INSTALL UNDERDRAIN AND ASSOCIATED STONE TRENCH. INSTALL AMENDED SOIL IN 6-INCH MAXIMUM LIFTS AND LIGHTLY COMPACT (TAMP WITH BACKHOE BUCKET OR BY HAND). KEEP EQUIPMENT MOVEMENT OVER AMENDED SOIL TO A MINIMUM AND DO NOT OVERCOMPACT. PLANT ERNST SEED MIX AS NOTED ON THE PLANS PER MANUFACTURER'S SPECIFICATIONS. GENERAL RAIN GARDEN NOTES:

1. THE AMENDED SOIL SHALL BE A UNIFORM MIXTURE CONSISTING OF 20% SAND, 60% TOPSOIL, AND 20% COMPOST. THE COMPOST SHALL BE

1. THE AMENDED SOIL SHALL BE A UNIFORM MIXTURE CONSISTING OF 20% SAND, 60% TOPSOIL, AND 20% COMPOST. THE COMPOST SHALL BE APPROVED LANDSCAPING COMPOST COMPRISED OF NATURAL MATERIALS AND WITH AN ORGANIC MATTER CONTENT OF 35% TO 65% AS DETERMINED BY THE LOSS ON IGNITION METHOD. THE TOPSOIL SHALL BE FRIABLE LOAMY SOIL AS CLASSIFIED BY THE USDA, FREE OF WEEDS, HERBICIDES, PETROLEUM-BASED MATERIALS, ANY OTHER DELETERIOUS MATERIALS, ROCKS, AND DEBRIS. THE TOPSOIL SHALL HAVE A PH OF BETWEEN 5.5 AND 8.0. 100% OF THE TOPSOIL SHALL PASS THROUGH A 3/4" SCREEN. CONTRACTOR TO PROVIDE AN ENGINEERED PROPRIETARY AMENDED SOILS MIX FROM A PRE-MIXED VALID SOURCE COMPLETE WITH CERTIFIED SPECIFICATIONS AND TESTING THAT VERIFIES THE CLAIMED VOID RATIOS TO VERIFY THE CLAIMED STORAGE VOLUME CAPACITY OF THE AMENDED SOILS. IN THE EVENT THAT THE ON-SITE TOPSOIL IS USED, CONTRACTOR TO PROVIDE SPECIFICATIONS FOR THE SAND AND COMPOST FOR REVIEW BY DC GOHN ASSOCIATES. THE ON-SITE MIX SHALL BE TESTED THAT VERIFIES THE VOID RATIOS FOR VOLUME STORAGE CAPACITY OF THE AMENDED SOILS. 3. IN THE EVENT THAT GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION IN THE AREA OF THE PROPOSED RAIN GARDENS, CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER AND DC GOHN PRIOR TO PROCEEDING WITH CONSTRUCTION. A REVISED BMP DESIGN WILL NEED TO BE REVIEWED BY THE TOWNSHIP PRIOR TO COMPLETING CONSTRUCTION OF THE BMP. 4. NOTATION FOR INFILTRATION TESTING FOR THE BOTTOM SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 SHOULD BE PROVIDED CLEARLY STATING THAT THE TESTING IS TO TAKE PLACE PRIOR TO ANY BACKFILLING OF AMENDED SOILS OR PERFORATED UNDERDRAIN PIPE. INFILTRATION TESTING SHALL BE PERFORMED AT THE SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 PRIOR TO PLACEMENT OF FILTRATION MEDIA. THE INFILTRATION TEST RESULTS SHALL BE PROVIDED TO DC GONN ASSOCIATES TO VERIFY THE RATES WITH THE STORMWATER DESIGN. IF THE INFILTRATION TESTING RESULTS ARE LESS THAN THE ORIGINAL INFILTRATION TESTING RESULTS PRIOR TO CONSTRUCTION THE AMENDED SOILS AREAS OF RAIN GARDENS 1 WILL NEED TO INCLUDE ADDITIONAL AMENDED SOILS MEDIA TILLED INTO THE BOTTOM OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 AND/OR RESIZE RAIN GARDENS 1 IF THE INFILTRATION RATES POST CONSTRUCTION CANNOT BE OBTAINED. 5. THE EMBANKMENT FILL MATERIAL SHALL BE TAKEN FROM AN APPROPRIATE BORROW AREA WHICH SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN SIX INCHES, FROZEN OR OTHER OBJECTIONABLE MATERIALS. Specify side slopes for embankment ******** UNCOMPACTED SUBGRADE INFILTRATION BASIN DETAIL Provide 24" o

amended soil

STORM WATER MANAGEMENT FACILITIES (ERNST 180-1 SEED MIX)

1. INVASIVE SPECIES, PARTICULARLY THOSE THAT WILL ADAPT TO WET CONDITIONS, SHOULD BE REMOVED OR SPRAYED BEFORE THEY BECOME INCORPORATED INTO THE SITE. NORMAL VEGETATION CAN BE WORKED INTO THE TOPSOIL, WHICH SHOULD BE STOCKPILED UNTIL THE FINAL GRADE HAS BEEN ESTABLISHED.

Inconsistent w/ proposed

PCSM BMP #: 1

ACRES TREATED: 0.75 AC

LIFECYLE (YEARS): PERPETUITY

IMPERVIOUS AREA TREATED (AC): 0.40 AC

RECEIVING WATERBODY: TRIB 07927 OF DONEGAL CREEK, CWF, MF

NPDES PERMIT NUMBER: -----

2. WITH THE ENGINEER'S SPECIFICATIONS AND DIMENSIONS IN HAND, ON—SITE CONSTRUCTION OF THE BERM AND OUTLETS MUST BE EXECUTED CAREFULLY IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY. THE PLANT GROWTH AREAS SHOULD BE LOOSE AND FRIABLE, HIGH IN ORGANIC MATTER, AND COMPLETED WITHOUT COMPACTIONS FROM HEAVY EQUIPMENT. BY USING THE "DIG AND DROP" METHOD, ONE CAN USE AN EXCAVATOR TO DIG AND FROM EACH AREA OF THE BOTTOM SOIL IN A LOOSE MANNER. AT THIS POINT, ONE CAN INCORPORATE LIME, COMPOSTED LEAVES, AND/OR GRASS CLIPPINGS. THE EXCAVATION MACHINE DOES NOT MOVE OVER THE FINISHED SURFACE, THUS AVOIDING UNNECESSARY COMPACTION. NATIVE VEGETATION CAN BE PLANTED OR SEEDED OVER THIS

STRUCTURE WHEN THE SOIL IS STILL FRIABLE AND BEFORE INVASIVE WEEDS EMERGE. PLAN SEEDING AND PLANTING BEFORE THE BASIN IS FLOODED, OR ALLOW THE BASIN TO DRAIN TO A FEW INCHES BEFORE SEEDING. BROADCAST SEED EVENLY OVER EACH UNIT BY HAND SEEDING OR HYDROSEEDING. SEEDING RATES ARE GENERALLY LOW (1/2 LB PER 1,000 SQ FT). THE USE OF A SEED FILLER; I.E. PAM-12, CAN BE USED TO CREATE A MIX OF 10 LB PER 1,000 SQ FT (I.E. 9-1/2 LB OF PAM-12 MIXED WITH 1/2 LB OF SEED), WHICH CAN BE BROADCAST EVENLY OVER THE AREA. BARLEY, OATS, OR RYE CAN PROVIDE TEMPORARY VEGETATION TO PROTECT THE SOIL IN STORM WATER MANAGEMENT FACILITIES UNTIL PERMANENT VEGETATION CAN BE ESTABLISHED. THE USE OF NATIVE SPECIES; I. E. VIRGINIA WILD RYE, CAN CREATE AN INTERMEDIATE VEGETATIVE COVE THAT SUCCEEDS TO NATIVE LONG-TERM VEGETATION. STRAW MULCH OR STRAW COCONUT MATS ARE FREQUENTLY USED TO CONTROL EROSION) PROTECT EMERGING SEEDLINGS FROM EXTREME TEMPERATURES AND DRYING OUT. MULCH SHOULD BE SPARSE TO ALLOW SUNLIGHT TO REACH THE GROUND.

2. TRANSPLANTED SEEDLINGS AND SHRUBS NEED TEMPORARY WATER UNTIL THEY BECOME WELL ROOTED. IRRIGATION OF SEEDED AREAS IS OF VALUE UNTIL

1. IN ADDITION TO STRUCTURAL MAINTENANCE, SILTATION NEEDS TO BE REMOVED AS NEEDED. PLANTS NEED TO BE TRIMMED BACK TO MAINTAIN AESTHETIC VALUE AND INVASIVE SPECIES NEED TO BE CONTROLLED. CLOSE MOWING OR EXTENSIVE CHEMICAL USE IS NOT CONDUCIVE TO WATER QUALITY IMPROVEMENT OR WILDLIFE

40.4% Schizachyrium scoparium, Fort Indiantown Gap—PA Ecotype

20.0% Elymus virginicus, Madison-NY Ecotype

(Redtop Panicgrass, PA Ecotype) 4.0% Chasmanthium latifolium, WV Ecotype

ERNST SEED MIX NOTES NOT TO SCALE

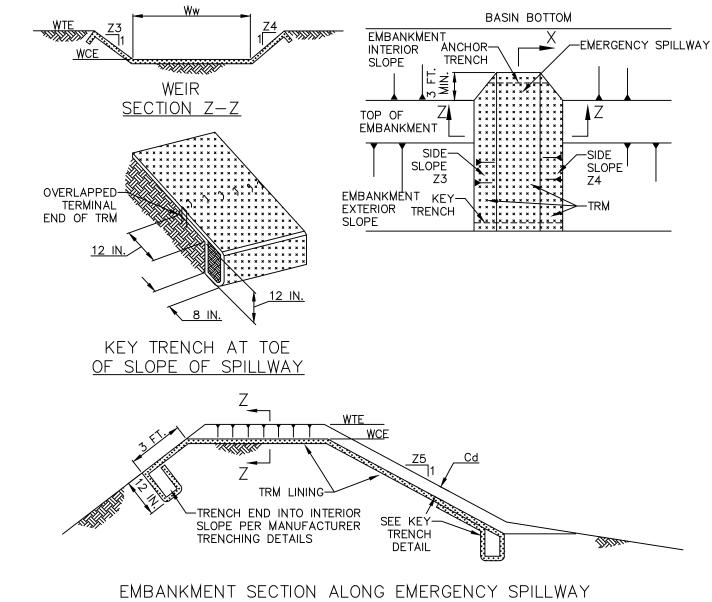
PROVIDE-WATERTIGHT CONNECTION 12 IN. THICK (MIN.) CAST-IN-PLACE OR PRECAST CONCRETE COLLAR (MIN. 2000 PSI)

BASIN FIRST | SPACING | |COLLARS | COLLAR | (FT) INFILTRATION BASIN 1 | 12 | 35.3 | 1 | 6 | N/A

NOTES:

ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT. COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

CONCRETE ANTI-SEEP COLLAR DETAIL NOT TO SCALE

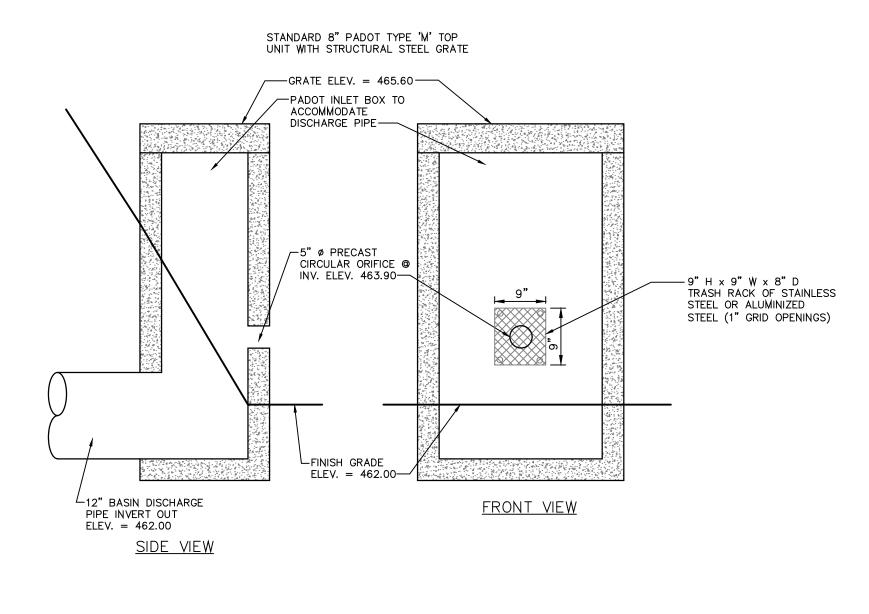


SECTION X-X DEPTH WIDTH ELEV ELEV TRM WTE WCE TYPE (FT) | (FT) (FT) INFILTRATION BASIN ' 2 | 466.00 | 464.75 | ECS-1D

2. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

1. HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM

EMERGENCY SPILLWAY DETAIL NOT TO SCALE

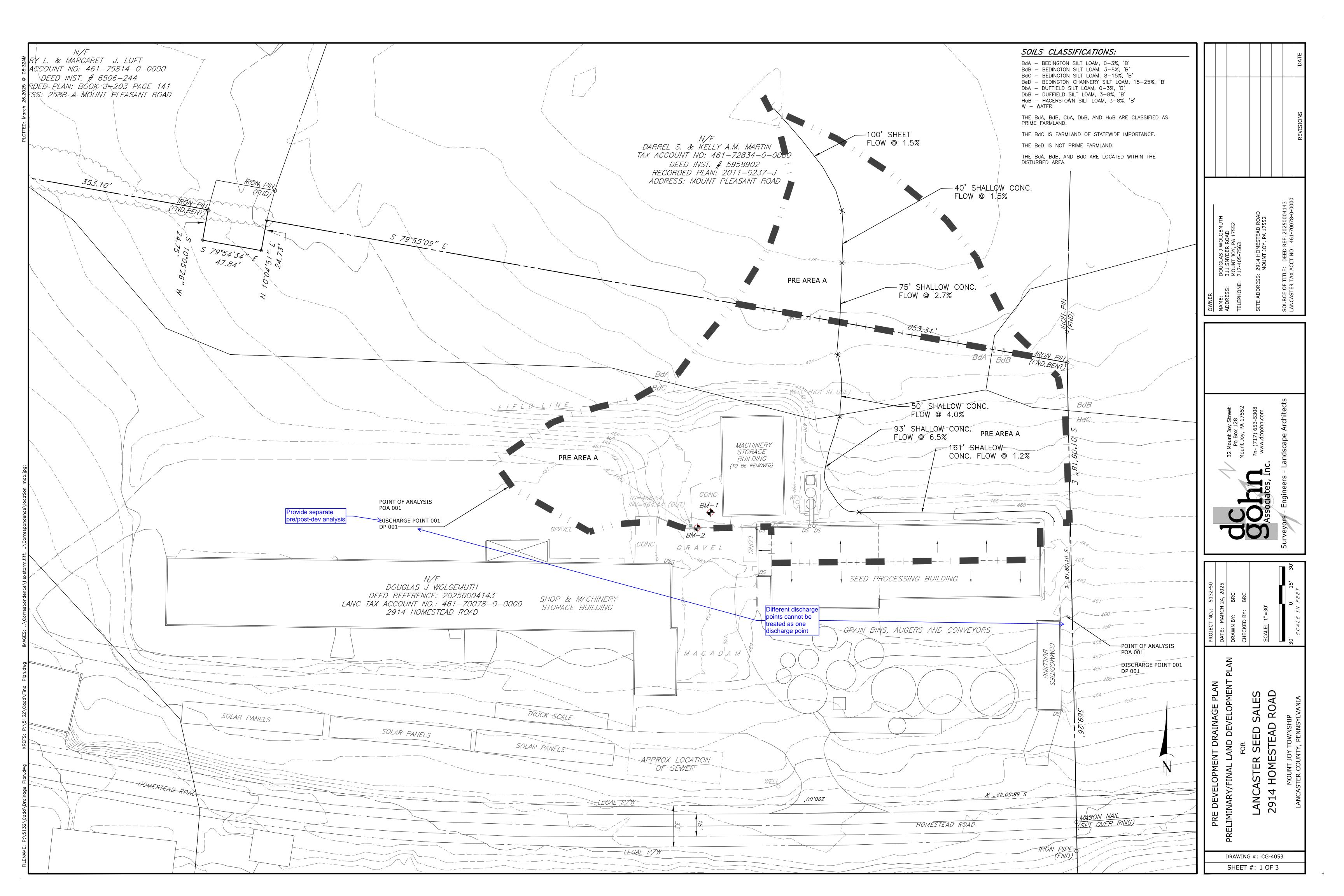


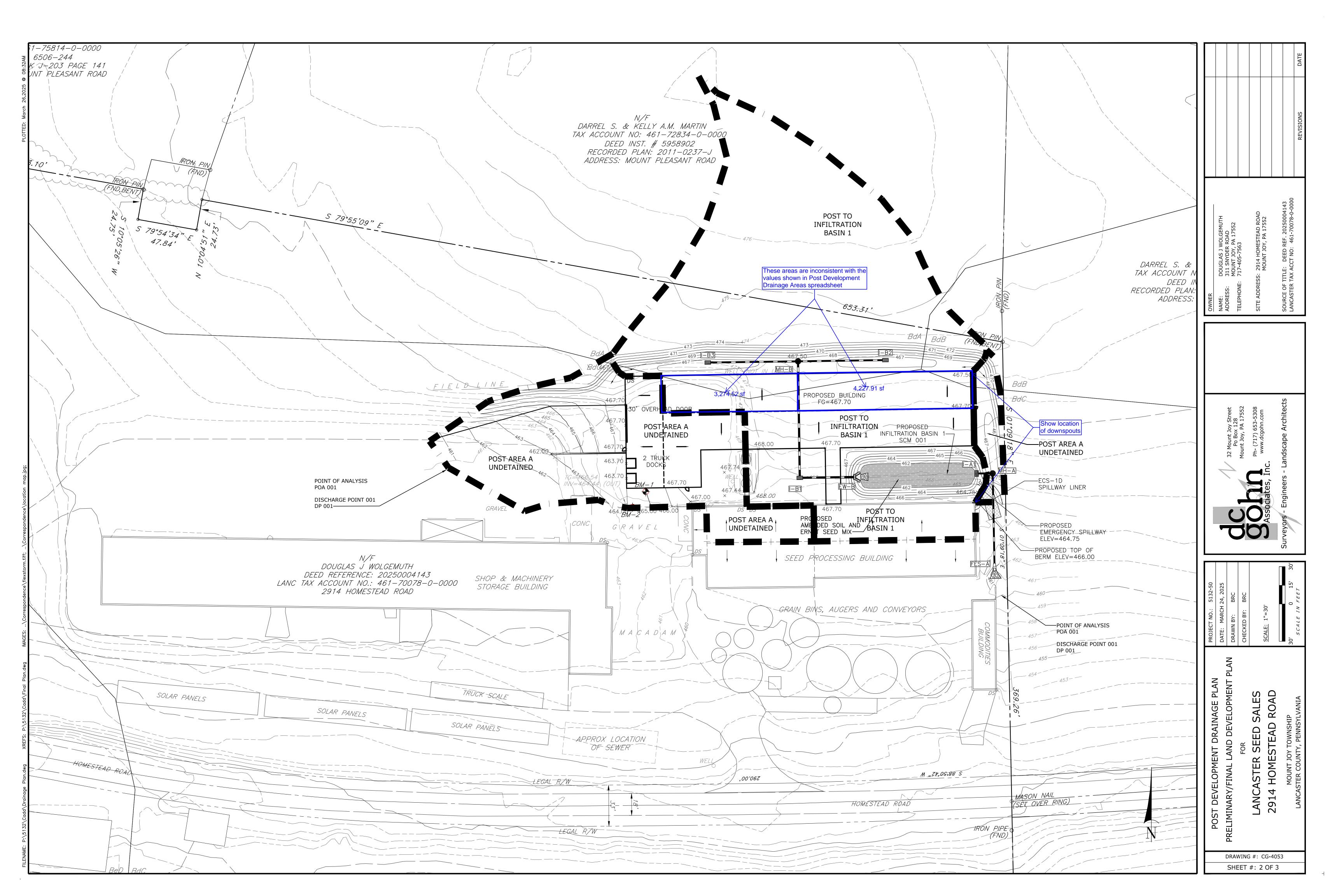
INFILTRATION BASIN 1 OUTLET STRUCTURE (I-A1)

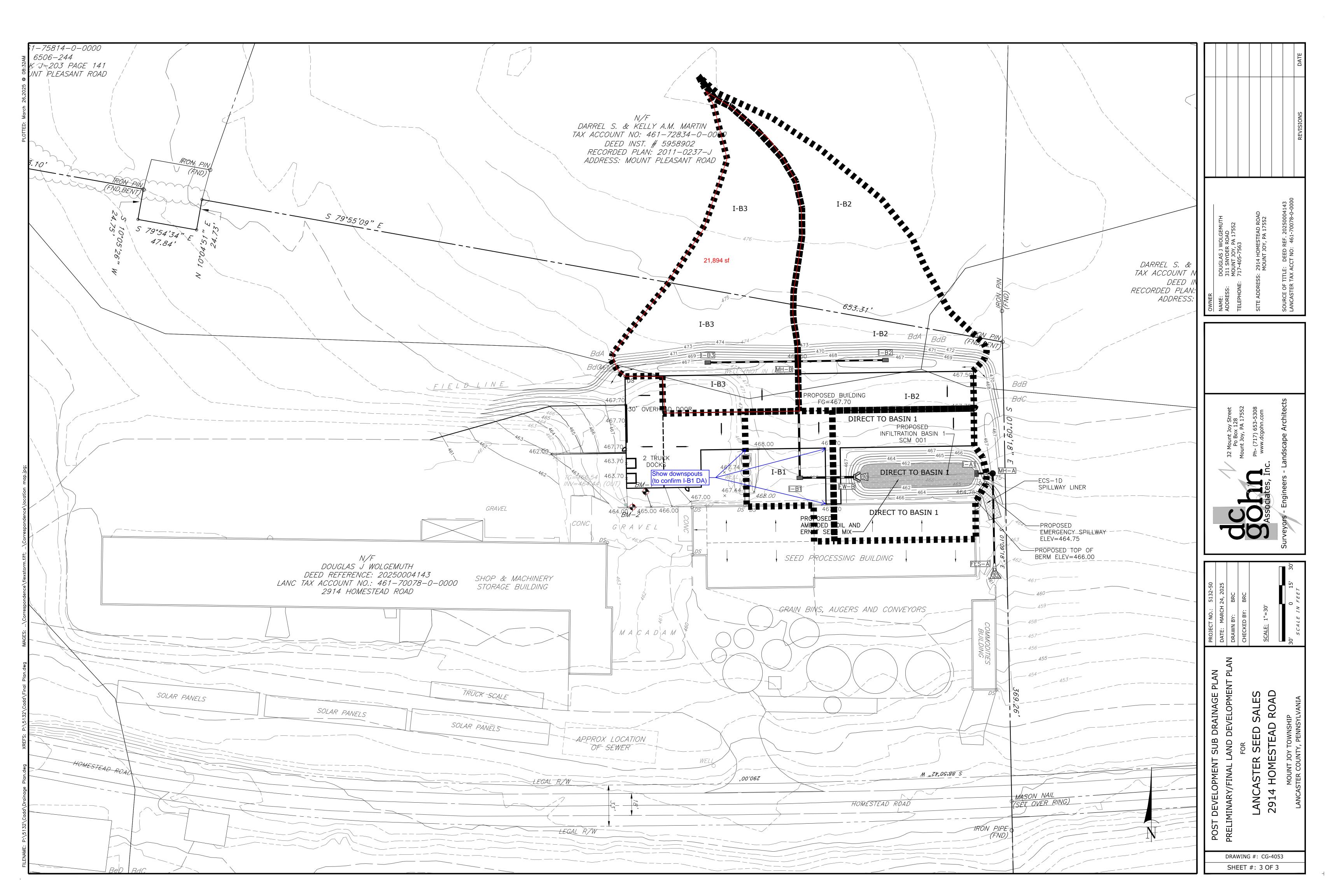
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is conducive to infiltration. The test pit locations and depths are shown on the Final Grading / PCSM Plan.

There is one area analyzed (Points of Analysis) for the net volume increase in the 2 year storm. The Point of Analysis and associated volumes are indicated below:

Point of Analysis 001:

- The disturbed area is associated with Pre Area A, Post Area A Undetained and Infiltration Basin 1. The area drains to Tributary 07927 of Donegal Creek.
- The existing volume is 3,175 cubic feet and the proposed volume is 7,238 cubic feet which results in a net increase of 4,062 cubic feet. Infiltration Basin 1 is designed to manage the 2 year net increase in volume.

Point of Analysis 001:

The two year volume net increase is 4,062 cubic feet. The volume to the infiltration basin is 4,437 cubic feet and the infiltration basin infiltrates 4,437 cubic feet at elevation 463.90.

Test Pit 1 and Test Pit 2 are associated with the infiltration basin. The infiltration testing indicated an infiltration rate and infiltration eds the 10 inches per hour maximum as noted in the PA BMP Manual. The excessive infiltration rates are a result of the underlying weathered rock at each location. Proposed Rain Garden 1 is designed to manage the two year net increase in volume. The infiltration credit is 4,437 cubic feet. The two year volume increase is 4,062 cubic feet. Based on the spreadsheets, the infiltration basin meets the water quality component and the 2 year volume requirement. Please refer to Appendix E for the volume analysis and PADEP worksheets.

Infiltration Basin Loading Ratios:

The loading ratios for the Infiltration Basin are listed in the chart below. Since this site is not in a Karst area, the PA BMP Manual notes that the loading ratio is 8:1 for total drainage area to infiltration area and 5:1 for impervious area to infiltration area. The infiltration area is based on the bottom elevation of the infiltration basin.

Will roof be 0-2% pitch (essentially, flat)?

If not, updated "C" value to reflect roof pitch

Post Development Drainage Areas

2/21/2025

Offsite should be winter/poor conditions

			1	$\overline{}$										
								On Site				Off	Site	
	Total Area, SF	Total Area, acres	Wtd. 'C'	T _C , min.	lm	pervious,	sf.	Gras	s, sf.	Cultivat s	ed Land, f.	Cultivated Land		
					0-2%	2-6%	6+%	2-6%	6%+	2-6%	6%+	2-6%	6%+	
Soil Type					В	В	В	В	В	В	В	√B	В	
C' Value	_				0.91	0.92	0.93	0.19	0.26	0.20	0.28	0.20	0.28	
Post Area							•		·		<u></u>			
I-B1	5,804	0.13	0.548	5.00	2,884		· · ·	2,920						
I-B2	22,964	0.53	0.312	5.00	3,380			997	3.084	2,778		12,725		
1-B3	21,845	0.50	0.336	5.00	3,986			680	2,491	4.958		9.730		
Direct Infiltration Basin 1	12,159	0.28	0.642	5.00	7,150				5,009					
Total to Infiltration Basin 1	62,772	1.44	0.406	5.00	17,400	Q	0	4,597	10,584	7,736	0	22,455	0	
							Incor	sistent	w/ area					
Post Area			- . ·				= show	n on the	e plans					
Post Area A Undetained	25,841	0.59	0.714	5.00	8,147	6,449	3.270		7.975	-				

Totals 0.80 ac... 0.65 acres shown in General Information DEP worksheet

Project Files:

Outlet Structure Configuration: P:\5132\Correspondence\Drainage\Infiltration Basin 1.OSC Discharge/Elevation Curve: P:\5132\Correspondence\Drainage\Infiltration Basin 1.EO

Outlet Structure Configuration for: Infiltration Basin 1 Outlet Structure

Stage 1: Circular Orifice

Invert Elevation = 463.9 feet Diameter = 0.42 feet Discharge Coefficient = 0.6

Stage 2: Outfall Culvert

Invert Elevation = 462 feet
Pipe Diameter = 1.25 feet
Pipe Length = 12.9 feet
Pipe Slope = 0.0078 ft/ft
Manning n = 0.013
Entrance Condition = SEH
Number of Barrels = 1

Inconsistent w/ pipe diameter shown on plans (12")

Basin Rating Curve

Basin Water Elevation	Basin Outflow (cfs)	Riser Box Water Elevation	Tailwater Elevation (ft)	Outfall Culvert Control	Outfall Culvert Override?
462.00	0.00	462.00	N/A	INLET	N/A
462.10	0.00	462.00	N/A	INLET	N/A
462.20	0.00	462.00	N/A	INLET	N/A
462.30	0.00	462.00	N/A	INLET	N/A
462.40	0.00	462.00	N/A	INLET	N/A
462.50	0.00	462.00	N/A	INLET	N/A
462.60	0.00	462.00	N/A	INLET	N/A
462.70	0.00	462.00	N/A	INLET	N/A
462.80	0.00	462.00	N/A	INLET	N/A
462.90	0.00	462.00	N/A	INLET	N/A
463.00	0.00	462.00	N/A	INLET	N/A
463.10	0.00	462.00	N/A	INLET	N/A
463.20	0.00	462.00	N/A	INLET	N/A
463.30	0.00	462.00	N/A	INLET	N/A
463.40	0.00	462.00	N/A	INLET	N/A
463.50	0.00	462.00	N/A	INLET	N/A
463.60	0.00	462.00	N/A	INLET	N/A
463.70	0.00	462.00	N/A	INLET	N/A
463.80	0.00	462.00	N/A	INLET	N/A
463.90	0.00	462.00	N/A	INLET	N/A
464.00	0.02	462.00	N/A	INLET	NO
464.10	0.08	462.00	N/A	INLET	NO
464.20	0.16	462.19	N/A	INLET	NO
464.30	0.27	462.25	N/A	INLET	NO
464.40	0.36	462.29	N/A	INLET	NO
464.50	0.42	462.32	N/A	INLET	NO
464.60	0.47	462.34	N/A	INLET	NO
464.70	0.51	462.35	N/A	INLET	NO
464.80	0.55	462.37	N/A	INLET	NO
464.90	0.59	462.38	N/A	INLET	NO
465.00	0.63	462.39	N/A	INLET	NO
465.10	0.66	462.40	N/A	INLET	NO
465.20	0.70	462.41	N/A	INLET	NO
465.30	0.73	462.42	N/A	INLET	NO
465.40	0.76	462.43	N/A	INLET	NO
465.50	0.79	462.44	N/A	INLET	NO
465.60	0.81	462.45	N/A	INLET	NO

Storm Sewer Tabulation

tatio	n	Len	Drng A	rea	Rnoff coeff	Area x	C	Тс			Total flow	Cap full	Vel	Pipe		Invert El	ev	HGL Ele	v	Grnd / R	im Elev	Line ID
ine	То		Incr	Total	Coen	Incr	Total	Inlet	Syst	(1)	HOW			Size	Slope	Dn	Up	Dn	Up	Dn	Up	
	Line	(ft)	(ac)	(ac)	(C)			(min)	(min)	(in/hr)	(cfs)	(cfs)	(ft/s)	(in)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	
	End	44.586	n 13	1.16	0.55	0.07	0.41	5.0	6.1	8.7	3.52	4.64	2.95	15	0.52	462.00	462.23	463.25	463.36	464.25	467.19	L D4 TO ENG
		93.636		1.03	0.00	0.00	0.33	0.0	5.5	8.9	2.97	4.57	2.56	15	0.52	462.23	462.70	463.57	463.75	467.19	467.19	I-B1 TO EW-B
		70.203		0.53	0.31	0.16	0.16	5.0	5.0	9.0	1.49	2.51	2.33	12	0.50	462.95	463.30	463.86	463.96	467.64	466.39	I-B2 TO MH-E
		72.550		0.50	0.34	0.17	0.17	5.0	5.0	9.0	1.54	2.51	2.41	12	0.50	462.95	463.31	463.86	463.97	467.64		
	2	12.550	0.50	0.50	0.54	0.17	0.17	3.0	3.0	9.0	1,54	2.51	2.41	12	0.50	402.95	463.31	403.00	403.97	467.04	466.35	1-B3 TO MH-E
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				De	sign f	or 10	0-yr s	ince														
				cor	nveys	runo	off to peak															
					e con			_	Щ.					<u> </u>								
W-E	3								\			Number of lines: 4 Run Date: 2/21/2025										

Inlet Report

ine No	Inlet ID	Q = CIA	Q carry	Q capt	Q Byp	Junc Type	Curb I	nlet	Gra	ite Inlet				G	utter					Inlet		Вур
		(cfs)	(cfs)	(cfs)	(cfs)		Ht (in)	L (ft)	Area (sqft)	L (ft)	W (ft)	So (ft/ft)	W (ft)	Sw (ft/ft)	Sx (ft/ft)	n	Depth (ft)	Spread (ft)	Depth (ft)	Spread (ft)	Depr (in)	No.
1	I-B1	0.65	0.00	0.65	0.00	DrGrt	0.0	0.00	5.30	4.00	2.00	Sag	2.00	0.020	0.020	0.000	0.07	8.85	0.07	8.85	0.0	Off
2	МН-В	0.00	0.00	0.00	0.00	мн	0.0	0.00	0.00	0.00	0.00	Sag	0.00	0.000	0.000	0.000	0.00	0.00	0.00	0.00	0.0	Off
3	I-B2	1.49	0.00	1.49	0.00	DrGrt	0.0	0.00	5.30	4.00	2.00	Sag	2.00	0.020	0.020	0.000	0.12	13.93	0.12	13.93	0.0	Off
4	I-B3	1.54	0.00	1.54	0.00	DrGrt	0.0	0.00	5.30	4.00	2.00	Sag	2.00	0.020	0.020	0.000	0.12	14.20	0.12	14.20	0.0	Off
:																						
				Desig	gn for	100-y	r sind	ce								:						
						inoff t												j				
EW-B				<u>.</u>										Number	of lines:	4			un Date:	2/21/202	5	
_	S: Inlet N-Values =	0.016: 1-4:		144.00 /	(Imlat *		20\ 4 0 0			7			l						un Date.	21211202	_	

Channel Design Data

Project Name: Lancaster Seed Sales

Project Number: 5132-50

Prepared By: BRC Date: 2/25/2025
Checked By: BRC Date:

Bare Earth (Table 4.7a)	Infiltration	on Basin 1 Spillw	ay		·				
Silt Loam, noncolloidal		Type of Channel	Trapezoidal	▼		Type of Chan	nel	Trapezoidal I	₩.
<u>Design Criteria</u>	Bare Earth	Lining ECS-1D ♥	Grass (Vel)	Grass (Cap)	Bare Earth	Lining ECS-1D	▼	Grass (Vel)	Grass (Cap)
Installation Depth,ft	1.00	1.00	1.00	1.00	V				
Manning's 'n' Value	0.020	0.025	0.070	0.070	· \	1.25			
Bottom Slope, ft/ft	0.030	0.030	0.030	0.030		1.20			
Right Slope, _H: 1V	2.0	2.0	2.0	2.0					
Left Slope, _H: 1V	2.0	2.0	2.0	2.0					
Top Width (Parabolic Only) Bottom Width (Other), ft	10.0	10.0	10.0	10.0					
Flow, cfs	4.79	4.79	4.79	4.79					
Length of Channel, ft	25	25	25	25					
Allowable Shear, lb/ft²		1.5		i					
Bottom Width:Depth Ratio	72	63	34	34					
12:1 Maximum		Stable:							
Lining Quantity, yd ²		40.2							
Design Comments	100 year	inflow to basin							
Design Capacity									
Flow Depth,ft	0.14	0.16	0.29	0.29					
Top Width,ft	10.55		11.17	11.17					
Area,ft ²	1.42	1.63	3.09	3.09					
Wetted Perimeter,ft	10.62	10.71	11.31	11.31					
Hydraulic Radius,ft	0.13		0.27	0.27					
Hydraulic Depth,ft	0.13		0.28	0.28					
Froude Number	1.62	1.32	0.52	0.52					
Velocity, ft/s	3.37	2.94	1.55	1.55					
Velocity Head, ft	0.18	0.13	0.04	0.04					
Total Energy, ft	0.31	0.29	0.33	0.33					
Critical Slope	0.011	0.017	0.111	0.111					
Required Freeboard, ft			0.50	0.50					
Design Depth, ft	0.6	0.7	8.0	0.8					
Maximum Capacity	400	400	20	20					
Flow, ft ³ /s	136		39	39 1.00					
Flow Depth, ft	1.00		1.00						
Area, ft ²	12.00	12.00	12.00	12.00					
Top Width, ft	14.00		14.00	14.00					
Wetted Perimeter, ft	14.47		14.47	14.47					
Hydraulic Radius, ft	0.83		0.83	0.83					
Hydraulic Depth, ft	0.86		0.86 0.57	0.86 0.57					
Froude Number	2.00		3.25	3.25					
Velocity, ft/s	11.36 2.00		0.16	0.16					
Velocity Head, ft Total Energy, ft	3.00		1.16	1.16					
rotai ⊏neigy, it	3.00	2,20	1.10	1.10		-			



General Information

roject Name:	Lancaster Seed Sales	Application Type:	Mount Joy Township Minor / Major Amendment	
County:	Lancaster	Municipality:		
Project Type:	Agricultural Operation	New Project		
Area: (In Watershed)	1.89 acres	Total Earth Disturba	ance: 1.23 acres	

Point of Analysis (POA) No.	Drainage Area (DA) (acres)	Earth Disturbance in DA (acres)	Existing Impervious in DA (acres)	Proposed Impervious in DA (acres)	Receiving Waters	Ch. 93 Class	Structural SCM(s)
001	1.89	1.23	0.45	0.65	Tributary 07927 of Donegal Creek	CWF, MF	Yes
Undetained Areas	1.09	1.25	0.45	0.65	CIEEK	CVV F, IVIF	162

Totals:

1.89

1.23

0.45

No undetained area shown here; however, undetained DAs shown on DA maps

PROJECT SITE MEETS SMALL SITE EXCEPTION - RATE WORKSH Inconsistent w/ sum of total impervious area in "Total to Infiltration Basin 1" & "Post Area A Undetained" (35,266 sf/ 0.80 ac) shown in "Post Development Drainage Area" worksheet

LAW OFFICES

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> 1536 W MAIN STREET EPHRATA, PA 17522 717-733-2313

659 E WILLOW STREET ELIZABETHTOWN, PA 17022 717-361-8524

April 2, 2025

VIA EMAIL

Kimberly Kaufman, Township Manager Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022

Re: Preliminary/Final Land Development Plan for Lancaster Seed Sales

Our File No. 10221-1

Dear Kim:

I have been provided with the Preliminary/Final Land Development Plan for Lancaster Seed Sales (the "Plan") and supporting information. The Plan relates to a tract of land on the north and south side of Homestead Road identified as 2914 Homestead Road (the "Property"). The portion of the Property on the north side of Homestead Road is presently developed with buildings and other structures related to the Lancaster Seed Sales operation. The Plan indicates the Zoning Hearing Board granted approval at a hearing on March 5, 2025, to construct a 19,140 square feet building which will be connected to the existing seed processing building. This letter will set forth comments on the Plan.

The Plan must be updated to correctly identify the landowners and the Lancaster County Tax Account Number. By a Deed dated February 3, 2025, Landowners J. Douglas Wolgemuth and Sharilynn D. Wolgemuth conveyed to themselves two tracts of land and included the language recognized by the Lancaster County Assessment Office to join the two tracts into a single tract. The Plan includes the recording reference of this Deed, Document No. 20250004143, but it identifies Douglas J. Wolgemuth as the sole landowner.

Site Note 3 of the Plan indicates that the Property is served by on-site sewer and water. Sheet 2 of the Plan shows an approximate location of an existing sewer system. There is no indication of a tested area for a replacement location. Will there be a replacement location determined?

There must be a Storm Water Management Agreement and Declaration of Easement for the proposed storm water management facilities. Site Note 14 states, "There is a recorded stormwater operation and maintenance (O & M) that indicates the location and responsibility for maintenance of the on-site storm water management facilities." This note does not indicate any Kimberly Kaufman, Township Manager April 2, 2025 Page 2

recording reference for an existing Storm Water Management Agreement. I did not see any recorded Storm Water Management Agreement and Declaration of Easement for the Property. Landowners and the Township did enter into a Storm Water Management Agreement with the Township which is recorded at Document No. 5717581, but that Storm Water Management Agreement relates to land on the north and south side of Fairview Road. There do not appear to be any mortgages against the Property, so no Joinder by Mortgagee will be necessary for the Storm Water Management Agreement. The operations and maintenance requirements on Sheet 11 of the Plan must be included in the Storm Water Management Agreement.

Brian Cooley of D. C. Gohn Associates included a waiver letter with the application seeking relief from the requirements of the Subdivision and Land Development Ordinance to widen the cartway and provide additional right-of-way. The Planning Commission should determine whether it wishes to waive such requirements or defer the requirements. If there is to be a deferral, there must be a recorded Deferred Improvements Agreement to address both the dedication of additional right-of-way and the widening.

If you have any questions concerning these comments, please contact me.

Very truly yours,

Josele Cleary

JC:sle MUNI\10221-1(7)\250401\71

cc: Justin S. Evans, AICP, Community Development Director (via email)
Patricia J. Bailey, Township Secretary (via email)
Benjamin S. Craddock, P.E. (via email)

Brian R. Cooley, Landscape Architect (via email)