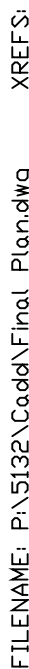


PLOTTED: March 26, 2025 @ 08:19AM



LOCATION MAP
GRAPHIC SCALE IN FEET

0 2000 4000

COMPANY: COMCAST CABLE
ADDRESS: MIDDLETOWN, PA 17057
CONTACT: OFFICE PERSONNEL
EMAIL: www.comcast.com
PHONE: 1-800-266-2278

1. The Applicant shall apply for and obtain land development approval for the proposed improvements, subject to any waivers that may be granted.
2. The Applicant shall apply for and obtain all appropriate permits or approvals from the City of Torrance for the proposed improvements.
3. The Applicant shall comply with all other provisions contained in the Zoning Ordinance for which relief has not been requested or granted.
4. The Applicant and any representative of the Applicant shall comply with and adhere to the testimony and any evidence presented to the Board at the hearing held on the subject matter, except to the extent modified by conditions imposed by the Board herein.

NOTES:
1. BUILDINGS DEVOTED TO AGRICULTURAL USE
SHALL BE EXEMPT FROM HEIGHT REGULATIONS

1. LOT AREA	520,081.00 S.F.
2. NUMBER OF LOTS	1
3. NUMBER OF ACRES	11.939 ACRES
4. ZONING	AGRICULTURAL DISTRICT
5. EXISTING LAND USE	AGRICULTURAL
6. UNITS OF OCCUPANCY	2 EXISTING
7. EXISTING BUILDING COVERAGE.....	46,786 S.F. OR 9.0%
7. EXISTING LOT COVERAGE.....	137,565 S.F. OR 26.5%

WAREHOUSING USES SHALL BE PROVIDED WITH ONE SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT THERE ARE 3 EMPLOYEES AND THERE ARE 3 PARKING SPACES PROVIDED. THERE ARE NO NEW EMPLOYEES ASSOCIATED WITH THE NEW BUILDING.

1. THE PROPOSED LOT COVERAGE OF 29.8% HAS BEEN APPROVED PER THE APPROVED ZONING DECISION.

BEGIN SITE WORK	SUMMER 2025
COMPLETE GRADING	SUMMER 2025
COMMENCE BUILDING IMPROVEMENTS	SUMMER 2025
COMPLETE BUILDING AND SITE IMPROVEMENTS	SUMMER 2025

DATE: NOVEMBER 1, 2024
ONE CALL SYSTEM SERIAL NUMBER: 20243062524-000

1. SECTION 119-25 - PRELIMINARY PLAN REVIEW PROCESS
2. SECTION 119-32.(2)- TRAFFIC STUDY
3. SECTION 119-52.J.(3)(A) - IMPROVEMENT OF EXISTING STREETS

1. SECTION 113-32.A.2.(C) - LOADING RATIOS
2. SECTION 113-37.A.(1).(A).[2] - INTERIOR SIDE SLOPES

iii. DURING OR IMMEDIATELY AFTER THE CESSATION OF A 10-YEAR OR GREATER STORM.

SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO NORMAL MAINTENANCE AS WELL AS REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE FACILITY.

OWNER

WITNESS MY HAND AND SEAL THE
DAY AND DATE ABOVE WRITTEN

NOTARY SEAL

COVER SHEET	1
OVERALL EXISTING CONDITIONS PLAN	2-3
EXISTING CONDITIONS/DEMO PLAN	4
LAYOUT AND EASEMENT PLAN	5
FINAL GRADING / PCSM PLAN	6
EROSION POTENTIAL ANALYSIS PLAN	7
PLAN NOTES	8
PROFILES	9
PCSM DETAILS	10-12

ALL PLAN SHEETS TO BE RECORDED

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
EROSION AND SEDIMENT CONTROL PLAN	3
EROSION AND SEDIMENT CONTROL DETAILS	4-5

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

* SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

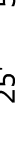
<p align="center"><u>GEOLOGY CERTIFICATION</u></p> <p>I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER FACILITIES ARE <u>NOT</u> UNDERLAIN BY CARBONATE GEOLOGY.</p> <p>SIGNATURE _____ DATE _____</p>	
<p align="center"><u>STORMWATER MANAGEMENT PLAN CERTIFICATION</u></p> <p>I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT.</p> <p>SIGNATURE _____ DATE _____</p>	
<p align="center"><u>CERTIFICATE OF ACCURACY</u></p> <p>I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.</p> <p>SIGNATURE _____ DATE _____</p>	

L.C.P.C. #:

[illegible]

OWNER: DOUGLAS J WOLGEMUTH
NAME: 311 SNYDER ROAD
ADDRESS: MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563
SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552
SOURCE OF TITLE: DEED REF. 20250004143
LANCASTER TAX ACCT NO: 461-70078-0-0000

Surveyors - Engineers - Landscape Architects

PROJECT NO.: 5132-50
 DATE: MARCH 24, 2025
 DRAWN BY: BRC
 CHECKED BY: BRC
 SCALE: 1"=50'

 SCALE IN FEET

COVER SHEET

FOR
LANCASTER SEED SALES
2914 HOMESTEAD ROAD

MOUNT JOY TOWNSHIP

LANCASTER COUNTY, PENNSYLVANIA

DRAWING #: CG-4053

SHEET #: 1 OF 12

SURVEYOR'S NOTES/REPORT:

1. THE BEARINGS SHOWN HEREON, ARE RELATIVE TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SPCS), SOUTH ZONE (3702), NORTH AMERICAN DATUM OF 1983 (NAD 83, 2011) BASED ON NGS OPUS SOLUTION
2. THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 18 BASED ON SAID OPUS SOLUTION.
- SITE BENCHMARK 1: SPRAY PAINTED X MARK ON CONCRETE SHOWN BY CLIENT TO BE THE NEW BLDG FEE AN ELEVATION OF 467.40 FT. (NAVD88)
- SITE BENCHMARK 2: BOXCUT ON THE TOP CORNER OF A CONCRETE WALL AN ELEVATION OF 468.08 FT. (NAVD88)
3. THE FIELD SURVEY WAS MADE ON THE GROUND OCTOBER 8, 2024, UTILIZING BASE/ROVER RTK GPS AND ROBOTIC TOTAL STATION.
4. BOUNDARY OF THIS PROPERTY SHOWN IS BASED UPON DEED OF RECORD 5750815 AND RECORDED PLANS J-94-38, J-177-138, J-203-141 AND 2011-0237-J REFERENCED AT THE LANCASTER COUNTY COURTHOUSE ALONG WITH VARIOUS ADJOINING DCG SURVEYS.
5. THE SUBJECT TRACT IS SUBJECT TO EASEMENTS SET FORTH IN PRIOR RECORDED PLANS AND DOCUMENTS.
6. THIS PROPERTY WAS SURVEYED USING THE CURRENT DEEDS OF RECORD AND WITHOUT THE BENEFIT OF A "TITLE SEARCH". THIS SURVEY DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".
7. THE AREA OUTSIDE OF THE SUBJECT BOUNDARY HAS BEEN SUPPLEMENTED WITH PLANIMETRICS FROM LANCASTER COUNTY GIS AND PENNSYLVANIA SPATIAL DATA ACCESS (PASDA).
8. OWNERSHIP INFORMATION AND DEED REFERENCES SHOWN HEREON WERE COMPILED FROM THE LANCASTER COUNTY RECORDER OF DEEDS WEBSITE.

SOILS CLASSIFICATIONS:

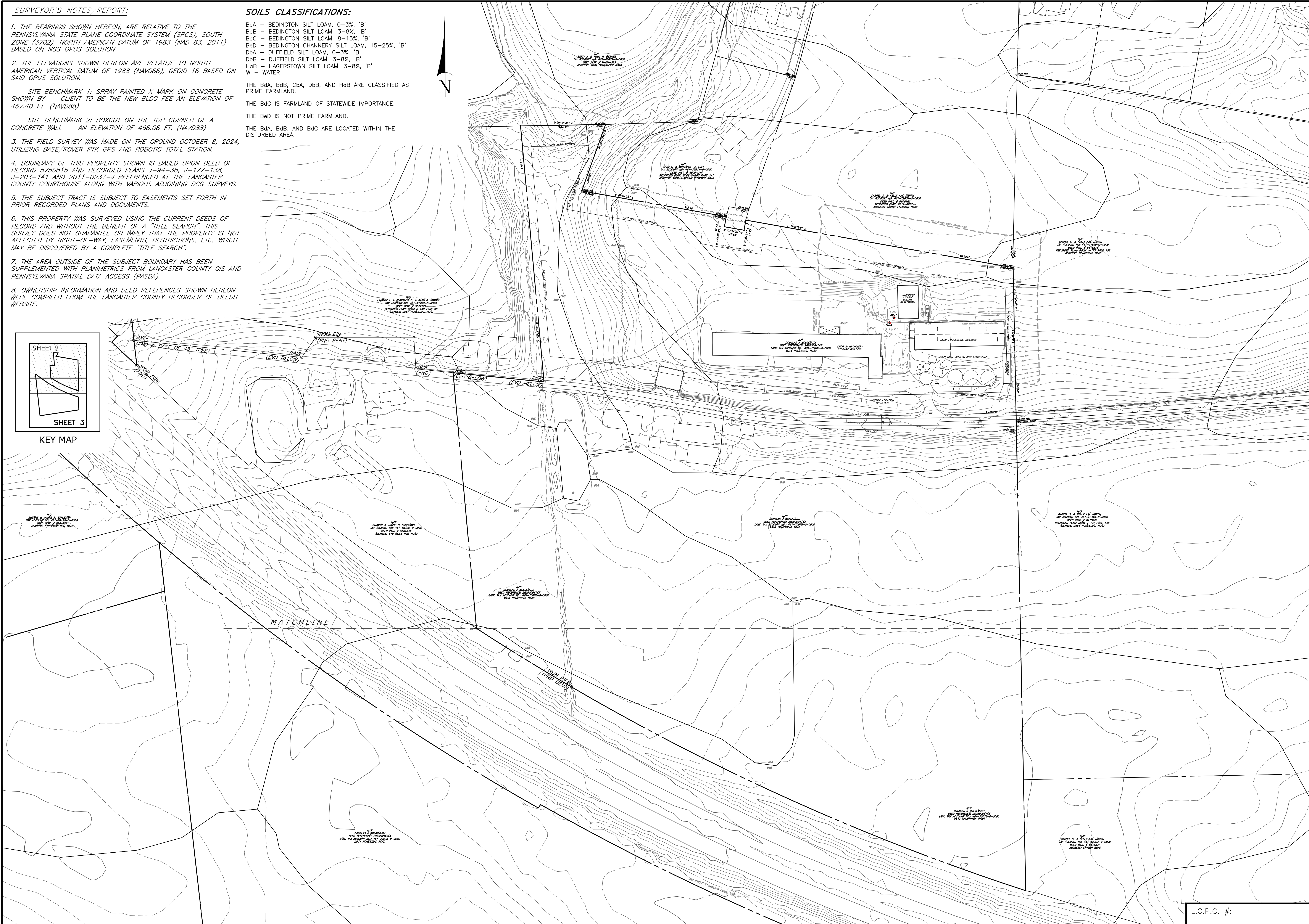
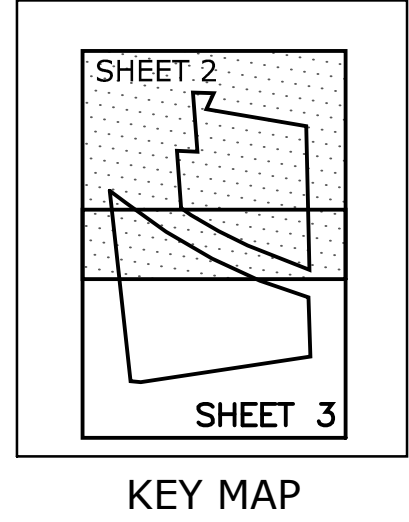
BdA - BEDINGTON SILT LOAM, 0-3%, 'B'
BdB - BEDINGTON SILT LOAM, 3-8%, 'B'
BdC - BEDINGTON SILT LOAM, 8-15%, 'B'
Bed - BEDINGTON CHANNERY SILT LOAM, 15-25%, 'B'
DbA - DUFFIELD SILT LOAM, 0-3%, 'B'
DbB - DUFFIELD SILT LOAM, 3-8%, 'B'
HdB - HAGERSTOWN SILT LOAM, 3-8%, 'B'
W - WATER

THE BdA, BdB, CbA, DbB, AND HdB ARE CLASSIFIED AS PRIME FARMLAND.

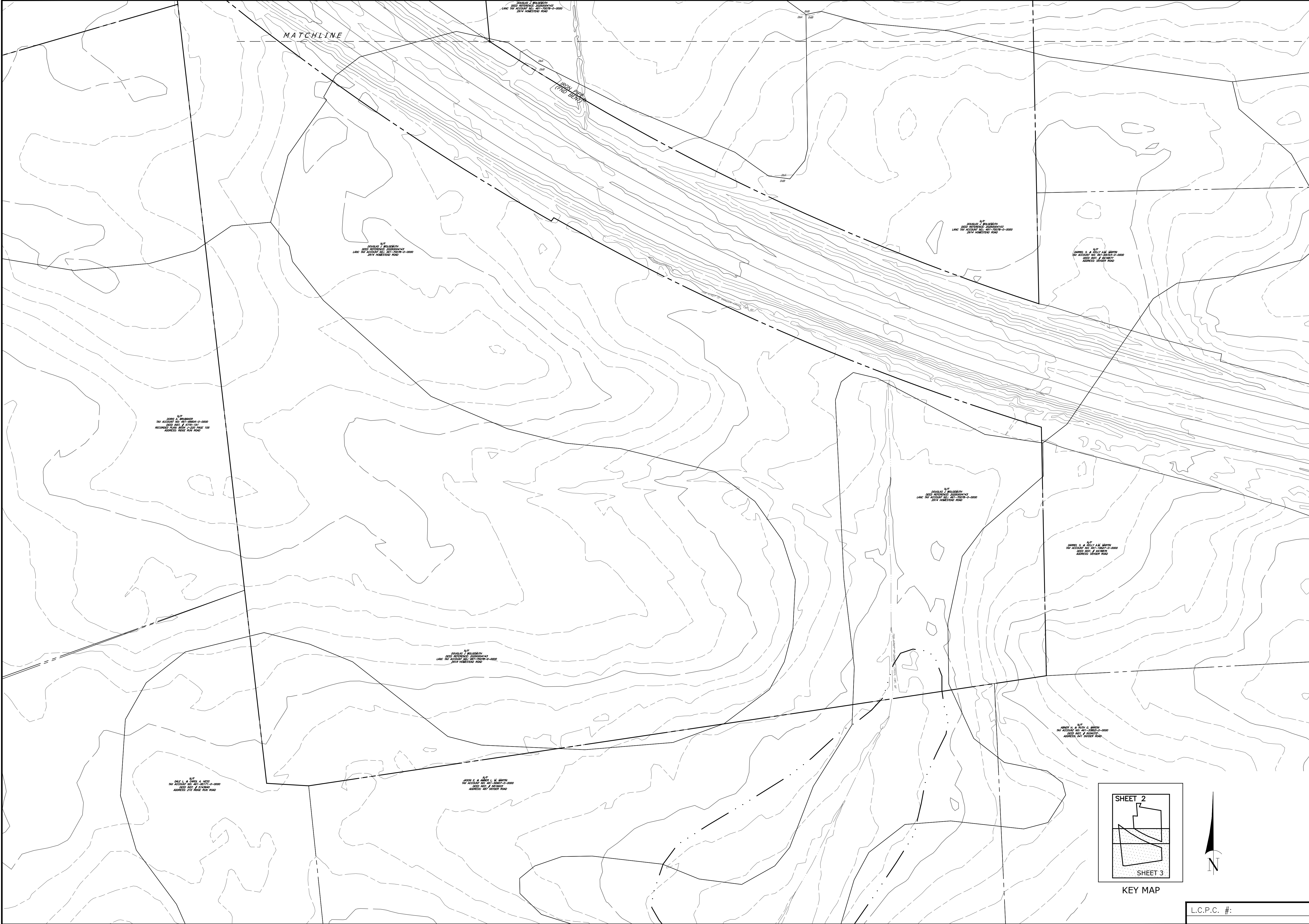
THE BdC IS FARMLAND OF STATEWIDE IMPORTANCE.

THE Bed IS NOT PRIME FARMLAND.


THE BdA, BdB, AND BdC ARE LOCATED WITHIN THE DISTURBED AREA.



OWNER		NAME: DOUGLAS J WOLGENUTH ADDRESS: 311 SNYDER ROAD MOUNT JOY, PA 17552 TELEPHONE: 717-405-7563 SITE ADDRESS: 2914 HOMESTEAD ROAD MOUNT JOY, PA 17552	
SOURCE OF TITLE: DEED REF. 20250004143 LANCASTER TAX ACCT NO: 461-70078-0-0000			
PROJECT NO.: 5132-50 DATE: MARCH 24, 2025 DRAWN BY: BRC CHECKED BY: BRC SCALE: 1"=100'		OVERALL EXISTING CONDITIONS PLAN PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA	
DRAWING #: CG-4053 SHEET #: 2 OF 12		dc gohn Associates, Inc. 32 Mount Joy Street Po Box 128 Mount Joy, PA 17552 Ph- (717) 653-5308 www.dcgoinc.com Surveyors - Engineers - Landscape Architects	
L.C.P.C. #:		DATE	



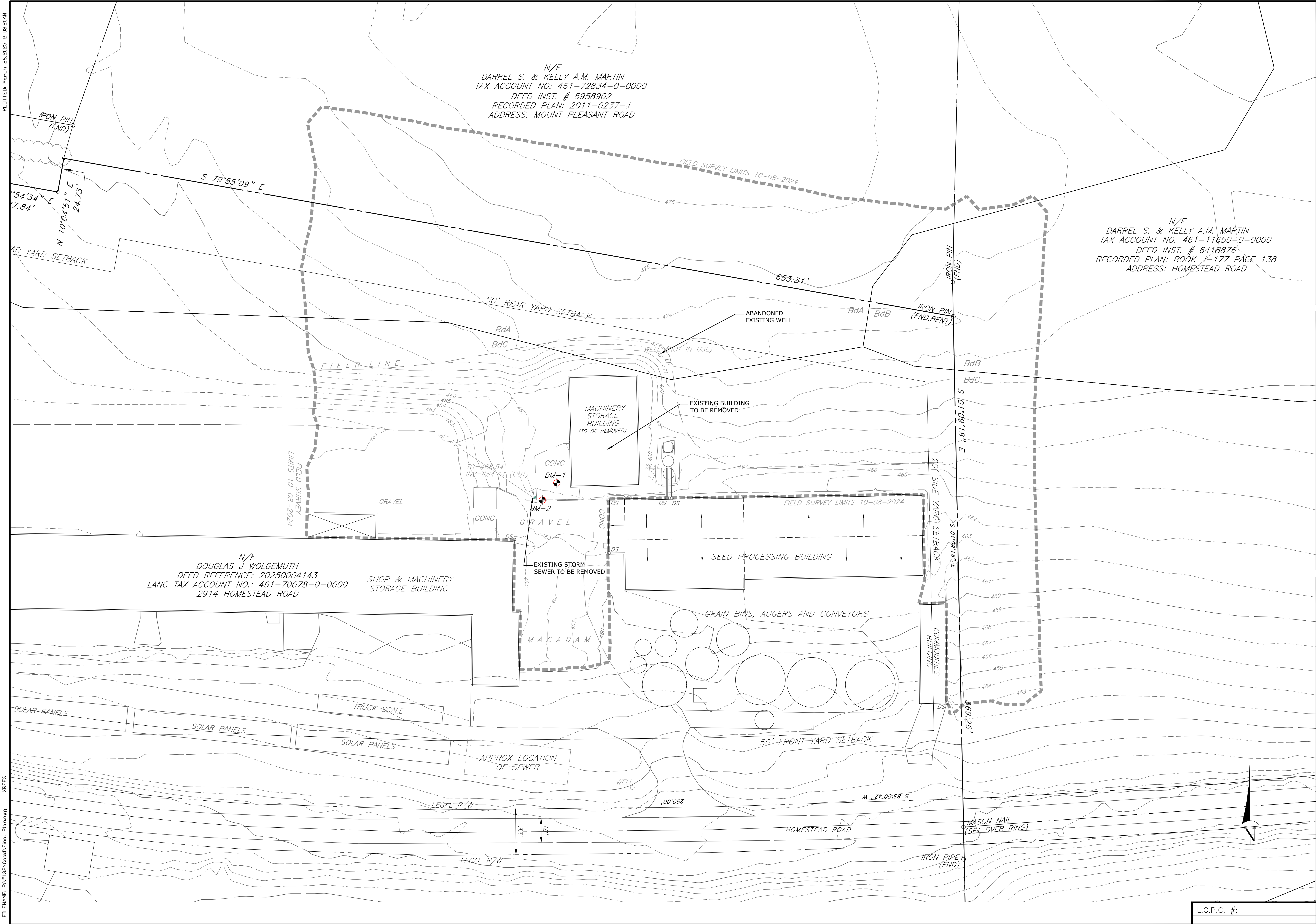
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PROJECT NO.: 5132-50		DATE: MARCH 24, 2025		DRAWN BY: BRC		CHECKED BY: BRC	
SCALE: 1"=100'		100' 0' 50' 100'		SCALE IN FEET			
OVERALL EXISTING CONDITIONS PLAN PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA		DRAWING #: CG-4053 SHEET #: 3 OF 12					



dc gohn
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32 Mount Joy Street
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Surveyors - Engineers - Landscape Architects



OWNER	
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ADDRESS:	311 SNYDER ROAD MOUNT JOY, PA 17552
TELEPHONE:	717-405-7563
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SOURCE OF TITLE:	DEED REF. 20250004143 LANCASTER TAX ACCT NO: 461-70078-0-0000
REVISIONS	
DATE	

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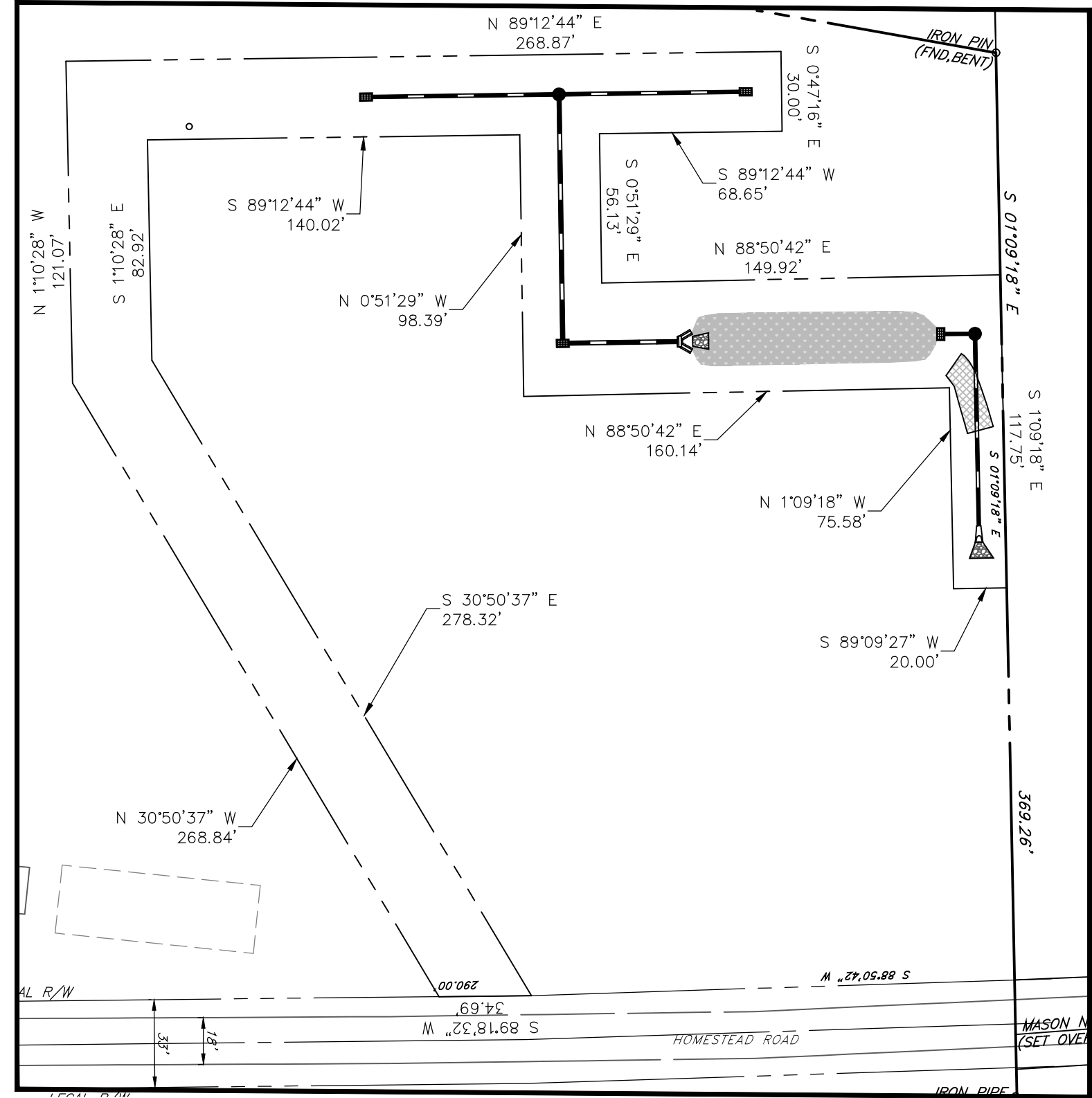
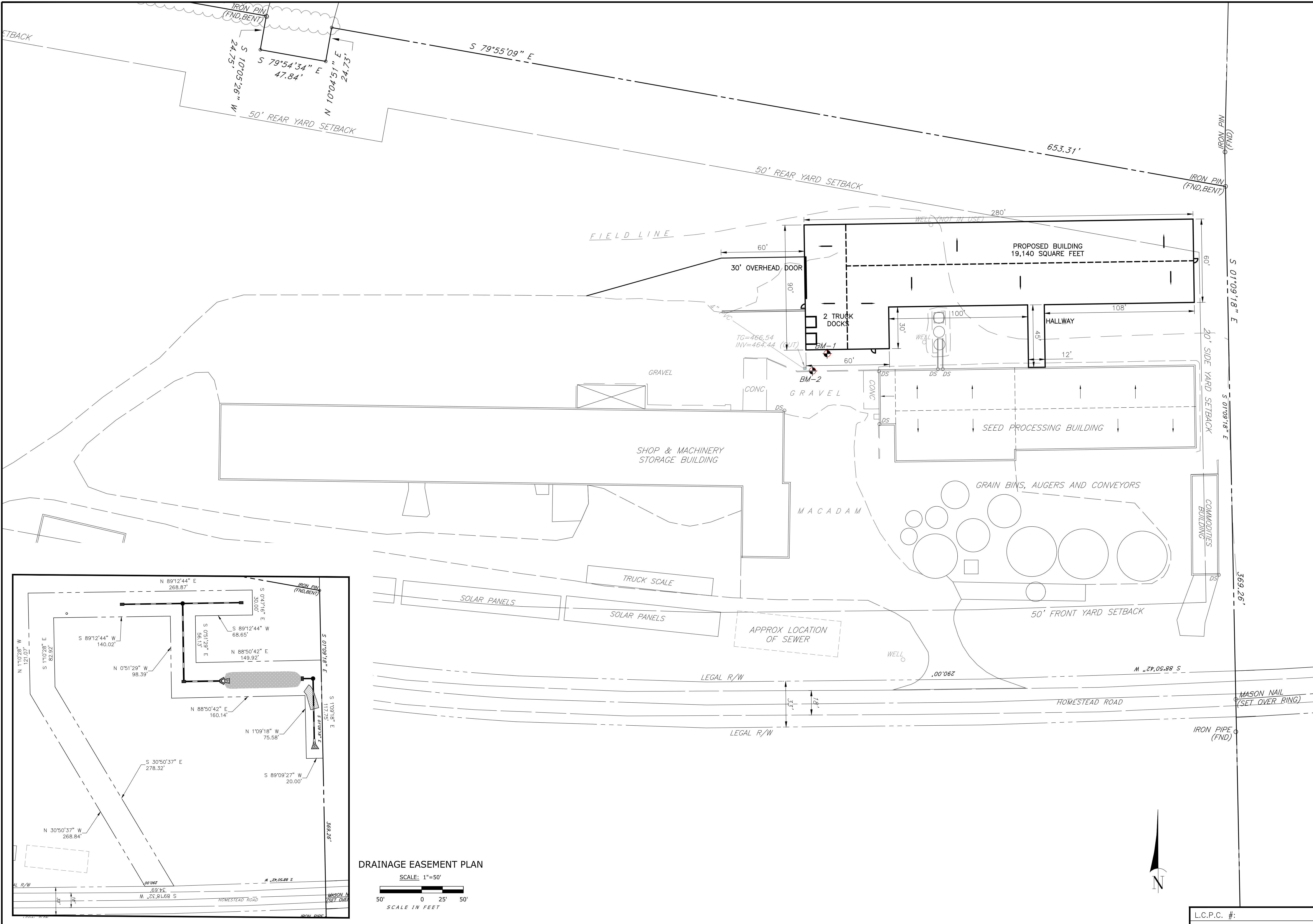
dc gohn
Associates, Inc.

Surveyors - Engineers - Landscape Architects

PROJECT NO.:	5132-50
DATE:	MARCH 24, 2025
DRAWN BY:	BRC
CHECKED BY:	BRC
SCALE:	1"=30'

EXISTING CONDITIONS/DEMO PLAN	
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN	
FOR	
LANCASTER SEED SALES	
2914 HOMESTEAD ROAD	
MOUNT JOY TOWNSHIP	
LANCASTER COUNTY, PENNSYLVANIA	

L.C.P.C. #:	DRAWING #: CG-4053
	SHEET #: 4 OF 12



DRAINAGE EASEMENT PLAN
SCALE: 1"=50'
50' 0 25' 50'
SCALE IN FEET

OWNER		DOUGLAS J WOLGENUTH ADDRESS: 311 SNYDER ROAD MOUNT JOY, PA 17552 TELEPHONE: 717-405-7563 SITE ADDRESS: 2914 HOMESTEAD ROAD MOUNT JOY, PA 17552		SOURCE OF TITLE: DEED REF. 2025004143 LANCASTER TAX ACCT NO: 461-70078-0-0000	
NAME:		DOUGLAS J WOLGENUTH		DATE	
ADDRESS:		311 SNYDER ROAD		REVISIONS	
TELEPHONE:		717-405-7563			
SITE ADDRESS:		2914 HOMESTEAD ROAD			
MOUNT JOY, PA 17552					

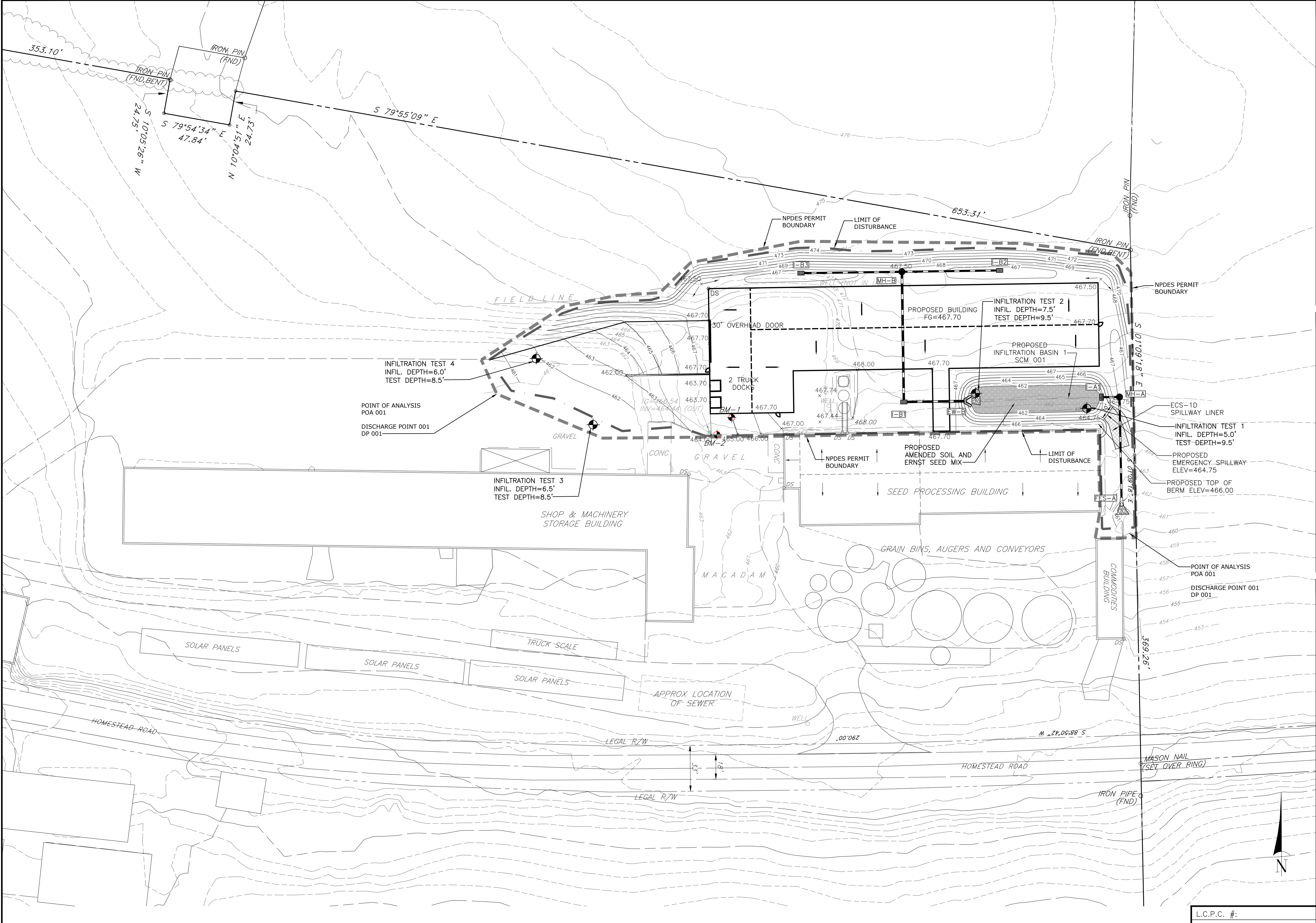
PROJECT NO.: 5132-50		DATE: MARCH 24, 2025		DRAWN BY: BRC		CHECKED BY: BRC		SCALE: 1"=30'		30' 0 15' 30' SCALE IN FEET	
LAYOUT AND EASEMENT PLAN PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA											
DRAWING #: CG-4053 SHEET #: 5 OF 12											

L.C.P.C. #:

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Associates, Inc.
Surveyors - Engineers - Landscape Architects
32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552
Ph- (717) 653-5308
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FILENAME: P:\3132\Coord\Final Planning XREFS:

PLOTTED: March 26, 2025 @ 09:20AM



L.C.P.C. #:

FINAL GRADING / PCSM PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
LANCASTER SEED SALES
2914 HOMESTEAD ROAD
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PENNSYLVANIA

DRAWING #: CG-4053
SHEET #: 6 OF 12

PROJECT NO.: 5132-50
DATE: MARCH 24, 2025
DRAWN BY: BRC
CHECKED BY: BRC
SCALE: 1"=30'
30' 15' 0' 15' 30'
SCALE IN FEET

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OWNER
NAME: DOUGLAS J WOLGENUTH
ADDRESS: 311 SNYDER ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563
SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552
SOURCE OF TITLE: DEED REF. 20250004143
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REVISIONS
DATE



BdA - BEDINGTON SILT LOAM, 0-3%, 'B'
BdB - BEDINGTON SILT LOAM, 3-8%, 'B'
BdC - BEDINGTON SILT LOAM, 8-15%, 'B'
BeD - BEDINGTON CHANNERY SILT LOAM, 15-25%, 'B'
DbA - DUFFIELD SILT LOAM, 0-3%, 'B'
DbB - DUFFIELD SILT LOAM, 3-8%, 'B'
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W - WATER

THE BdA, BdB, CbA, DbB, AND HaB ARE CLASSIFIED AS PRIME FARMLAND.

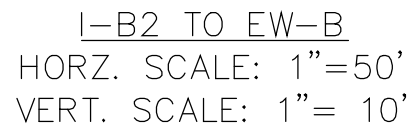
THE BdC IS FARMLAND OF STATEWIDE IMPORTANCE.
THE BeD IS NOT PRIME FARMLAND.

THE BdA, BdB, AND BdC ARE LOCATED WITHIN THE DISTURBED AREA.

THE BdC SOILS IS LOCATED IN THE AREA OF THE EROSION POTENTIAL ANALYSIS SWALE.


THE ERODIBILITY 'K' FACTOR OF BEDDINGTON IS A 'K' VALUE GREATER THAN 0.37 WHICH ARE EASILY ERODIBLE SOILS.

L.C.P.C. #:



DRAWING #: CG-4053

SHEET #: 9 OF 12



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32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552

Ph: (717) 653-5308
www.dcgohn.com

NAME: DOUGLAS J WOLGEMUTH
ADDRESS: 311 SNYDER ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563

SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552

SOURCE OF TITLE: DEED REF. 20250004143
LANCASTER TAX ACCT NO: 461-70078-0-0000

REVISIONS	DATE
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PIPE BEDDING AND TRENCH BACKFILL
NOT TO SCALE

○ PERMANENT RESTORATION FOR AREAS OTHER THAN ROADWAYS
NOT TO SCALE

TYPE 'M' INLET
NOT TO SCALE

○ TYPE 'M' INLET TOP UNIT
NOT TO SCALE

PRECAST CONCRETE STORM MANHOLE
WITH FLAT LID
NOT TO SCALE

TYPE D-W HEADWALL WITH TRASH RACK
NOT TO SCALE

SLOPE MATTING INSTALLATION DETAIL
NOT TO SCALE

FLARED END SECTION
NOT TO SCALE

PIPE DIA.	A(1±)	B MAX	H(1±)	L(1/2±)	W(2±)
12" & 15"	6.5"	10"	6.5"	25"	29"
18"	7.5"	15"	6.5"	32"	35"
24"	7.5"	18"	6.5"	36"	45"
30"	10.5"	NA	7.0"	53"	68"
36"	10.5"	NA	7.0"	53"	68"

FLARED END SECTION
NOT TO SCALE

L.C.P.C. #:

OWNER	
NAME:	DOUGLAS J WOLGENUTH
ADDRESS:	311 SNYDER ROAD
	MOUNT JOY, PA 17552
TELEPHONE:	717-405-7363
SITE ADDRESS:	2914 HOMESTEAD ROAD
	MOUNT JOY, PA 17552
SOURCE OF TITLE:	DEED REF. 20250004143
LANCASTER TAX ACCT NO:	461-70078-0-0000
REVISIONS	
DATE	

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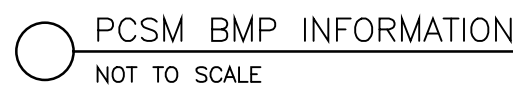
Survivors - Engineers - Landscape Architects

<p>PROJECT NO.: 5132-50</p> <p>DATE: MARCH 24, 2025</p> <p>DRAWN BY: BRC</p> <p>CHECKED BY: BRC</p>	<p>PCSM NOTES AND PROFILES</p> <p>PRELIMINARY/FINAL LAND DEVELOPMENT PLAN</p> <p>FOR</p> <p>LANCASTER SEED SALES</p> <p>2914 HOMESTEAD ROAD</p> <p>MOUNT JOY TOWNSHIP</p> <p>LANCASTER COUNTY, PENNSYLVANIA</p>
DRAWING #: CG-4053	
SHEET #: 10 OF 12	

INDIVIDUAL PCSM BMP INFORMATION

PCSN BMP NAME: INFILTRATION BASIN 1
BMP BMP DESCRIPTION/TYPE: INFILTRATION BASIN
BMP LENGTH (FT) (IF APPLICABLE): 92 FEET
BMP AREA (AC): 0.039 ACRES
BMP DEPTH (FT): 1.76 FEET
VOLUME OF STORMWATER TREATED (CF): 4,062 CF
VOLUME REDUCTION (CF) (IF APPLICABLE): 4,437 CF
OWNER NAME: LANCASTER SEED SALES
OWNER ADDRESS: 311 SMYDNO ROAD MOUNT JOY, PA 17552
PROJECT SITE ADDRESS: 2914 HOMESTEAD ROAD MOUNT JOY, PA 17552
OWNER PHONE: 717-405-7563

PCSM BMP #: 1
ACRES TREATED: 0.75 AC
IMPERVIOUS AREA TREATED (AC): 0.40 AC
LIFECYCLE (YEARS): PERPETUITY
NPDES PERMIT NUMBER: -----
RECEIVING WATERBODY: TRIB 07927 OF DONEGAL CREEK, CWF, MA



BMP ID.	INSPECTION FREQUENCY	OPERATION AND MAINTENANCE PROCEDURE
INFILTRATION BASIN	TWICE PER YEAR	<ul style="list-style-type: none"> • TO ASSURE PROPER OPERATION AND STRUCTURAL STABILITY, THE OWNER SHALL INSPECT THE INFILTRATION BASIN AT LEAST ONCE EACH APRIL, AT LEAST ONCE EACH OCTOBER, AND WITHIN 48 HOURS AFTER EVERY RAINFALL EVENT EXCEEDING 1 INCH OF PRECIPITATION IN 24 HOURS. • INSPECT FOR EROSION PROBLEMS, VEGETATION DAMAGE, SEDIMENT AND DEBRIS ACCUMULATION, AND LITTER. • REMOVE ACCUMULATIONS OF SEDIMENT ≥3 INCHES IN DEPTH AND IMMEDIATELY STABILIZE DISTURBED AREAS. • REMOVE SEDIMENT DURING PERIODS WHEN RUTTING WILL BE MINIMAL. • PRUNE VEGETATION AND WEED GARDENS TO ENSURE SAFETY, AESTHETICS, PROPER OPERATION, WEED AND INVASIVE/NOXIOUS VEGETATION SUPPRESSION. • REMOVE INVASIVE/NOXIOUS PLANTS AND IMMEDIATELY STABILIZE DISTURBED AREAS. • REMOVE LITTER, DEBRIS, AND DETRITUS. • A WRITTEN REPORT IS TO BE COMPLETED WHICH DOCUMENTS EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITIES
FLEXSTORM INLET FILTER (INLETS 1-B1, 1-B2, AND 1-B3)	INSPECTION TO OCCUR FOLLOWING ANY RAIN EVENT >½"	<ul style="list-style-type: none"> • POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES PER YEAR. • EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED. • REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE. • DISPOSE OF SEDIMENT OR DEBRIS.

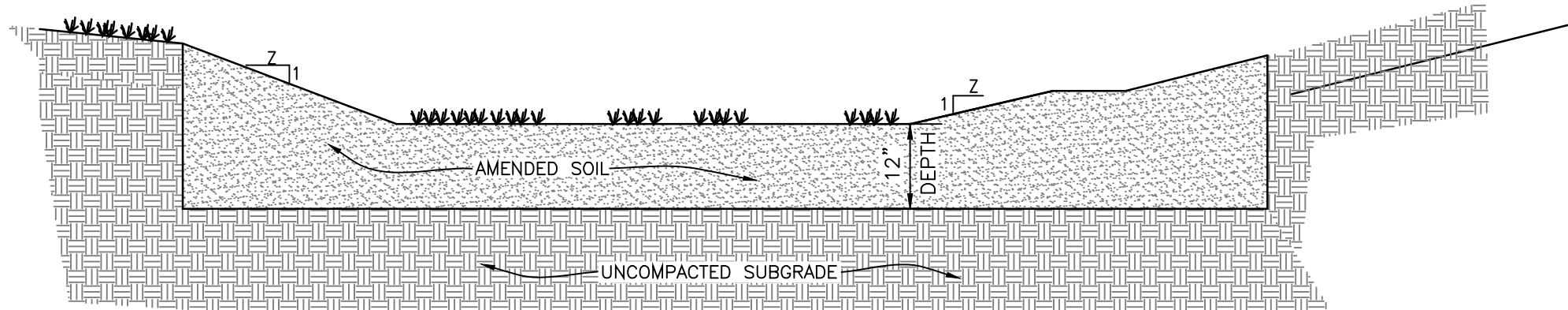


RAIN GARDEN CONSTRUCTION NOTES:

1. LIMIT COMPACTION OVER THE RAIN GARDEN AREA. MAINTAIN ORANGE CONSTRUCTION FENCING TO THE EXTENT PRACTICAL.
2. EXCAVATE RAIN GARDEN TO 12" BELOW PROPOSED BOTTOM ELEVATION OF AMENDED SOIL AS NOTED ON THE PLANS. EXCAVATION OF THE RAIN GARDENS SHOULD BE DONE WITH EQUIPMENT OUTSIDE OF THE RAIN GARDEN AREA TO THE EXTENT PRACTICAL.
3. INSTALL EXCAVATED BOTTOM SURFACE OF RAIN GARDEN A MINIMUM 12" WITH EQUIPMENT OUTSIDE OF THE RAIN GARDENS AREAS.
4. INSTALL UNWEIGHTED AND ASSOCIATED STONE TRIMS.
5. INSTALL AMENDED SOIL IN 6-INCH MAXIMUM LIFTS AND LIGHTLY COMPACT (TAMP WITH BACKHOE BUCKET OR BY HAND). KEEP EQUIPMENT MOVEMENT OVER AMENDED SOIL TO A MINIMUM AND DO NOT OVERCOMPACT. PLANT ERNST SEED MIX AS NOTED ON THE PLANS PER MANUFACTURER'S SPECIFICATIONS.

GENERAL RAIN GARDEN NOTES:

1. THE AMENDED SOIL SHALL BE A UNIFORM MIXTURE CONSISTING OF 20% SAND, 80% TOPSOIL, AND 20% COMPOST. THE COMPOST SHALL BE A UNIFORM MIXTURE OF COMPOST COMPOSED OF NATURAL MATERIALS AND WITH AN ORGANIC MATTER CONTENT OF 35% TO 65% AS DETERMINED BY THE LOSS ON IGNITION METHOD. THE TOPSOIL SHALL BE FRABLE LOAMY SOIL AS CLASSIFIED BY THE USDA, FREE OF WEEDS, HERBICIDES, PETROLEUM-BASED MATERIALS, ANY OTHER DELETERIOUS MATERIALS, ROCKS, AND DEBRIS. THE TOPSOIL SHALL HAVE A MINIMUM OF 5.5% AVAILABLE NITROGEN AND 1.0% AVAILABLE PHOSPHORUS.
2. CONTRACTOR TO PROVIDE AN ENGINEERED PROPRIETARY AMENDED SOIL MIX FROM A PRE-MIXED VALID SOURCE COMPLETE WITH CERTIFIED SPECIFICATIONS AND TESTING THAT VERIFIES THE CLAIMED VOID RATIOS TO VERIFY THE CLAIMED VOLUME VOLUME CAPACITY OF THE AMENDED SOIL. IN THE EVENT THAT THE CONTRACTOR CANNOT OBTAIN THE AMENDED SOIL, THE CONTRACTOR SHALL PROVIDE A SAMPLE OF THE COMPOST FOR REVIEW BY DC COHN ASSOCIATES. THE ON-SITE MIX SHALL BE TESTED THAT VERIFIES THE VOID RATIOS FOR VOLUME STORAGE CAPACITY OF THE AMENDED SOIL.
3. THE CONTRACTOR SHALL BE INTERFERED DURING CONSTRUCTION IN THE AREA OF THE PROPOSED RAIN GARDENS, CONSTRUCTION BY GEOTECHNICAL ENGINEER AND DC COHN PRIOR TO PROCEEDING WITH CONSTRUCTION. A REVSIM BDP DESIGN WILL NEED TO BE PROVIDED BY THE ENGINEER.
4. NOTATION FOR INFILTRATION TESTING FOR THE BOTTOM SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 SHOULD BE PROVIDED CLEARLY STATING THAT THE TESTING IS TO TAKE PLACE PRIOR TO ANY BACKFILLING OF AMENDED SOILS OR PERFORMED IMMEDIATELY AFTER THE INFILTRATION TESTING IS COMPLETED. THE INFILTRATION TESTING RESULTS SHALL BE PROVIDED TO DC COHN ASSOCIATES TO VERIFY THE RATES WITH THE STORMWATER DESIGN. IF THE INFILTRATION TESTING RESULTS ARE LESS THAN THE ORIGINAL INFILTRATION TESTING RESULTS, THE CONTRACTOR SHALL CONSTRUCT AN ADDITIONAL INFILTRATION AREA TO MEET THE DESIGN INFILTRATION RATE. THE INFILTRATION MEDIA FILLED INTO THE BOTTOM OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 AND/OR RESIZE RAIN GARDENS 1 IF THE INFILTRATION RATES POST CONSTRUCTION CANNOT BE OBTAINED.
5. CONTRACTOR SHALL FILL MATERIALS SHALL BE FREE FROM APPROPRIATE BORROW AREA WHICH SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN SIX INCHES, FROZEN OR FROTHED OR OTHER OBJECTIONABLE MATERIALS.



STORM WATER MANAGEMENT FACILITIES (ERNST 180-1 SEED MIX)

SITE PREPARATION NOTES:

1. INVASIVE SPECIES, PARTICULARLY THOSE THAT WILL ADAPT TO WET CONDITIONS, SHOULD BE REMOVED OR SPRAYED BEFORE THEY BECOME INCORPORATED INTO THE SITE. NORMAL VEGETATION CAN BE WORKED INTO THE TOPSOIL, WHICH SHOULD BE STOCKPILED UNTIL THE FINAL GRADE HAS BEEN ESTABLISHED.
2. WITH THE ENGINEER'S SPECIFICATIONS AND DIMENSIONS IN HAND, ON-SITE CONSTRUCTION OF THE BERM AND OUTLETS MUST BE EXECUTED CAREFULLY IN ORDER TO PREVENT AN INADEQUATELY SIZED SITE. THE BERM SHOULD BE LOOSE AND FRAGILE, HIGH IN ORGANIC MATTER, AND COMPLETED WITHOUT COMPACTIONS FROM HEAVY EQUIPMENT. BY USING THE "DIG AND DROP" METHOD, ONE CAN LOOSELY PLACE THE TOPSOIL INTO EACH OF THE BERM'S BOTTOM SOIL IN A LOOSE MANNER. AT THIS POINT, ONE CAN INCORPORATE LEAF, COMPOSTED LEAVES, AND/OR GRASS CLIPPINGS. THE EXCAVATION MACHINE SHOULD NOT MOVE OVER THE FINISHED SURFACE, THUS AVOIDING UNNECESSARY COMPACTION. NATIVE PLANTS CAN BE PLANTED OR SEEDED OVER THIS UNEVEN, ABSORBENT SURFACE.

SEEDING AND PLANTING METHODS NOTES:

- [illegible]

GENERAL MAINTENANCE NOTES:

1. IN ADDITION TO STRUCTURAL MAINTENANCE, SILTATION NEEDS TO BE REMOVED AS NEEDED. PLANTS NEED TO BE TRIMMED BACK TO MAINTAIN AESTHETIC VALUE AND INVASIVE SPECIES NEED TO BE CONTROLLED. CLOSE MOWING OR EXTENSIVE CHEMICAL USE IS NOT CONDUCTIVE TO WATER QUALITY IMPROVEMENT OR WILDLIFE HABITAT.

ERNST CONSERVATION SEEDS

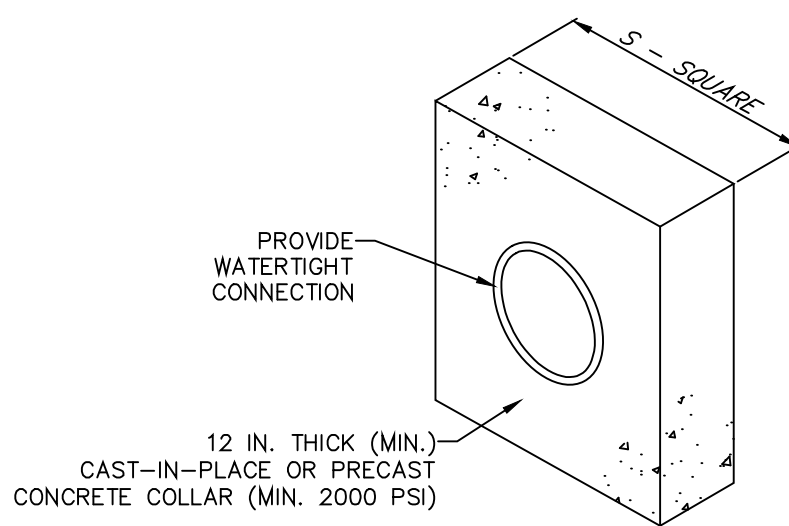
ERNMX # ERNMX-180-1

SEEDING RATE 20 lbs per acre, or 1/2 lb per 1,000 sq ft

MIX TYPE	Rain Garden Grass Mix
----------	-----------------------

40.4% *Schizochrysurum scoparium*, Port Indianorum Gap—PA Ecoltype
(Little Bluestem, Port Indianorum Gap—PA Ecoltype)
20.0% *Carex vulpinoidea*, PA Ecoltype
(Fox Sedge, PA Ecoltype)
20.0% *Elymus virginicus*, Madison—NY Ecoltype
(Virginia Wildrye, Madison—NY Ecoltype)
9.0% *Panicum clandestinum*, Tioga
(Deertongue, Tioga)
5.5% *Panicum rigidulum*, PA Ecoltype
(Redtop Panicgrass, PA Ecoltype)
4.0% *Chasmanthium latifolium*, WV Ecoltype
(River Oats, WV Ecoltype)
0.5% *Carex scoparia*, PA Ecoltype
(Blunt Broom Sedge, PA Ecoltype)
0.3% *Juncus effusus*
(Soft Rush)
0.3% *Juncus tenuis*, PA Ecoltype
(Path Rush, PA Ecoltype)

Total	100
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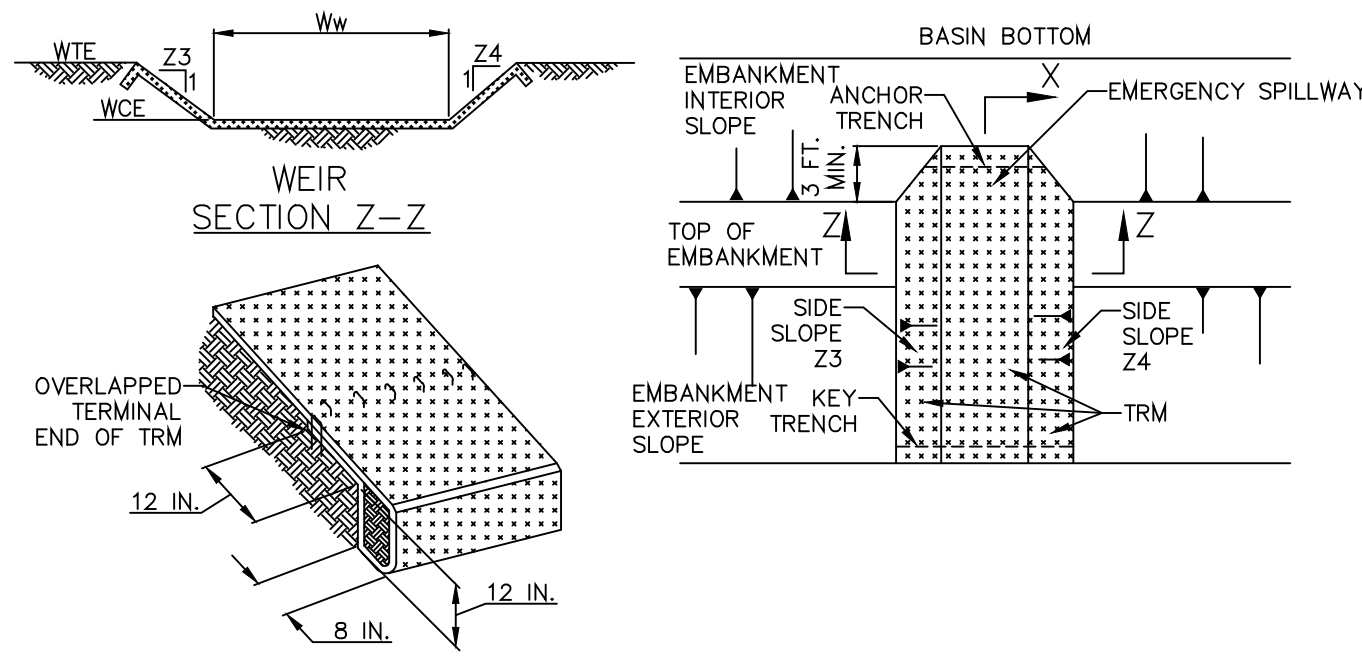
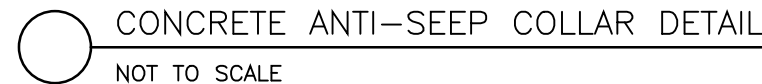


BASIN NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
INFILTRATION BASIN 1	12	35.3	1	6	N/A

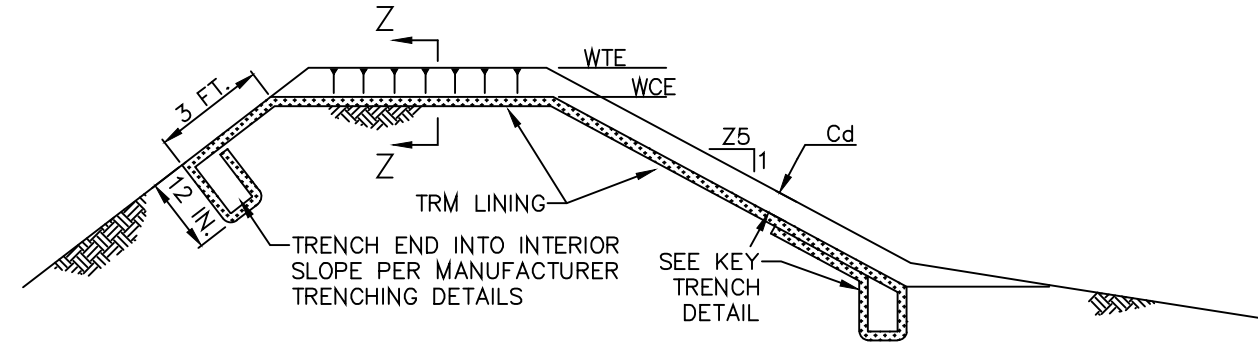
NOTES:

ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.



KEY TRENCH AT TOE
SLOPE OF SPILLWAY

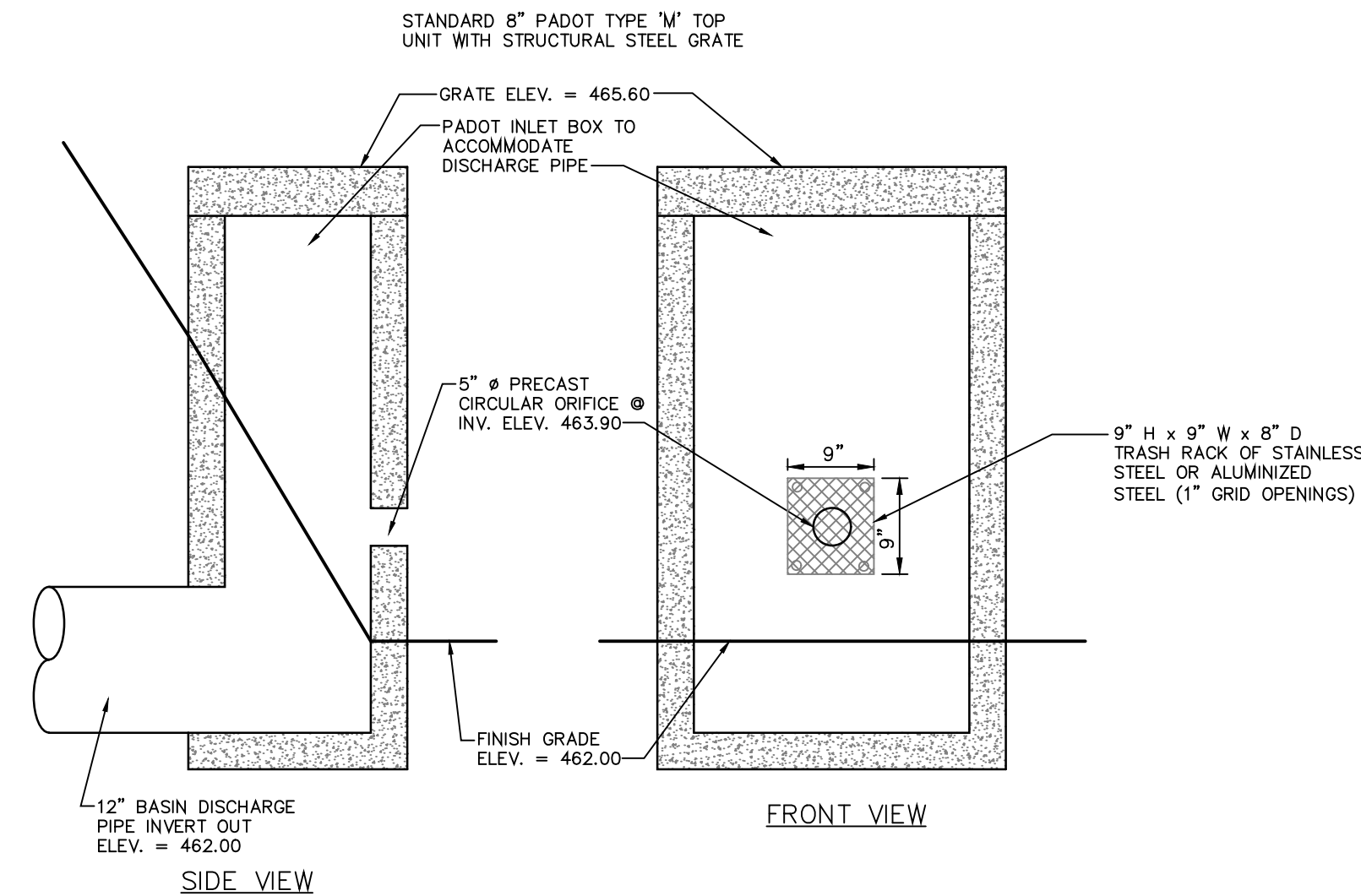


EMBANKMENT SECTION ALONG EMERGENCY SPILLWAY
SECTION X-X

BASIN NO.	WEIR					LINING	CHANNEL	
	Z3 (FT)	Z4 (FT)	TOP ELEV/ WTE (FT)	CREST ELEV/ WCE (FT)	WIDTH Ww (FT)	TRM TYPE	Z5 (FT)	DEPTH Cd (FT)
INFILTRATION BASIN 1	2	2	466.00	464.75	10	ECS-1D	33	1.0

NOTES:

1. HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRIM LINING.
2. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.



SIDE VIEW

FRONT VIEW

○ INFILTRATION BASIN 1 OUTLET STRUCTURE (I-A1)
NOT TO SCALE

OWNER	
NAME: DOUGLAS J WOLGENUTH	
ADDRESS: 311 SNYDER ROAD	
MOUNT JOY, PA 17552	
TELEPHONE: 717-405-7363	
SITE ADDRESS: 2914 HOMESTEAD ROAD	
MOUNT JOY, PA 17552	
SOURCE OF TITLE: DEED REF. 20250004143	
LANCASTER TAX ACCT NO: 461-700/8-P-0000	
	REVISIONS
	DATE

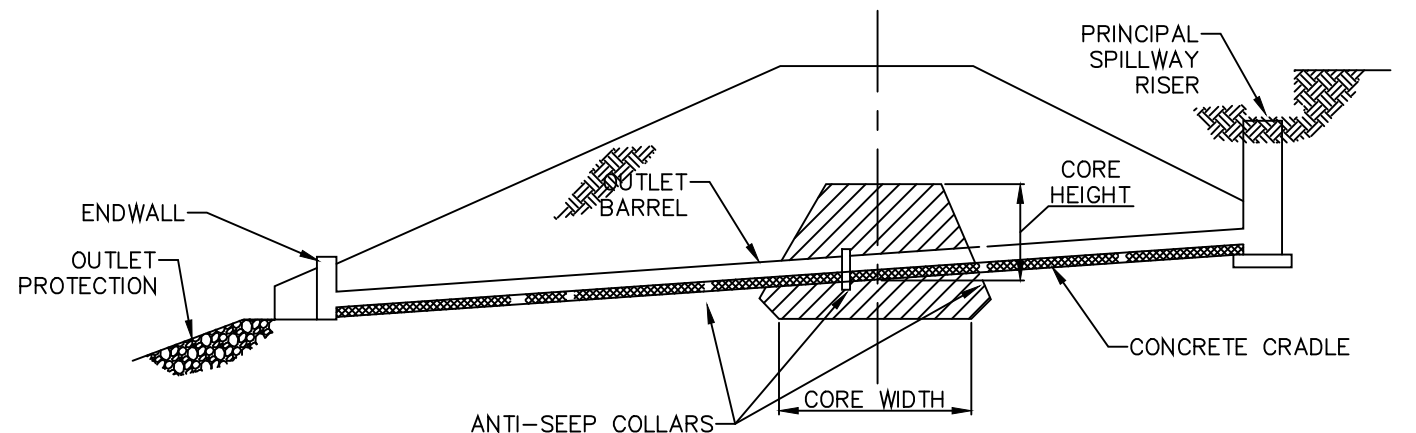
dc gohn
Associates, Inc.

32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552

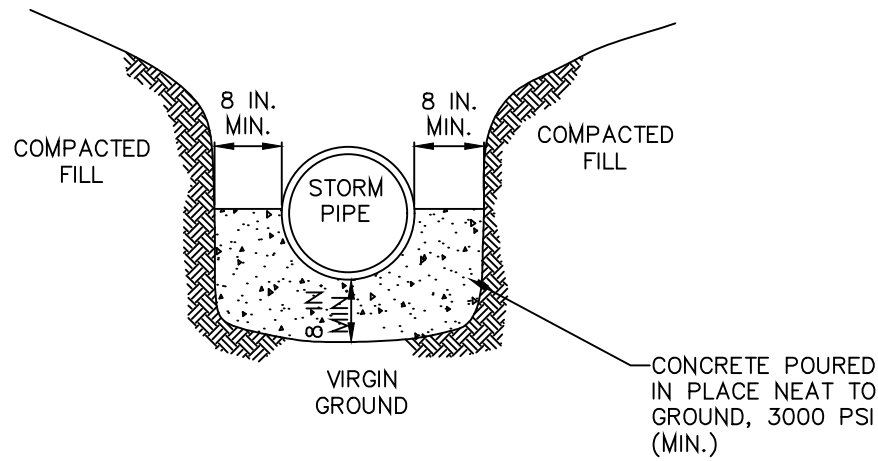
Ph - (717) 653-5308
www.dcgohn.com

Surveyors - Engineers - Landscape Architects

<p>PCSM DETAILS</p> <p>PRELIMINARY/FINAL LAND DEVELOPMENT PLAN</p> <p>FOR</p> <p>LANCASTER SEED SALES</p> <p>2914 HOMESTEAD ROAD</p> <p>MOUNT JOY TOWNSHIP</p> <p>LANCASTER COUNTY, PENNSYLVANIA</p>	PROJECT NO.: 5132-50
	DATE: MARCH 24, 2025
	DRAWN BY: BRC
	CHECKED BY: BRC
<p>DRAWING #: CG-4053</p> <p>SHEET #: 11 OF 12</p>	



EMBANKMENT ALONG PRINCIPAL SPILLWAY

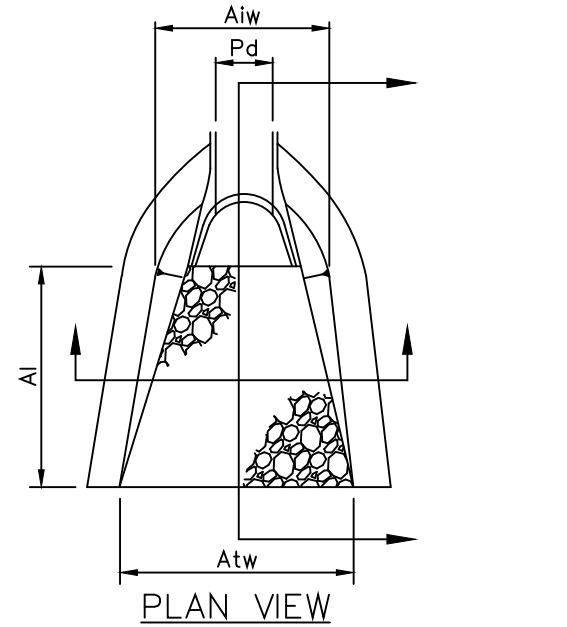


CROSS-SECTION AT OUTLET BARREL

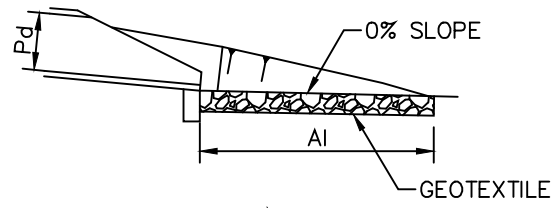
NOTES:

1. A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS AND/OR FILTER DIAPHRAGM.
2. ANTI-SEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN.
3. A CONCRETE CRADLE MUST BE INSTALLED FOR THE OUTLET BARREL FOR INFILTRATION BASIN 1.

 CONCRETE CRADLE FOR BASIN OUTLET BARREL
 NOT TO SCALE



PLAN VIEW
 SECTION Y-Y



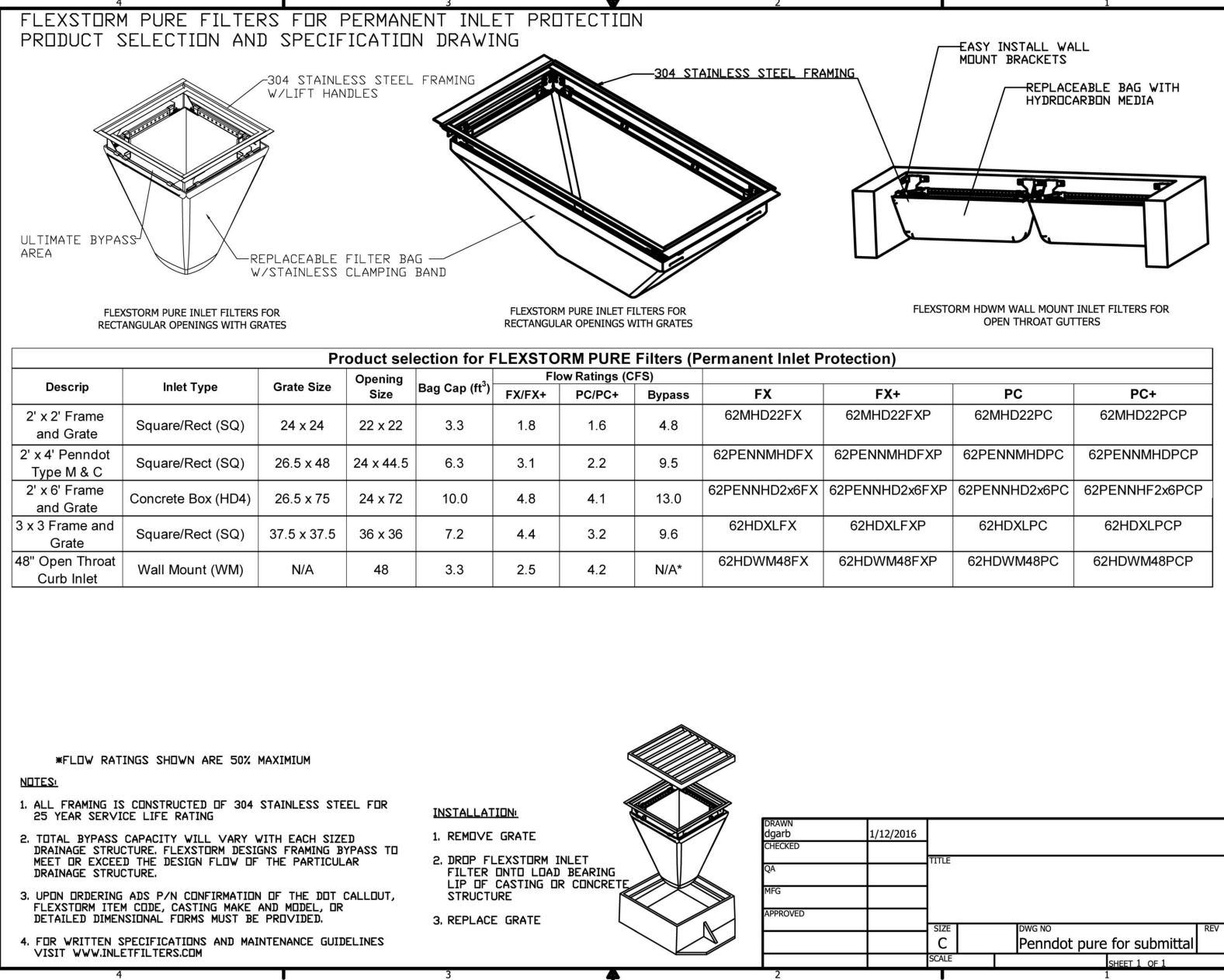
SECTION Z-Z

OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP			APRON	
		SIZE R=	THICK. Rt (IN)	LENGTH Ai (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
FES-A	12	R-3	12	6.0	3.0	9.0
EW-B	15	R-3	12	6.0	3.75	6.15

NOTES:

1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

 RIP-RAP APRON AT PIPE OUTLET
 NOT TO SCALE



 FLEX STORM FILTERS FOR PERMANENT INLET PROTECTION
 NOT TO SCALE

OWNER	NAME:	DOUGLAS J WOLGEMUTH
ADDRESS:	311 SNYDER ROAD	
TELEPHONE:	717-405-7563	
SITE ADDRESS:	2914 HOMESTEAD ROAD	
	MOUNT JOY, PA 17552	
SOURCE OF TITLE:	DEED REF. 20250004143	
LANCASTER TAX ACCT NO:	461-70078-0-0000	
REVISIONS	DATE	



32 Mount Joy Street
 Po Box 128
 Mount Joy, PA 17552
 Ph- (717) 653-5308
 www.dcgohn.com

Surveyors - Engineers - Landscape Architects

PROJECT NO.: 5132-50	DATE: MARCH 24, 2025
DRAWN BY: BRC	CHECKED BY: BRC
PCSM DETAILS PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA	
DRAWING #: CG-4053	SHEET #: 12 OF 12

L.C.P.C. #:



Surveyors - Engineers - Landscape Architects

25-07-FLDP

RECEIVED

Mar 27 2025

MOUNT JOY TOWNSHIP

March 24, 2025

Mr. Kim Kaufman
Mount Joy Township Manager
8853 Elizabethtown Road
Elizabethtown, PA 17022

SUBJECT: Lancaster Seed Sales
Preliminary/Final Land Development Plan Submission Modification Requests
DCG Project Number **5132-50**

Dear Mr. Kaufman:

On behalf of our client, we request the following modifications from the Mount Joy Township Subdivision and Land Development Ordinance and the Stormwater Management Ordinance.

Subdivision and Land Development Ordinance

1. Section 119-25 – Preliminary Plan Review Process

We request relief from the requirement to submit a Preliminary Plan. The alternate is the submission of a Preliminary/Final Land Development Plan.

The site is the existing Lancaster Seed Sales business. There are no new employees and no new truck traffic. Stormwater will be provided on site for rate and volume. There are no changes to site access which is from Homestead Road. A zoning hearing board decision granted certain zoning relief. There is no water or sewer usage with the building expansion. The plan meets all other zoning requirements. The final plan contains all relevant information.

2. Section 119-32.(2)– Traffic Study

We request relief from the requirement to provide a traffic study for nonresidential developments with buildings containing in excess of 1,000 square feet of usable space. The request is not to provide a traffic study.

The site is the existing Lancaster Seed Sales business. There are no new employees and no new truck traffic. There are no changes to site access which is from Homestead Road. The new building will be used for processing grain on the farm. The processed grain is turned into seed to be sold to other farmers. There will be no increase in traffic due the fact that the same amount of product is shipped to an off site warehouse. Also, there is a reduction in the amount of unprocessed grain hauled out since it is processed on site now. The warehouse allows for more flexibility and efficiency.

3. Section 119-52.J.(3)(a) – Improvement of Existing Streets

We request relief from the requirement to improve existing streets where land development abuts an existing street. The street shall be improved to the ultimate width in accordance with Subsection J or as indicated on the Township Official Map, whichever is greater, and additional right of way shall be provided, concrete curb and sidewalk, and any other street improvements shall be constructed. The request is not to widen the cartway width and provide additional right of way.

Homestead Road is classified as a local street outside of the urban growth area which requires a 50 foot right of way and 20 foot cartway with a 2 foot shoulder. Curbing is not required. Currently, Homestead Road has 33 foot right of way and 18 foot cartway. There is no curbing. There are no new employees and no new truck traffic. The site access to Homestead Road remains the same. The existing street provides adequate access to and from the site.

Stormwater Management Ordinance

1. Section 113-32.A.2.(c) – Loading Ratios

We request relief from the requirement that the maximum loading ratio for volume control facilities in nonkarst areas shall be 5:1 impervious drainage area to infiltration area and 8:1 total drainage area to infiltration area.

Infiltration Basin 1 impervious drainage area loading ratio is 10:1 and the total drainage area loading ratio is 19:1. Infiltration Basin 1 is designed to capture on site impervious and grass areas from the proposed improvements. In addition, the basin captures on site and off site agricultural areas. The on site agricultural areas are used for seed production which is used for the business. As a result, the site grading is minimized to protect and maintain the agricultural area for production. There is a cut slope to accommodate the building which is designed at 2:1 to minimize the grading impact. A bypass swale or diversion of upland stormwater would decrease the agricultural area used for the business. The off site agricultural area is upland and drains through the on site area.

There are no existing stormwater detention facilities on site. The infiltration basin is designed to infiltrate the net increase in the two year storm volume and detain stormwater rate for all of the designs storms. The location of the infiltration basin is downstream of the proposed improvements and is designed to capture a portion of the new impervious and the disturbed area. The existing and proposed building locations dictate the location and storage area of the infiltration basin. The 2:1 slope in the interior of the basin maximizes the storage area of the infiltration basin which minimizes the loading ratios. There is amended soil which provides additional infiltration and water quality capacity. The infiltration rate is excessive due to the weathered rock at the two locations tested. The maximum infiltration rate of 10.00 inches per hour is used since that is the maximum infiltration rate per the PA BMP Manual. The actual infiltration rate is significantly higher. The resultant dewatering time is 12 hours which is the minimum dewatering time indicated on the PADEP spreadsheet for volume, rate and water quality. There is an emergency

spillway which provides an emergency overflow. Based on the maximized storage area of the basin, the excessive infiltration rates, and the minimum dewatering time, the higher loading ratios will not impact the design of the infiltration basin.

2. Section 113-37.A.(1).(a).[2] – Interior Side Slopes

We request relief from the requirement that the maximum interior side slopes for a facility depth of 2 feet to 8 feet is 3:1. The proposed interior side slopes of the basin are 2:1.

The 2:1 slope in the interior of the basin maximizes the storage area of the infiltration basin which minimizes the loading ratios. The location of the infiltration basin is downstream of the proposed improvements and is designed to capture a portion of the new impervious and the disturbed area. The existing and proposed building locations dictate the storage area of the infiltration basin. The proposed building is connected to the existing building which provides an internal connection which is critical for the daily business operations. The areas downstream of the proposed improvements contain the existing seed processing building and silos as well as a steep slope embankment between the soils and existing street. These features prohibit the installation of a stormwater facility in these locations.

Call me directly if you have any questions or concerns. Thank you.

Sincerely,

D. C. GOHN ASSOCIATES, INC.

Brian R. Cooley

Brian R. Cooley
Staff Landscape Architect

cc: Lancaster Seed Sales
Lancaster Civil
Josele Cleary, Esquire
File

April 24, 2025

Kim Kaufman
Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org



LANCASTER CIVIL
★ ★ engineering company ★ ★
p.o. box 8972, lancaster, pa 17604-8972
www.lancastercivil.com

Re: Lancaster Seed Sales
Preliminary/Final Land Development Plan
Township Permit No.25-07-FLDP
LCEC Project No: 25-190

Dear Mr. Kaufman,

We have received a preliminary/final land development plan submission from D.C. Gohn Associates, Inc. for the above-referenced project. The submission consisted of the following documents:

- Cover letter dated March 24, 2025
- Preliminary/Final Land Development Plans dated March 24, 2025
- Post Construction Stormwater Management Report dated March 24, 2025
- Drainage Area Plan dated March 24, 2025
- Geology/Infiltration Testing Report dated February 21, 2025
- Modification request letter dated March 24, 2025
- Wetland investigation dated March 26, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. At a Zoning Hearing Board meeting on March 5, 2025, the Board granted the following:
 - a. Variance from Section 135-83.H regarding the minimum 50' rear yard setback.
 - b. Variance from Section 135-85.I regarding the 25% maximum impervious coverage.
2. Prior to the expansion of an agricultural use, the landowner shall provide evidence from the Conservation District that a Conservation and Nutrient Management Plan is being implemented (135-212.D(1),(2),&(3)).
3. An exterior lighting plan shall be submitted (if exterior lighting is proposed) (135-298.D).
4. A clear sight triangle and stopping sight distances shall be shown at the proposed access points (135-299.E(2) & 119-31.D(12)).
5. Slopes greater than 15% shall be shown on the plans (135-305.A).

6. Finished slopes of all cuts and fills shall not exceed 3:1, unless the applicant can satisfactorily demonstrate that the steeper slopes can be stabilized and maintained adequately (135-305.D(2)).
7. Riparian corridors shall be established to include 30 feet on each side of the watercourse, measured from the top of each stream bank (135-306.B).
8. The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the riparian corridor, in a form acceptable to the Township Solicitor (135-306.F).
9. Off street loading space information shall be shown on the plans (135-346).

Subdivision and Land Development Ordinance

10. A preliminary plan is required (119-25). The applicant has requested a modification of this requirement.

Waiver response: The applicant proposes to process this as a preliminary/final plan which includes both preliminary and final plan requirements. This project is not phased and construction of public improvements is not scheduled to begin prior to plan recordation. Based on these considerations, I have no objection to a waiver of this requirement.

11. A legend showing existing and proposed features and linetypes shall be provided (119-31.A(4)).
12. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
13. The name and address of the owner of the subtract tracts shall be corrected (119-31.B(3)).
14. The plan shall identify the parent tract and all prior subdivisions from the parent tract which have been recorded (119-31.B(13)).
15. The plan shall identify all prior plans, including all notes or restrictions affecting the current development, with a verification signed by the design professional that such list is complete and correct (119-31.B(14)).
16. The entire tract boundary with bearing and distances shall be shown on the plans (119-31.B(17) & 113-42.F). Please note that lots with an area greater than 10 acres may be identified by deed-plotting.
17. The existing culvert in Homestead Road, the PP&L utility line (and associated easement/right-of-way), the existing gravel lane, and the existing utility pole (and associated easements/right-of-way) shall be shown on the plans (119-31.C(4) & 113-43.I(5)).
18. The replacement on-lot septic system shall be shown on the plans (119-31.C(4)).
19. Any existing water supplies shall be shown (119-31.C(4)(b)). (DEP's eMap website shows an existing on-lot well).
20. The units of occupancy and density shall be provided on the plans (119-31.D(3)).
21. The existing right-of-way for Route 283 shall be dimensioned. Route 283 shall be labeled on the plans (119-31.D(4)).
22. An erosion and sedimentation control plan shall be submitted (119-31.D(14)(e), 113-31.E & 113-43.K).
23. A water and sewer feasibility report shall be provided (119-32.A & 119-35.E(3)(b)).

24. A PDNI search shall be included in the wetlands study. The wetlands study shall be provided for the entire site (119-32.B).
25. The applicant has requested a waiver of the requirement to provide a traffic impact study; however, since this is a proposed agricultural development a traffic impact study is not required. The modification request letter shall be updated to remove the reference to this request (119-32.C(2)).
26. All certificates shall be executed prior to final plan approval (119-35.E).
27. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
28. Written notices from the emergency service providers that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)).
29. Legal descriptions for easements to be dedicated to the Township, including but not limited to, drainage easements, shall be provided (119-35.E(4)(a)).
30. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
31. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
32. A construction cost estimate and financial security shall be provided (119-41 & 113-60).
33. The frontage along Homestead Road (a local street) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Improvements shall include pavement widening and dedication of additional right-of-way (119-52.J(3)(a)). The required right-of-way for a local street outside of the urban growth area is 50 feet, and the required cartway width is 24 feet. The applicant has requested a waiver of this requirement.

Waiver response: The applicant has requested a waiver to provide additional right-of-way and to widen the existing cartway. The existing right-of-way is 33 feet and the cartway width is 18 feet, which does not meet PennDOT's minimum required width for rural local roads (22 feet). The applicant indicates that there are no new employees and no new truck traffic anticipated as part of the proposed development. The access on Homestead Road will remain the same following the proposed development. However, since the existing road is well below Township and State standards for minimum road widths and the use of this property creates truck traffic, I am unable to support a waiver of this requirement.
34. If the Township determines that the road improvements required by 119-52.J(3)(a) are not feasible at the time of development, the developer shall deposit funds with the Township in the amount of 110% of the cost of improvements, or the applicant shall enter into an agreement that would defer road improvements to a time the Township would deem such road improvements as feasible (119-52.J(3)(d)).
35. Three monuments shall be spaced around the proposed project, with at least two of the monuments placed as consecutive corners along the street right-of-way (119-57.B).
36. Lot line markers shall be set at the street right-of-way, at all angles in property lines and at the intersection of all other property lines (119-57.D).

37. A note shall be provided on the plan indicating when the monuments and markers are to be set (119-57.H).
38. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C & 113-96).

Stormwater Management Ordinance

39. Evidence of NPDES and E&S permit approval by the Lancaster County Conservation District shall be provided (113-31.D, 113-45.B & 113-45.C).
40. To the maximum extent practicable, areas proposed for infiltration BMPs shall be protected from sedimentation and compaction during the construction phase to maintain maximum infiltration capacity (113-31.O). To the maximum extent practicable, infiltration BMPs shall not be constructed nor receive runoff from disturbed areas until the entire contributory drainage area to the infiltration BMP has achieved final stabilization (113-31.P). The plan shall show the provisions for protecting Infiltration Basin 1 during construction.
41. The proposed access and drainage easements shall be shown on the layout plan (or vice versa) to confirm the location of the easements. In addition, access to proposed Infiltration Basin 1 shall be provided (113-31.Q).
42. There is no undetained area shown in the General Information worksheet; however, there are undetained drainage areas shown on the drainage area maps (113-32).
43. The total "Proposed Impervious in DA (Acres)" shown in the General Information worksheet is inconsistent with the total impervious area ("Total To Infiltration Basin 1" and "Post Area A Undetained") shown in "Post Development Drainage Area" worksheet (113-32).
44. The Ordinance requires the loading ratio for the total drainage area to infiltration area to be less than 8:1 and the impervious drainage area to infiltration area to be less than 5:1 (113-32.A.(2)(c)). A total loading ratio of 19:1 and an impervious loading ratio of 10:1 are provided; a modification is being requested, however per Ordinance 312-2017 the Township Engineer can approve higher loading ratios.


Approval response: The loading ratio guideline is a recommendation intended to prevent infiltration of a substantial volume of water in a very small area (especially in Karst areas), to limit excessive depth of water in infiltration facilities and to avoid lengthy dewatering/drawdown times. The proposed Infiltration Basin 1 is not in a Karst area and has been designed to capture a depth of 1.76 feet for the 2 year storm with a dewatering time of less than 2 hours, which will mitigate each of the risk factors described above. Given these considerations, I have no objection to the higher ratios with the condition at least two (2) feet of amended soils are provided in Infiltration Basin 1 to help mitigate the extremely fast dewatering times.

45. There are two distinct points of interest that drain in opposite directions; however, they are being analyzed as one point. A separate pre/post-development analysis shall be provided for each point of interest (113-33).
46. Minimum floor elevations for all structures that would be affected by open conveyance systems where ponding may occur shall be two feet above the one-hundred-year water surface elevation (113-34.F). The proposed building is less than two feet above Inlets I-B2 and I-B3. The first floor elevation of the Seed Processing Building shall be provided.
47. The pipe system conveying runoff to Proposed Infiltration Basin 1 shall be designed for the 100-year storm (113-34.G(3)).

48. The plans shall indicate where the downspouts are located to confirm the Post To Infiltration Basin 1 drainage area and I-B1 subdrainage area boundaries are correct (113-35.B).
49. The impervious areas for Inlets I-B2 and I-B3 shown in the "Post Development Drainage Areas" worksheet are inconsistent with the impervious area shown on the sub drainage area map for Inlets I-B2 and I-B3 (113-35.B).
50. The data used to determine the rainfall intensity from NOAA Atlas 14 data or PennDOT Publication 584, PennDOT Drainage Manual, shall be provided (113-35.D).
51. Post-development runoff coefficients for pipes that convey off-site discharges shall be based on winter or poor land use conditions (113-35.G).
52. Runoff coefficients for off-site runoff that is routed through rate control facilities shall be based on actual land use assuming winter or poor land conditions (113-35.H(4)).
53. The plans shall show the proposed top width, interior and exterior side slopes for the infiltration basin embankment (113-37.A(1)).
54. The applicant has requested a waiver of the requirement to provide a maximum interior side slope of 3:1 for aboveground storage facilities; however, since proposed Infiltration Basin 1 is less than 2 feet deep this waiver is not needed. The modification request letter shall be updated to remove the reference to this request (113-37.A(1)(a)[2]).
55. A note shall be added to the plan to specify that the embankment fill material shall be free of roots, stumps, wood, rubbish, stones greater than six inches, frozen or other objectionable materials (113-37.A.(3)(c)).
56. The landowner shall execute the final documents prior to final plan approval (113-41.B).
57. A note shall be added to the plan informing the owner that the Township shall have the right of entry for the purposes of inspecting all stormwater conveyance, treatment, or storage facilities (113-43.G).
58. Site Note 14 shall provide the instrument number of any previously recorded stormwater management agreements (113-43.I(6)).
59. Construction details shall be provided for the clay core/key trench shown in the I-A1 to FES-A vertical profile (113-43.J(5)). The extents of the clay core/key trench shall be shown on the plans.
60. The pipe diameter of the Outfall Culvert shown in the Outlet Structure Configuration (15") in the PCSM Report is inconsistent with the pipe diameter shown on the plans (12") (113-43.J(5)).
61. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,

 Digitally signed by Benjamin S. Craddock
DN: C=US,
E=bencraddock@lancastercivil.com,
O=Lancaster Civil Engineering Co.,
CN=Benjamin S. Craddock
Date: 2025.04.24 10:57:53-04'00'

Benjamin S. Craddock, PE, President

LANCASTER CIVIL

April 24, 2025

Page 5 of 6

cc: Jackie Wilbern, Township Zoning Officer (via email)
Justin Evans, Assistant Zoning Officer (via email)
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Renee Addleman, Planner, LCPC (via email)
Brian Cooley, D.C. Gohn (via email)

SURVEYOR'S NOTES/REPORT:

1. THE BEARINGS SHOWN HEREON, ARE RELATIVE TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SPCS), SOUTH ZONE (3702), NORTH AMERICAN DATUM OF 1983 (NAD 83, 2011) BASED ON NGS OPUS SOLUTION
2. THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 18 BASED ON SAID OPUS SOLUTION.
- SITE BENCHMARK 1: SPRAY PAINTED X MARK ON CONCRETE SHOWN BY CLIENT TO BE THE NEW BLDG FEE AN ELEVATION OF 467.40 FT. (NAVD88)
- SITE BENCHMARK 2: BOXCUT ON THE TOP CORNER OF A CONCRETE WALL AN ELEVATION OF 468.08 FT. (NAVD88)
3. THE FIELD SURVEY WAS MADE ON THE GROUND OCTOBER 8, 2024, UTILIZING BASE/ROVER RTK GPS AND ROBOTIC TOTAL STATION.
4. BOUNDARY OF THIS PROPERTY SHOWN IS BASED UPON DEED OF RECORD 5750815 AND RECORDED PLANS J-94-38, J-177-138, J-203-141 AND 2011-0237-J REFERENCED AT THE LANCASTER COUNTY COURTHOUSE ALONG WITH VARIOUS ADJOINING DCG SURVEYS.
5. THE SUBJECT TRACT IS SUBJECT TO EASEMENTS SET FORTH IN PRIOR RECORDED PLANS AND DOCUMENTS.
6. THIS PROPERTY WAS SURVEYED USING THE CURRENT DEEDS OF RECORD AND WITHOUT THE BENEFIT OF A "TITLE SEARCH". THIS SURVEY DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".
7. THE AREA OUTSIDE OF THE SUBJECT BOUNDARY HAS BEEN SUPPLEMENTED WITH PLANIMETRICS FROM LANCASTER COUNTY GIS AND PENNSYLVANIA SPATIAL DATA ACCESS (PASDA).
8. OWNERSHIP INFORMATION AND DEED REFERENCES SHOWN HEREON WERE COMPILED FROM THE LANCASTER COUNTY RECORDER OF DEEDS WEBSITE.

SOILS CLASSIFICATIONS:

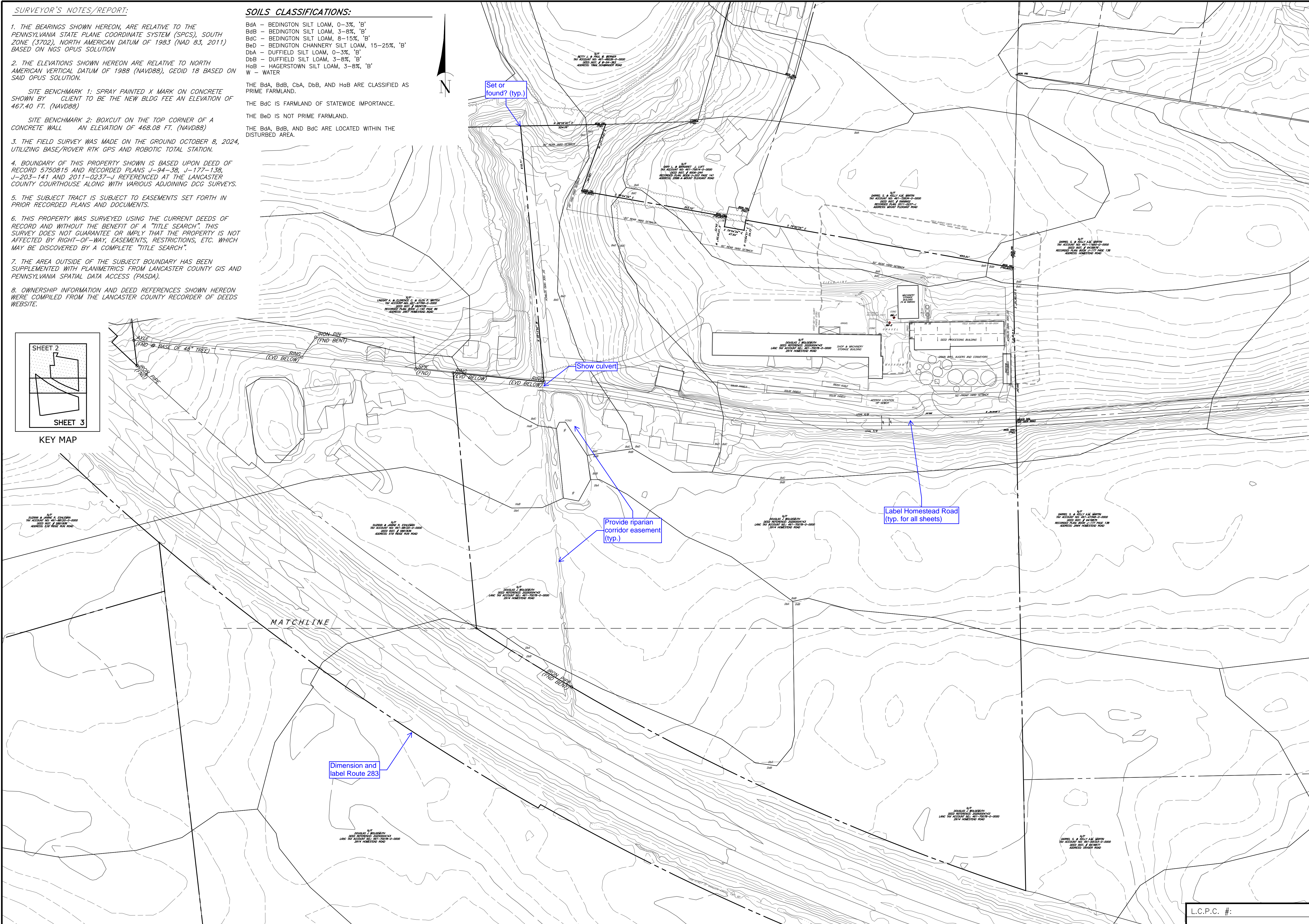
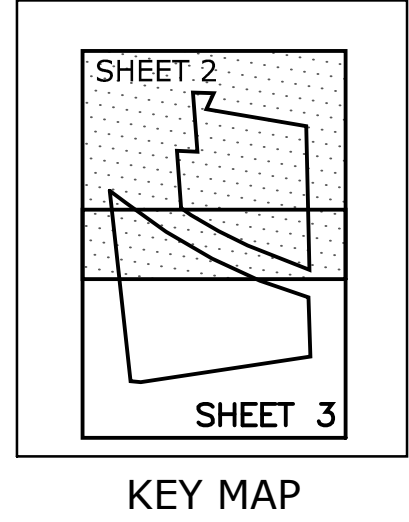
BdA - BEDINGTON SILT LOAM, 0-3%, 'B'
BdB - BEDINGTON SILT LOAM, 3-8%, 'B'
BdC - BEDINGTON SILT LOAM, 8-15%, 'B'
Bed - BEDINGTON CHANNERY SILT LOAM, 15-25%, 'B'
DbA - DUFFIELD SILT LOAM, 0-3%, 'B'
DbB - DUFFIELD SILT LOAM, 3-8%, 'B'
HoB - HAGERSTOWN SILT LOAM, 3-8%, 'B'
W - WATER

THE BdA, BdB, CbA, DbB, AND HoB ARE CLASSIFIED AS PRIME FARMLAND.

THE BdC IS FARMLAND OF STATEWIDE IMPORTANCE.

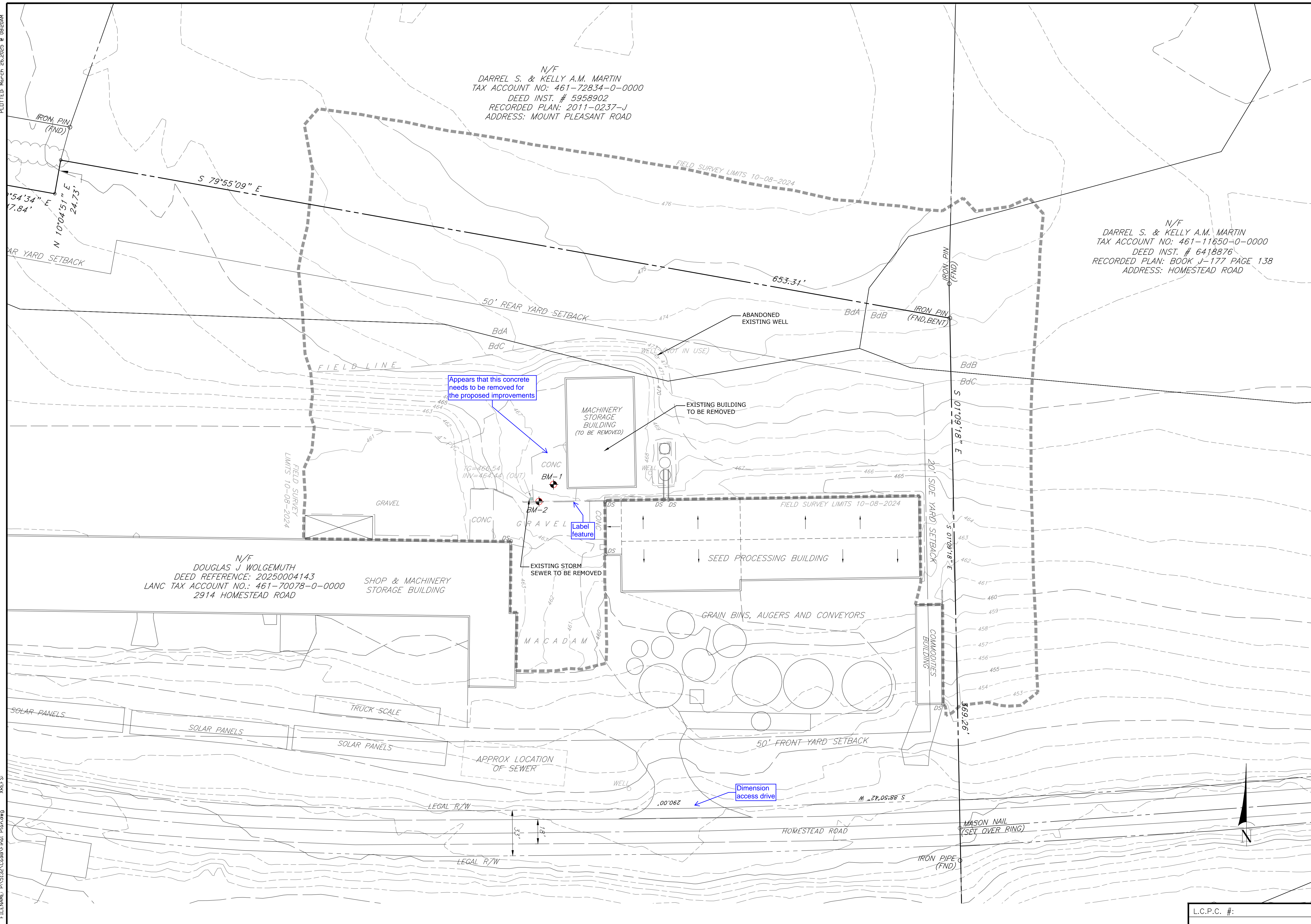
THE Bed IS NOT PRIME FARMLAND.

THE BdA, BdB, AND BdC ARE LOCATED WITHIN THE DISTURBED AREA.



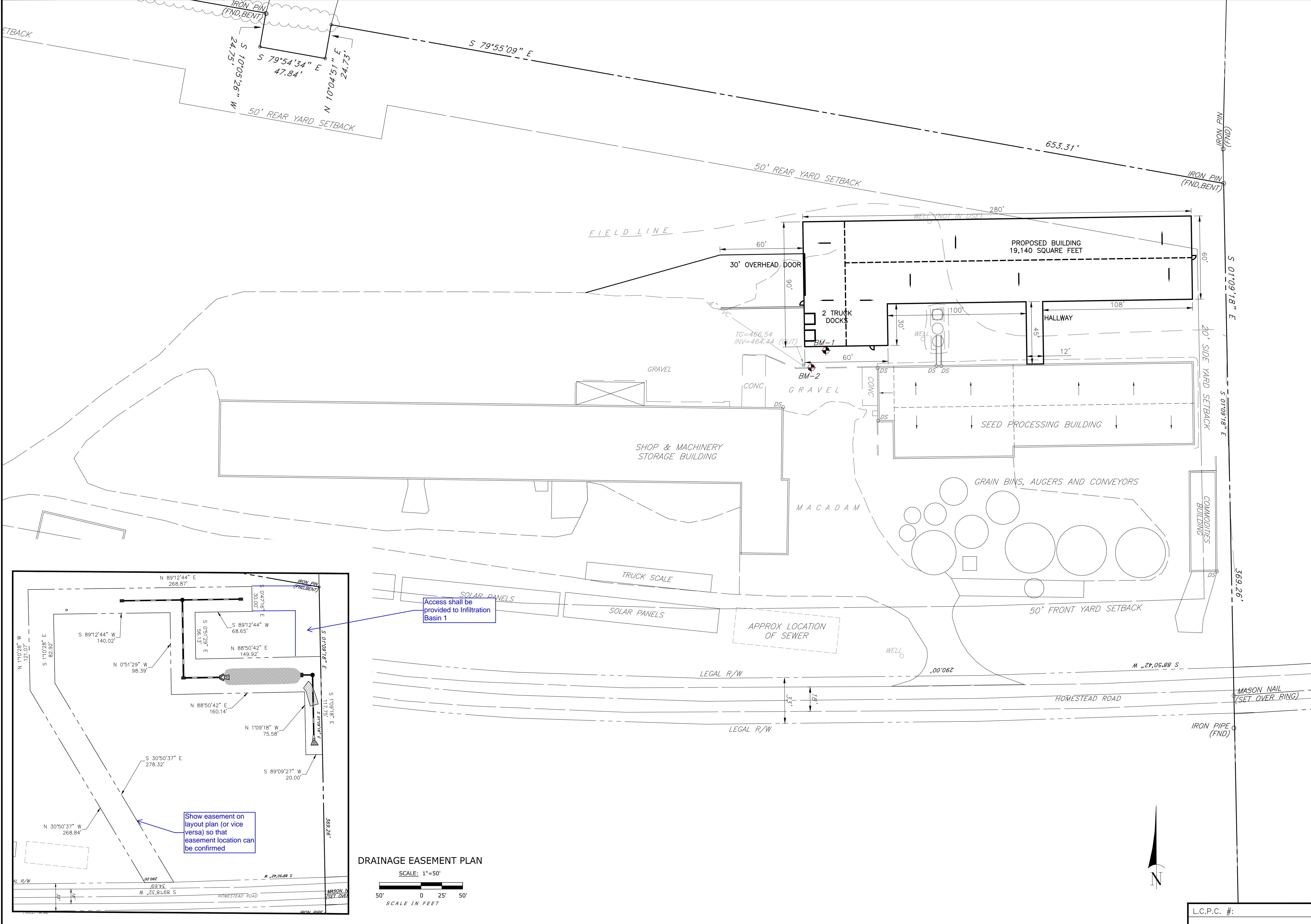
OWNER		NAME: DOUGLAS J WOLGENUTH ADDRESS: 311 SNYDER ROAD MOUNT JOY, PA 17552 TELEPHONE: 717-405-7563 SITE ADDRESS: 2914 HOMESTEAD ROAD MOUNT JOY, PA 17552 SOURCE OF TITLE: DEED REF. 20250004143 LANCASTER TAX ACCT NO: 461-70078-0-0000	
PROJECT NO.: 5132-50 DATE: MARCH 24, 2025 DRAWN BY: BRC CHECKED BY: BRC SCALE: 1"=100' 100' 0 50' 100' SCALE IN FEET		dc gohn Associates, Inc. 32 Mount Joy Street Po Box 128 Mount Joy, PA 17552 Ph- (717) 653-5308 www.dcgoin.com Surveyors - Engineers - Landscape Architects	
OVERALL EXISTING CONDITIONS PLAN PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA		DRAWING #: CG-4053 SHEET #: 2 OF 12	





EXISTING CONDITIONS/DEMO PLAN		PROJECT NO.: 5132-50
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN		DATE: MARCH 24, 2025
FOR		DRAWN BY: BRC
LANCASTER SEED SALES		CHECKED BY: BRC
2914 HOMESTEAD ROAD		SCALE: 1"=30'
MOUNT JOY TOWNSHIP		
LANCASTER COUNTY, PENNSYLVANIA		30' 15' 30'
		SCALE IN FEET
OWNER: DOUGLAS J WOLGENUTH		
NAME: 311 SNYDER ROAD		
ADDRESS: MOUNT JOY, PA 17552		
TELEPHONE: 717-405-7563		
SITE ADDRESS: 2914 HOMESTEAD ROAD		
MOUNT JOY, PA 17552		
SOURCE OF TITLE: DEED REF. 20250004143		
LANCASTER TAX ACCT NO: 461-70078-0-0000		
		REVISIONS
		DATE

FILENAME: P:\3132\Coast\Final Planning XREF.S: PLOTTED: March 26, 2025 @ 09:50AM



OWNER	
NAME:	DOUGLAS J WOLGENUTH
ADDRESS:	311 SNYDER ROAD
TELEPHONE:	717-405-7563
SITE ADDRESS:	2914 HOMESTEAD ROAD
	MOUNT JOY, PA 17552
SOURCE OF TITLE: DEED REF. 2025004143	
LANCASTER TAX ACCT NO: 461-70078-0-0000	
REVISIONS	
	DATE

dc gohn Associates, Inc.
Surveyors - Engineers - Landscape Architects

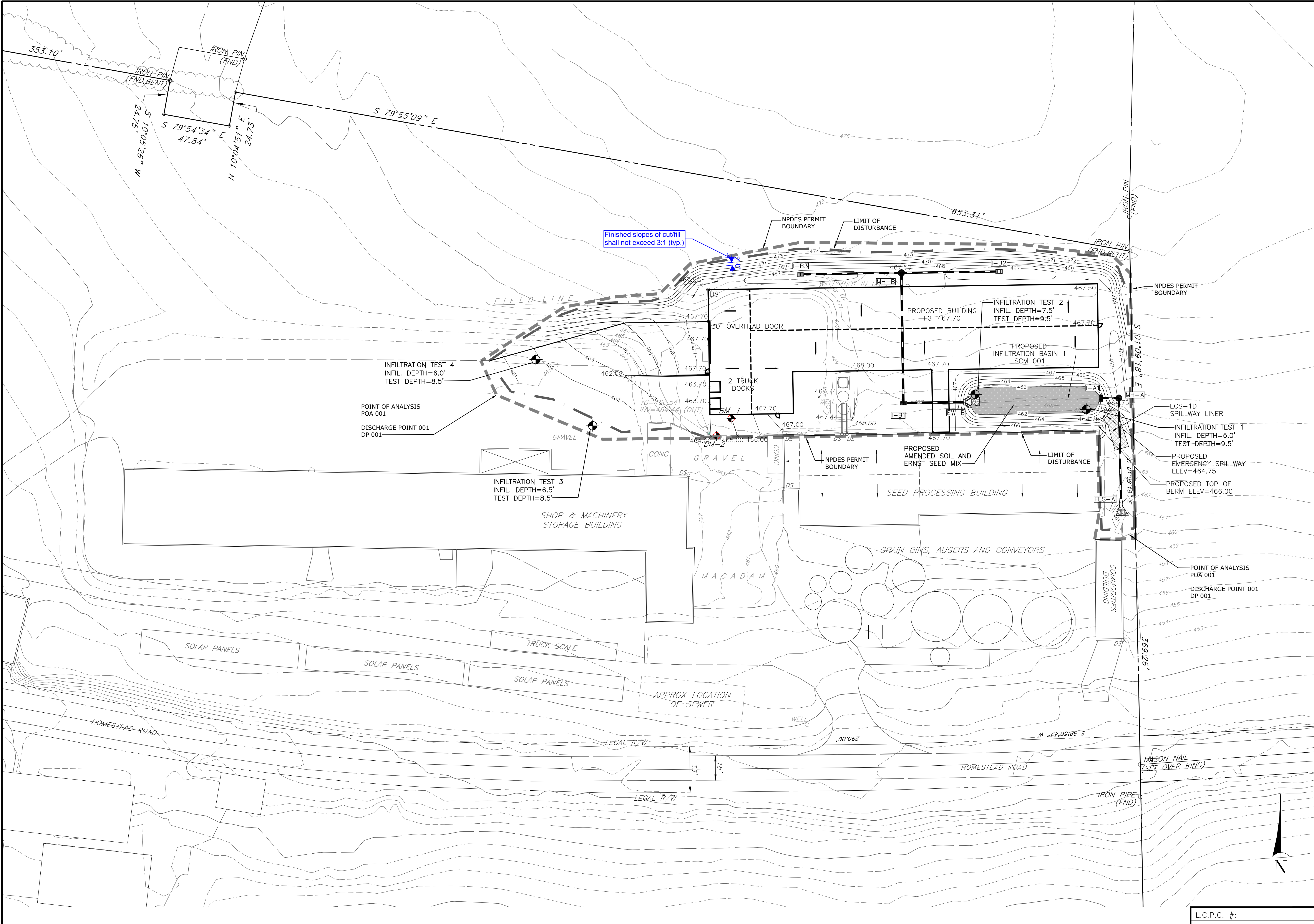
PROJECT NO.:	5132-50
DATE:	MARCH 24, 2025
DRAWN BY:	BRC
CHECKED BY:	BRC
SCALE:	1"=30'

LAYOUT AND EASEMENT PLAN	
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN	
FOR	
LANCASTER SEED SALES	
2914 HOMESTEAD ROAD	
MOUNT JOY TOWNSHIP	
LANCASTER COUNTY, PENNSYLVANIA	
DRAWING #: CG-4053	
SHEET #: 5 OF 12	

L.C.P.C. #:

FILENAME: P:\3132\Coord\Final Planning XREFS:

PLOTTED: March 26, 2025 @ 09:20AM



L.C.P.C. #:

FINAL GRADING / PCSM PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
LANCASTER SEED SALES
2914 HOMESTEAD ROAD
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PENNSYLVANIA

DRAWING #: CG-4053
SHEET #: 6 OF 12

PROJECT NO.: 5132-50
DATE: MARCH 24, 2025
DRAWN BY: BRC
CHECKED BY: BRC
SCALE: 1"=30'
30' 15' 0' 15' 30'
SCALE IN FEET

dc gohn
Associates, Inc.
Surveyors - Engineers - Landscape Architects
32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552
Ph- (717) 653-5308
www.dcgohn.com

OWNER
NAME: DOUGLAS J WOLGENUTH
ADDRESS: 311 SNYDER ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563
SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552
SOURCE OF TITLE: DEED REF. 20250004143
LANCASTER TAX ACCT NO: 461-70078-0-0000

REVISIONS

DATE

L.C.P.C. #:	DRAWING #: CG-4053
	SHEET #: 8 OF 12



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
LANCASTER SEED SALES
2914 HOMESTEAD ROAD
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PENNSYLVANIA

DRAWING #: CG-4053

SHEET #: 9 OF 12

PROJECT NO.: 5132-50

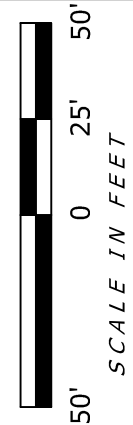
DATE: MARCH 24, 2025

DRAWN BY: BPC

DRAWN BY: BRC

CHECKED BY: BRC

SCALE: 1"=50'



50' 0 25' 50'

SCALE IN FEET

dcgohn
Associates, Inc.

32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552
Ph- (717) 653-5308
www.dcgohn.com

Surveyors - Engineers - Landscape Architects

OWNER

NAME: DOUGLAS J WOLGEMUTH
ADDRESS: 311 SNYDER ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563

SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552

SOURCE OF TITLE: DEED REF. 20250004143
LANCASTER TAX ACCT NO: 461-70078-0-0000

INDIVIDUAL PCSM BMP INFORMATION

PCSM BMP NAME: INFILTRATION BASIN 1
 PCSM BMP DESCRIPTION/TYPE: INFILTRATION BASIN
 BMP LENGTH (FT) (IF APPLICABLE): 92 FEET
 BMP AREA (AC): 0.033 ACRES
 BMP DEPTH (FT): 1.76 FEET
 VOLUME OF STORMWATER TREATED (CF): 4,062 CF
 VOLUME REDUCTION (CF) (IF APPLICABLE): 4,437 CF
 OWNER NAME: LANCASTER SEED SALES
 OWNER ADDRESS: 311 SNYDER ROAD MOUNT JOY, PA 17552
 PROJECT SITE ADDRESS: 2914 HOMESTEAD ROAD MOUNT JOY, PA 17552
 OWNER PHONE: 717-405-7563

Inconsistent w/ proposed design

PCSM BMP #: 1
 ACRES TREATED: 0.75 AC
 IMPERVIOUS AREA TREATED (AC): 0.40 AC
 LIFECYCLE (YEARS): PERPETUITY
 NPDES PERMIT NUMBER: -----
 RECEIVING WATERBODY: TRIB 07927 OF DONEGAL CREEK, CWF, MF

PCSM BMP INFORMATION
 NOT TO SCALE

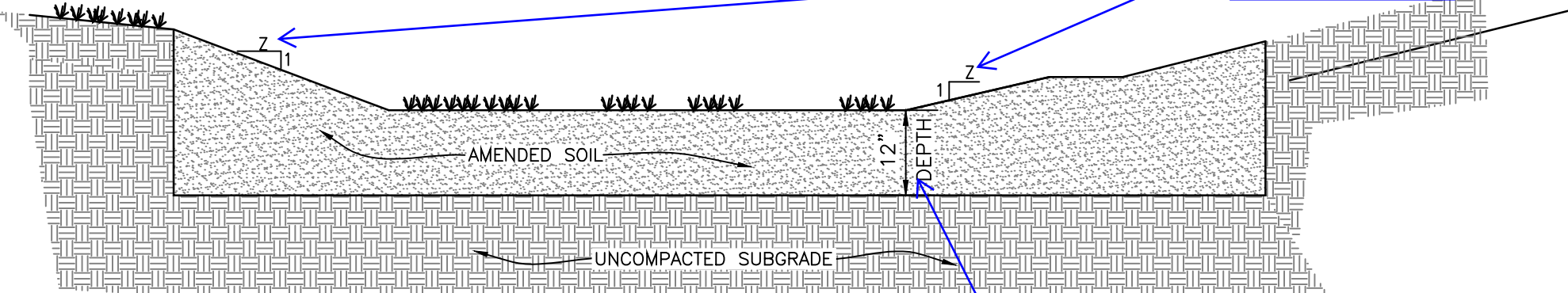
BMP ID.	INSPECTION FREQUENCY	OPERATION AND MAINTENANCE PROCEDURE
INFILTRATION BASIN	TWICE PER YEAR	<ul style="list-style-type: none"> TO ASSURE PROPER OPERATION AND STRUCTURAL STABILITY, THE OWNER SHALL INSPECT THE INFILTRATION BASIN AT LEAST ONCE EACH APRIL, AT LEAST ONCE EACH OCTOBER, AND WITHIN 48 HOURS AFTER EVERY RAINFALL EVENT EXCEEDING 1 INCH OF PRECIPITATION IN 24 HOURS. INSPECT FOR EROSION PROBLEMS, VEGETATION DAMAGE, SEDIMENT AND DEBRIS ACCUMULATION, AND LITTER. REMOVE ACCUMULATIONS OF SEDIMENT >3 INCHES IN DEPTH AND IMMEDIATELY STABILIZE DISTURBED AREAS. REMOVE SEDIMENT DURING PERIODS WHEN RUTTING WILL BE MINIMAL. PRUNE VEGETATION AND WEED GARDENS TO ENSURE SAFETY, AESTHETICS, PROPER OPERATION, WEED AND INVASIVE/NOXIOUS VEGETATION SUPPRESSION. REMOVE INVASIVE/NOXIOUS PLANTS AND IMMEDIATELY STABILIZE DISTURBED AREAS. REMOVE LITTER, DEBRIS, AND DETRITUS. A WRITTEN REPORT IS TO BE COMPLETED WHICH DOCUMENTS EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITIES
FLEXSTORM INLET FILTER (INLETS I-B1, I-B2, AND I-B3)	INSPECTION TO OCCUR FOLLOWING ANY RAIN EVENT >½"	<ul style="list-style-type: none"> POST CONSTRUCTION INSPECTIONS SHOULD OCCUR 4 TIMES PER YEAR. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED. REMOVE THE GRATE, ENGAGE THE LIFTING BARS WITH THE FLEXSTORM REMOVAL TOOL, AND LIFT FROM DRAINAGE STRUCTURE. DISPOSE OF SEDIMENT OR DEBRIS.

PCSM OPERATION AND MAINTENANCE NOTES
 NOT TO SCALE

Infiltration Basin (typ.)

- RAIN GARDEN CONSTRUCTION NOTES:
- LIMIT COMPACTION OVER THE RAIN GARDEN AREA. MAINTAIN ORANGE CONSTRUCTION FENCING TO THE EXTENT PRACTICAL.
 - EXCAVATE RAIN GARDEN TO 12" BELOW PROPOSED BOTTOM ELEVATION OF AMENDED SOIL AS NOTED ON THE PLANS. EXCAVATION OF THE RAIN GARDENS SHOULD BE DONE WITH EQUIPMENT OUTSIDE OF THE RAIN GARDEN AREA TO THE EXTENT PRACTICAL.
 - SCARIFY EXCAVATED BOTTOM SUBGRADE OF RAIN GARDEN A MINIMUM 12" WITH EQUIPMENT OUTSIDE OF THE RAIN GARDENS AREAS.
 - INSTALL UNDERDRAIN AND ASSOCIATED STONE TRENCH.
 - INSTALL AMENDED SOIL IN 6-INCH MAXIMUM LIFTS AND LIGHTLY COMPACT (TAMP WITH BACKHOE BUCKET OR BY HAND). KEEP EQUIPMENT MOVEMENT OVER AMENDED SOIL TO A MINIMUM AND DO NOT OVERCOMPACT. PLANT ERNST SEED MIX AS NOTED ON THE PLANS PER MANUFACTURER'S SPECIFICATIONS.

- GENERAL RAIN GARDEN NOTES:
- THE AMENDED SOIL SHALL BE A UNIFORM MIXTURE CONSISTING OF 20% SAND, 60% TOPSOIL, AND 20% COMPOST. THE COMPOST SHALL BE APPROVED LANDSCAPING COMPOST COMPRISED OF NATURAL MATERIALS AND WITH AN ORGANIC MATTER CONTENT OF 35% TO 65% AS DETERMINED BY THE LOSS ON IGNITION METHOD. THE TOPSOIL SHALL BE FRABLE LOAMY SOIL AS CLASSIFIED BY THE USDA, FREE OF WEEDS, HERBICIDES, PETROLEUM-BASED MATERIALS, ANY OTHER DELETERIOUS MATERIALS, ROCKS, AND DEBRIS. THE TOPSOIL SHALL HAVE A PH OF BETWEEN 5.5 AND 8.0. 100% OF THE TOPSOIL SHALL PASS THROUGH A 3/4" SCREEN.
 - CONTRACTOR TO PROVIDE AN ENGINEERED PROPRIETARY AMENDED SOILS MIX FROM A PRE-MIXED VALID SOURCE. COMPLETE WITH CERTIFIED SPECIFICATIONS AND TESTING THAT VERIFIES THE CLAIMED VOID RATIOS TO VERIFY THE CLAIMED STORAGE VOLUME CAPACITY OF THE AMENDED SOILS. IN THE EVENT THAT THE ON-SITE TOPSOIL IS USED, CONTRACTOR TO PROVIDE SPECIFICATIONS FOR THE SAND AND COMPOST FOR REVIEW BY DC GOHN ASSOCIATES. THE ON-SITE MIX SHALL BE TESTED THAT VERIFIES THE VOID RATIOS FOR VOLUME STORAGE CAPACITY OF THE AMENDED SOILS.
 - IN THE EVENT THAT GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION IN THE AREA OF THE PROPOSED RAIN GARDENS, CONTRACTOR TO CONTACT GEOTECHNICAL ENGINEER AND DC GOHN PRIOR TO PROCEEDING WITH CONSTRUCTION. A REVISED BMP DESIGN WILL NEED TO BE REVIEWED BY THE TOWNSHIP PRIOR TO COMPLETING CONSTRUCTION OF THE BMP.
 - NOTATION FOR INFILTRATION TESTING FOR THE BOTTOM SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 SHOULD BE PROVIDED CLEARLY STATING THAT THE TESTING IS TO TAKE PLACE PRIOR TO ANY BACKFILLING OF AMENDED SOILS OR PERFORATED UNDERDRAIN PIPE. INFILTRATION TESTING SHALL BE PERFORMED AT THE SUBGRADE OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 PRIOR TO PLACEMENT OF FILTRATION MEDIA. THE INFILTRATION TEST RESULTS SHALL BE PROVIDED TO DC GOHN ASSOCIATES TO VERIFY THE RATES WITH THE STORMWATER DESIGN. IF THE INFILTRATION TESTING RESULTS ARE LESS THAN THE ORIGINAL INFILTRATION TESTING RESULTS PRIOR TO CONSTRUCTION THE AMENDED SOILS AREAS OF RAIN GARDENS 1 WILL NEED TO INCLUDE ADDITIONAL AMENDED SOILS MEDIA TILLED INTO THE BOTTOM OF THE AMENDED SOILS AREAS OF RAIN GARDENS 1 AND/OR RESIZE RAIN GARDENS 1 IF THE INFILTRATION RATES POST CONSTRUCTION CANNOT BE OBTAINED.
 - THE EMBANKMENT FILL MATERIAL SHALL BE TAKEN FROM AN APPROPRIATE BORROW AREA WHICH SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN SIX INCHES, FROZEN OR OTHER OBJECTIONABLE MATERIALS.



Specify side slopes for embankment

Provide 24" of amended soil

INFILTRATION BASIN DETAIL
 NOT TO SCALE

STORM WATER MANAGEMENT FACILITIES (ERNST 180-1 SEED MIX)

SITE PREPARATION NOTES:

- INVASIVE SPECIES, PARTICULARLY THOSE THAT WILL ADAPT TO WET CONDITIONS, SHOULD BE REMOVED OR SPRAYED BEFORE THEY BECOME INCORPORATED INTO THE SITE. NORMAL VEGETATION CAN BE WORKED INTO THE TOPSOIL, WHICH SHOULD BE STOCKPILED UNTIL THE FINAL GRADE HAS BEEN ESTABLISHED.
- WITH THE ENGINEER'S SPECIFICATIONS AND DIMENSIONS IN HAND, ON-SITE CONSTRUCTION OF THE BERM AND OUTLETS MUST BE EXECUTED CAREFULLY IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY. THE PLANT GROWTH AREAS SHOULD BE LOOSE AND FRABLE, HIGH IN ORGANIC MATTER, AND COMPLETED WITHOUT COMPACTIONS FROM HEAVY EQUIPMENT. BY USING THE "DIG AND DROP" METHOD, ONE CAN USE AN EXCAVATOR TO DIG AND FROM EACH AREA OF THE BOTTOM SOIL IN A LOOSE MANNER. AT THIS POINT, ONE CAN INCORPORATE LIME, COMPOSTED LEAVES, AND/OR GRASS CLIPPINGS. THE EXCAVATION MACHINE DOES NOT MOVE OVER THE FINISHED SURFACE, THUS AVOIDING UNNECESSARY COMPACTION. NATIVE VEGETATION CAN BE PLANTED OR SEEDED OVER THIS UNEVEN, ABSORBENT SURFACE.

SEEDING AND PLANTING METHODS NOTES:

- SEEDING AND PLANTING SHOULD BEGIN IMMEDIATELY UPON COMPLETION OF THE STRUCTURE WHEN THE SOIL IS STILL FRABLE AND BEFORE INVASIVE WEEDS EMERGE. PLAN SEEDING AND PLANTING BEFORE THE BASIN IS FLOODED, OR ALLOW THE BASIN TO DRAIN TO A FEW INCHES BEFORE SEEDING. BROADCAST SEED EVENLY OVER EACH UNIT BY HAND SEEDING OR HYDROSEEDING. SEEDING RATES ARE GENERALLY LOW (1/2 LB PER 1,000 SQ FT). THE USE OF A SEED FILLER, I.E. PAM-12, CAN BE USED TO CREATE A MIX OF 10 LB PER 1,000 SQ FT (I.E. 9-1/2 LB OF PAM-12 MIXED WITH 1/2 LB OF SEED), WHICH CAN BE BROADCAST EVENLY OVER THE AREA. BARLEY, OATS, OR RYE CAN PROVIDE TEMPORARY VEGETATION TO PROTECT THE SOIL IN STORM WATER MANAGEMENT FACILITIES UNTIL PERMANENT VEGETATION CAN BE ESTABLISHED. THE USE OF NATIVE SPECIES, I.E. VIRGINIA WILD RYE, CAN CREATE AN INTERMEDIATE VEGETATIVE COVE THAT SUCCEEDS TO NATIVE LONG-TERM VEGETATION. STRAW MULCH OR STRAW COCONUT MATS ARE FREQUENTLY USED TO CONTROL EROSION AND PROTECT EMERGING SEEDLINGS FROM EXTREME TEMPERATURES AND DRYING OUT. MULCH SHOULD BE SPARSE TO ALLOW SUNLIGHT TO REACH THE GROUND.
- TRANSPLANTED SEEDLINGS AND SHRUBS NEED TEMPORARY WATER UNTIL THEY BECOME WELL ROOTED. IRRIGATION OF SEEDED AREAS IS OF VALUE UNTIL SEEDLINGS BECOME ESTABLISHED.

GENERAL MAINTENANCE NOTES:

- IN ADDITION TO STRUCTURAL MAINTENANCE, SILTATION NEEDS TO BE REMOVED AS NEEDED. PLANTS NEED TO BE TRIMMED BACK TO MAINTAIN AESTHETIC VALUE AND INVASIVE SPECIES NEED TO BE CONTROLLED. CLOSE MOWING OR EXTENSIVE CHEMICAL USE IS NOT CONDUCTIVE TO WATER QUALITY IMPROVEMENT OR WILDLIFE HABITAT.

ERNST CONSERVATION SEEDS

ERNMX # ERNMX-180-1

SEEDING RATE 20 lbs per acre, or 1/2 lb per 1,000 sq ft

MIX TYPE Rain Garden Grass Mix

40.4% Schizachyrium scoparium, Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)

20.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype)

20.0% Elymus virginicus, Madison-NY Ecotype (Virginia Wildrye, Madison-NY Ecotype)

9.0% Panicum clandestinum, Tioga (Deertongue, Tioga)

5.5% Panicum rigidulum, PA Ecotype (Redtop Panicgrass, PA Ecotype)

4.0% Chasmanthium latifolium, WV Ecotype (River Oats, WV Ecotype)

0.5% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)

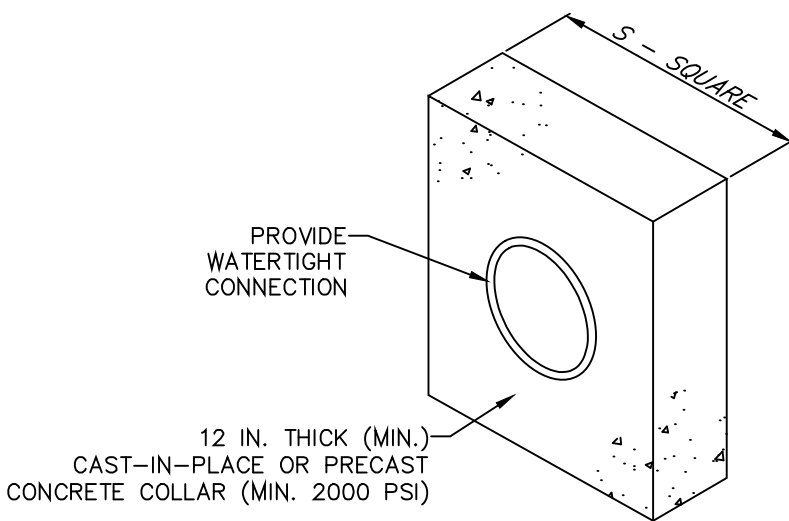
0.3% Juncus effusus (Soft Rush)

0.3% Juncus tenuis, PA Ecotype (Path Rush, PA Ecotype)

Total 100%

ERNST SEED MIX NOTES
 NOT TO SCALE

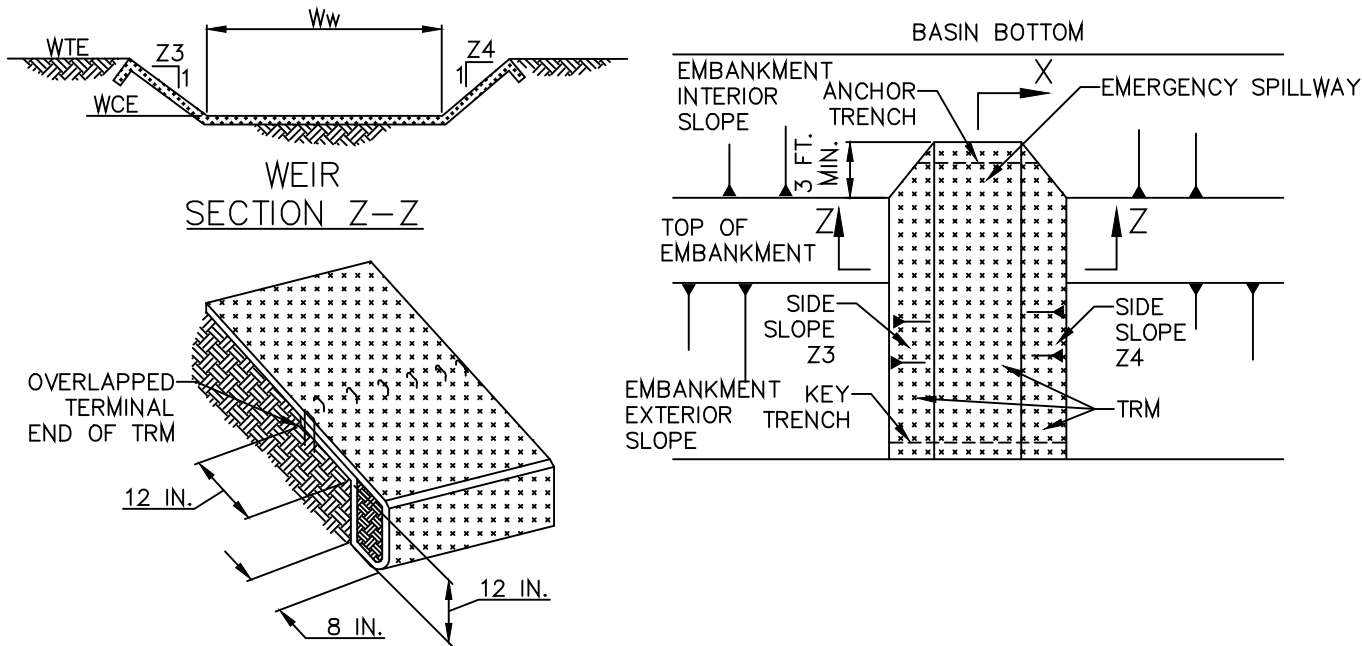
CONCRETE ANTI-SEEP COLLAR DETAIL
 NOT TO SCALE



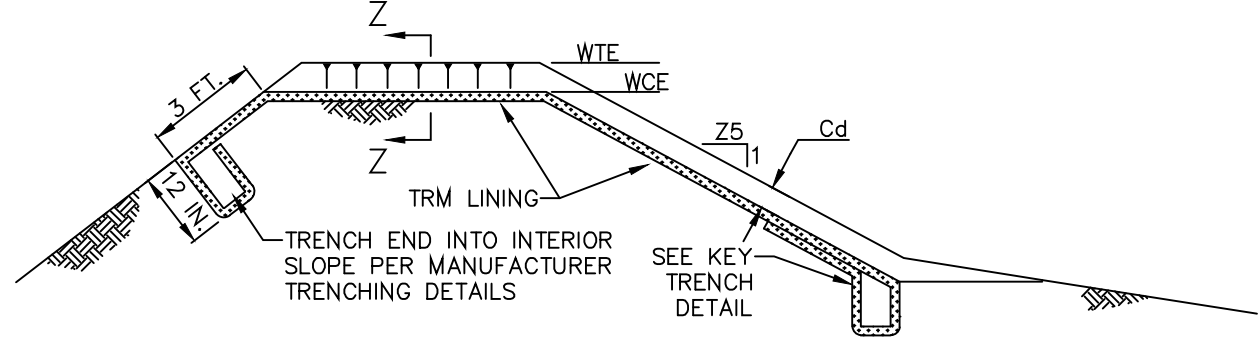
NOTES:

- ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
- COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

BASIN NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISE TO TOP OF FIRST COLLAR (FT)	COLLAR SPACING (FT)
INFILTRATION BASIN 1	12	35.3	1	6	N/A



KEY TRENCH AT TOE OF SLOPE OF SPILLWAY



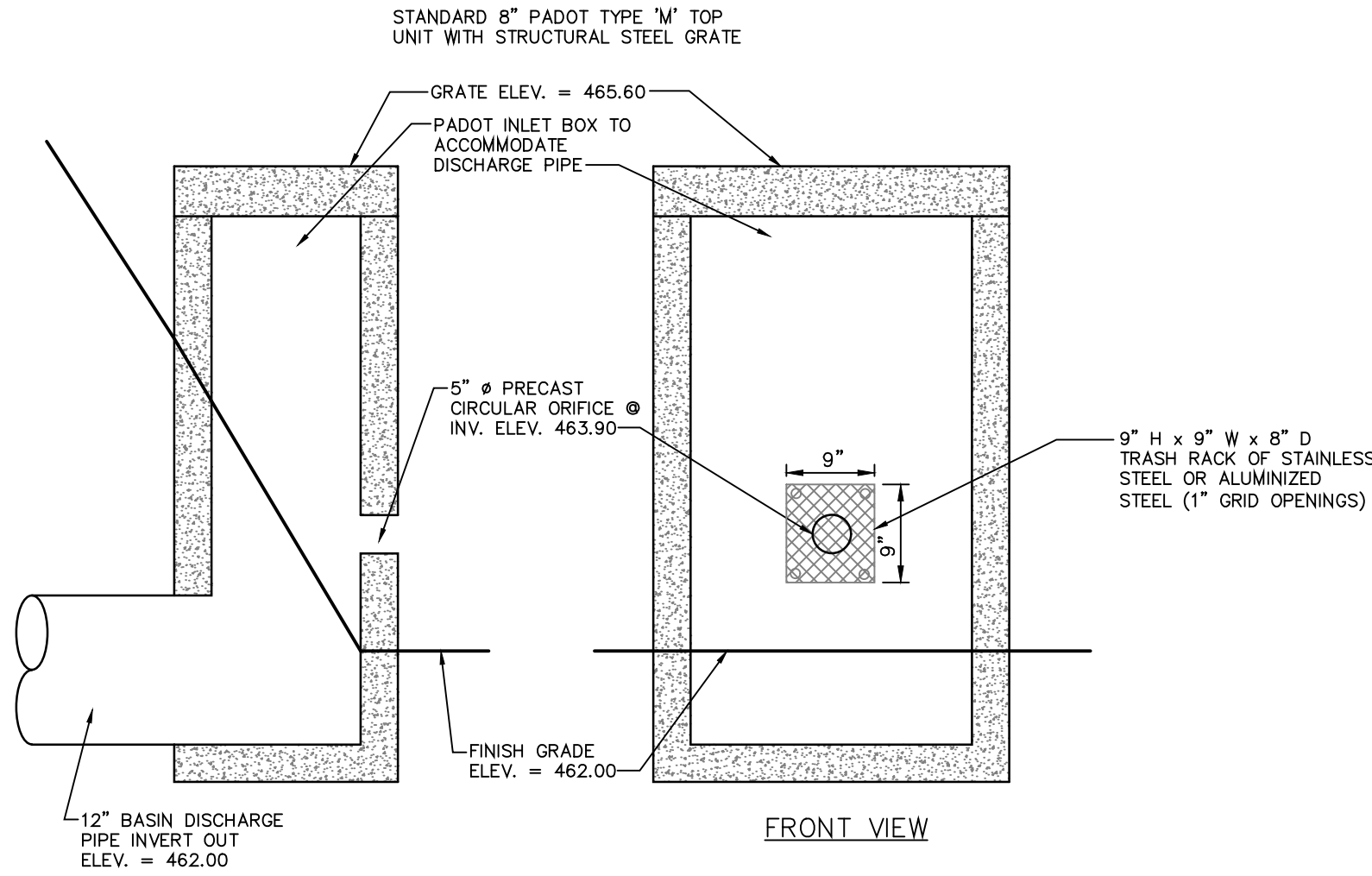
EMBANKMENT SECTION ALONG EMERGENCY SPILLWAY
 SECTION X-X

BASIN NO.	WEIR				LINING	CHANNEL		
	Z3 (FT)	Z4 (FT)	TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)	TRM TYPE	Z5 (FT)	DEPTH Cd (FT)
INFILTRATION BASIN 1	2	2	466.00	464.75	10	ECS-1D	33	1.0

NOTES:

- HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
- DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

EMERGENCY SPILLWAY DETAIL
 NOT TO SCALE



SIDE VIEW

FRONT VIEW

INFILTRATION BASIN 1 OUTLET STRUCTURE (I-A1)
 NOT TO SCALE

L.C.P.C. #:

OWNER	NAME	ADDRESS	TELEPHONE	SITE ADDRESS	SOURCE OF TITLE	DEED REF.	LANCASTER TAX ACCT NO.	REVISIONS	DATE
	DOUGLAS J WOLGENUTH	311 SNYDER ROAD	MOUNT JOY, PA 17552						
			717-405-7563						
				2914 HOMESTEAD ROAD					
				MOUNT JOY, PA 17552					

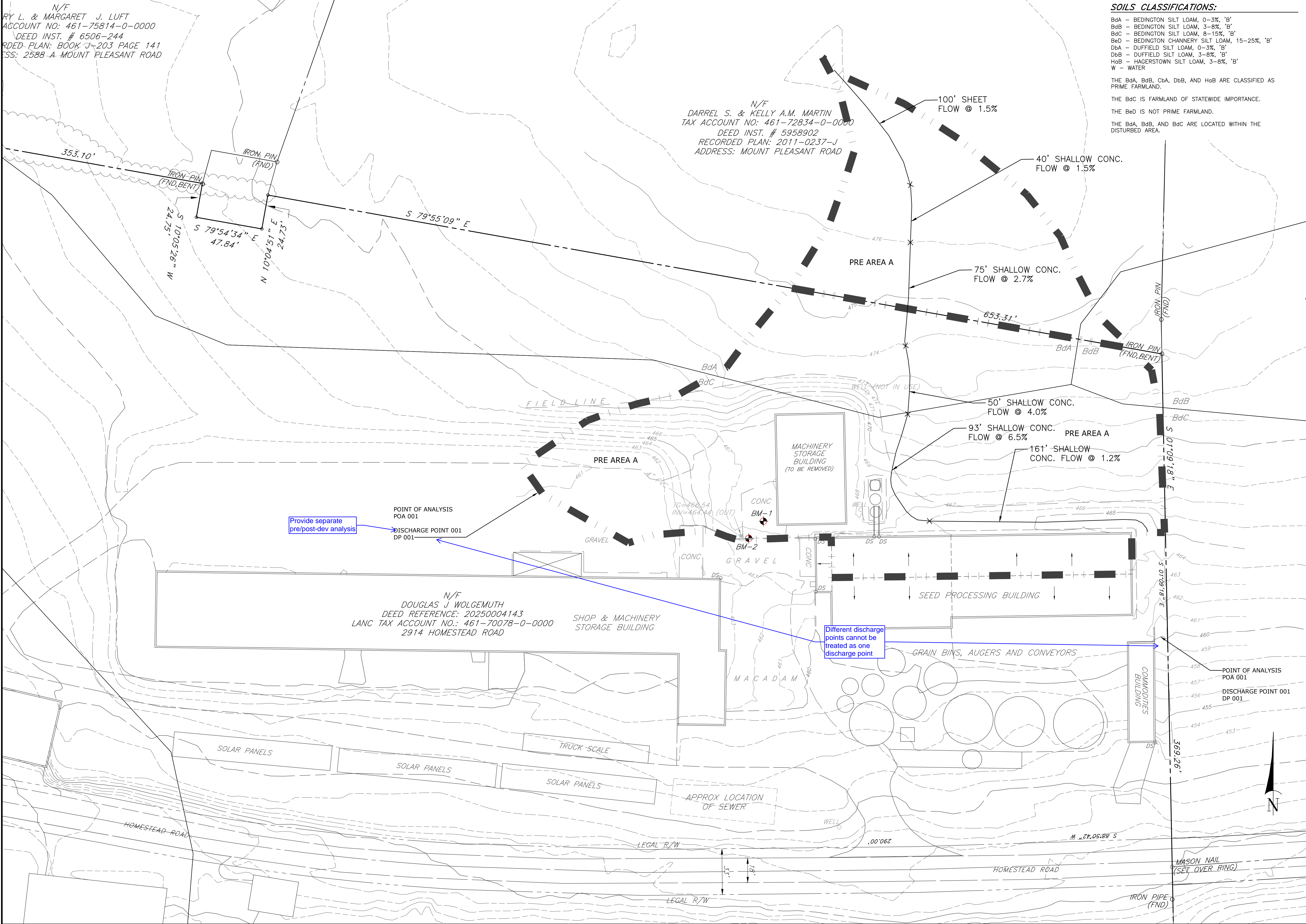
32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552
Ph- (717) 653-5308
www.dcgohn.com

dc gohn Associates, Inc.

Surveyors - Engineers - Landscape Architects

PROJECT NO.: 5132-50	DATE: MARCH 24, 2025	DRAWN BY: BRC	CHECKED BY: BRC	PCSM DETAILS PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR LANCASTER SEED SALES 2914 HOMESTEAD ROAD MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA	DRAWING #: CG-4053 SHEET #: 11 OF 12
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FILENAME: P:\3132\Code\Drainage Plan.dwg XREFS: P:\3132\Code\Title Plan.dwg IMAGES: ..\Correspondence\Vector\form\lfrf...Correspondence\location map.jpg: PLOTTED: March 26,2025 @ 08:32AM



OWNER

NAME: DOUGLAS J WOLGEMUTH
ADDRESS: 311 SNYDER ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563
SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552

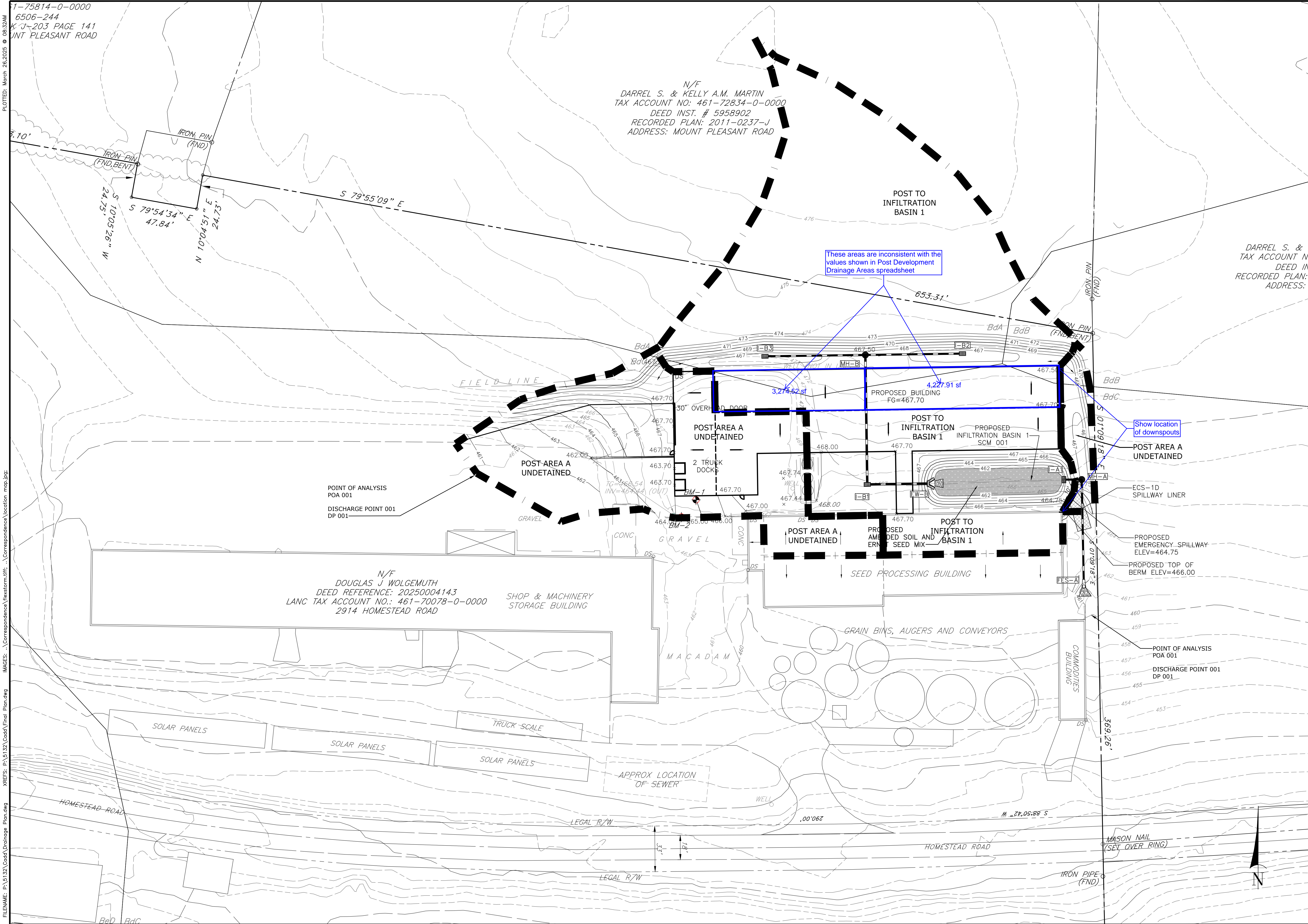
SOURCE OF TITLE: DEED REF. 20250004143
LANCASTER TAX ACT NO: 461-70078-0-0000

PROJECT NO.: 5132-50
DATE: MARCH 24, 2025
DRAWN BY: BRC
CHECKED BY: BRC
SCALE: 1"=30'
30' 15' 0' SCALE IN FEET

PRE DEVELOPMENT DRAINAGE PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
LANCASTER SEED SALES
2914 HOMESTEAD ROAD
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PENNSYLVANIA

DRAWING #: CG-4053
SHEET #: 1 OF 3

4



1-75814-0-0000
6506-244
K-J-203 PAGE 141
UNT PLEASANT ROAD

PLOTTED: March 26, 2025 @ 08:32AM

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FILENAME: P:\5132\Code\Drainage Plan.dwg XREFS: P:\5132\Code\Final Plan.dwg

OWNER

NAME: DOUGLAS J WOLGEMUTH
ADDRESS: 311 SNYDER ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-405-7563
SITE ADDRESS: 2914 HOMESTEAD ROAD
MOUNT JOY, PA 17552

SOURCE OF TITLE: DEED REF. 20250004143
LANCASTER TAX ACCT NO: 461-70078-0-0000

PROJECT NO.: 5132-50
DATE: MARCH 24, 2025
DRAWN BY: BRC
CHECKED BY: BRC
SCALE: 1"=30'

30' 15' 0'

SCALE IN FEET

POST DEVELOPMENT DRAINAGE PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
LANCASTER SEED SALES
2914 HOMESTEAD ROAD
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PENNSYLVANIA

DRAWING #: CG-4053
SHEET #: 2 OF 3

dc gohn Associates, Inc.
32 Mount Joy Street
Po Box 128
Mount Joy, PA 17552
Ph- (717) 663-5308
www.dgohn.com

Surveyors - Engineers - Landscape Architects

is conducive to infiltration. The test pit locations and depths are shown on the Final Grading / PCSM Plan.

There is one area analyzed (Points of Analysis) for the net volume increase in the 2 year storm. The Point of Analysis and associated volumes are indicated below:

Point of Analysis 001:

- The disturbed area is associated with Pre Area A, Post Area A Undetained and Infiltration Basin 1. The area drains to Tributary 07927 of Donegal Creek.
- The existing volume is 3,175 cubic feet and the proposed volume is 7,238 cubic feet which results in a net increase of 4,062 cubic feet. Infiltration Basin 1 is designed to manage the 2 year net increase in volume.

Point of Analysis 001:

The two year volume net increase is 4,062 cubic feet. The volume to the infiltration basin is 4,437 cubic feet and the infiltration basin infiltrates 4,437 cubic feet at elevation 463.90.

Test Pit 1 and Test Pit 2 are associated with the infiltration basin. The infiltration testing indicated an infiltration rate of 10 inches per hour maximum as noted in the PA BMP Manual. The excessive infiltration rates are a result of the underlying weathered rock at each location. Proposed Rain Garden 1 is designed to manage the two year net increase in volume. The infiltration credit is 4,437 cubic feet. The two year volume increase is 4,062 cubic feet. Based on the spreadsheets, the infiltration basin meets the water quality component and the 2 year volume requirement. Please refer to Appendix E for the volume analysis and PADEP worksheets.

Infiltration Basin Loading Ratios:

The loading ratios for the Infiltration Basin are listed in the chart below. Since this site is not in a Karst area, the PA BMP Manual notes that the loading ratio is 8:1 for total drainage area to infiltration area and 5:1 for impervious area to infiltration area. The infiltration area is based on the bottom elevation of the infiltration basin.

Will roof be 0-2% pitch (essentially, flat)?

If not, updated "C" value to reflect roof pitch

Post Development Drainage Areas

2/21/2025

Offsite should be winter/poor conditions

	Total Area, SF	Total Area, acres	Wtd. 'C'	T _C , min.	On Site								Off Site	
					Impervious, sf.			Grass, sf.		Cultivated Land, sf.		Cultivated Land, sf.		
					0-2%	2-6%	6+%	2-6%	6%+	2-6%	6%+	2-6%	6%+	
Soil Type					B	B	B	B	B	B	B	B	B	
C' Value					0.91	0.92	0.93	0.19	0.26	0.20	0.28	0.20	0.28	
Post Area														
I-B1	5,804	0.13	0.548	5.00	2,884			2,920						
I-B2	22,964	0.53	0.312	5.00	3,380			997	3,084	2,778		12,725		
I-B3	21,845	0.50	0.336	5.00	3,986			680	2,491	4,958		9,730		
Direct Infiltration Basin 1	12,159	0.28	0.642	5.00	7,150				5,009					
Total to Infiltration Basin 1	62,772	1.44	0.406	5.00	17,400	0	0	4,597	10,584	7,736	0	22,455	0	
Post Area														
Post Area A Undetained	25,841	0.59	0.714	5.00	8,147	6,449	3,270		7,975					

Inconsistent w/ area shown on the plans

Totals 0.80 ac...
0.65 acres shown in General Information DEP worksheet

Project Files:

Outlet Structure Configuration: P:\5132\Correspondence\Drainage\Infiltration Basin 1.OSC

Discharge/Elevation Curve: P:\5132\Correspondence\Drainage\Infiltration Basin 1.EO

Outlet Structure Configuration for: Infiltration Basin 1 Outlet Structure**Stage 1: Circular Orifice**

Invert Elevation = 463.9 feet

Diameter = 0.42 feet

Discharge Coefficient = 0.6

Stage 2: Outfall Culvert

Invert Elevation = 462 feet

Pipe Diameter = 1.25 feet


Pipe Length = 12.9 feet

Pipe Slope = 0.0078 ft/ft

Manning n = 0.013

Entrance Condition = SEH

Number of Barrels = 1



Inconsistent w/ pipe
diameter shown on plans
(12")

Basin Rating Curve

Basin Water Elevation	Basin Outflow (cfs)	Riser Box Water Elevation	Tailwater Elevation (ft)	Outfall Culvert Control	Outfall Culvert Override?
462.00	0.00	462.00	N/A	INLET	N/A
462.10	0.00	462.00	N/A	INLET	N/A
462.20	0.00	462.00	N/A	INLET	N/A
462.30	0.00	462.00	N/A	INLET	N/A
462.40	0.00	462.00	N/A	INLET	N/A
462.50	0.00	462.00	N/A	INLET	N/A
462.60	0.00	462.00	N/A	INLET	N/A
462.70	0.00	462.00	N/A	INLET	N/A
462.80	0.00	462.00	N/A	INLET	N/A
462.90	0.00	462.00	N/A	INLET	N/A
463.00	0.00	462.00	N/A	INLET	N/A
463.10	0.00	462.00	N/A	INLET	N/A
463.20	0.00	462.00	N/A	INLET	N/A
463.30	0.00	462.00	N/A	INLET	N/A
463.40	0.00	462.00	N/A	INLET	N/A
463.50	0.00	462.00	N/A	INLET	N/A
463.60	0.00	462.00	N/A	INLET	N/A
463.70	0.00	462.00	N/A	INLET	N/A
463.80	0.00	462.00	N/A	INLET	N/A
463.90	0.00	462.00	N/A	INLET	N/A
464.00	0.02	462.00	N/A	INLET	NO
464.10	0.08	462.00	N/A	INLET	NO
464.20	0.16	462.19	N/A	INLET	NO
464.30	0.27	462.25	N/A	INLET	NO
464.40	0.36	462.29	N/A	INLET	NO
464.50	0.42	462.32	N/A	INLET	NO
464.60	0.47	462.34	N/A	INLET	NO
464.70	0.51	462.35	N/A	INLET	NO
464.80	0.55	462.37	N/A	INLET	NO
464.90	0.59	462.38	N/A	INLET	NO
465.00	0.63	462.39	N/A	INLET	NO
465.10	0.66	462.40	N/A	INLET	NO
465.20	0.70	462.41	N/A	INLET	NO
465.30	0.73	462.42	N/A	INLET	NO
465.40	0.76	462.43	N/A	INLET	NO
465.50	0.79	462.44	N/A	INLET	NO
465.60	0.81	462.45	N/A	INLET	NO

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	44.586	0.13	1.16	0.55	0.07	0.41	5.0	6.1	8.7	3.52	4.64	2.95	15	0.52	462.00	462.23	463.25	463.36	464.25	467.19	I-B1 TO EW-B
2	1	93.636	0.00	1.03	0.00	0.00	0.33	0.0	5.5	8.9	2.97	4.57	2.56	15	0.50	462.23	462.70	463.57	463.75	467.19	467.64	MH-B TO I-B1
3	2	70.203	0.53	0.53	0.31	0.16	0.16	5.0	5.0	9.0	1.49	2.51	2.33	12	0.50	462.95	463.30	463.86	463.96	467.64	466.39	I-B2 TO MH-B
4	2	72.550	0.50	0.50	0.34	0.17	0.17	5.0	5.0	9.0	1.54	2.51	2.41	12	0.50	462.95	463.31	463.86	463.97	467.64	466.35	I-B3 TO MH-B
EW-B																Number of lines: 4				Run Date: 2/21/2025		
NOTES: Intensity = 114.82 / (Inlet time + 17.20) ^ 0.82; Return period =Yrs. 50 ; c = cir e = ellip b = box																						

Design for 100-yr since
conveys runoff to peak
rate control BMP

Inlet Report

Line No	Inlet ID	Q = CIA (cfs)	Q carry (cfs)	Q capt (cfs)	Q Byp (cfs)	Junc Type	Curb Inlet		Grate Inlet			Gutter							Inlet			Byp Line No
							Ht (in)	L (ft)	Area (sqft)	L (ft)	W (ft)	So (ft/ft)	W (ft)	Sw (ft/ft)	Sx (ft/ft)	n	Depth (ft)	Spread (ft)	Depth (ft)	Spread (ft)	Depr (in)	
1	I-B1	0.65	0.00	0.65	0.00	DrGrt	0.0	0.00	5.30	4.00	2.00	Sag	2.00	0.020	0.020	0.000	0.07	8.85	0.07	8.85	0.0	Off
2	MH-B	0.00	0.00	0.00	0.00	MH	0.0	0.00	0.00	0.00	0.00	Sag	0.00	0.000	0.000	0.000	0.00	0.00	0.00	0.00	0.0	Off
3	I-B2	1.49	0.00	1.49	0.00	DrGrt	0.0	0.00	5.30	4.00	2.00	Sag	2.00	0.020	0.020	0.000	0.12	13.93	0.12	13.93	0.0	Off
4	I-B3	1.54	0.00	1.54	0.00	DrGrt	0.0	0.00	5.30	4.00	2.00	Sag	2.00	0.020	0.020	0.000	0.12	14.20	0.12	14.20	0.0	Off
EW-B														Number of lines: 4				Run Date: 2/21/2025				
NOTES: Inlet N-Values = 0.016; Intensity = 114.82 / (Inlet time + 17.20) ^ 0.82; Return period = 50 Yrs. ; * Indicates Known Q added. All curb inlets are throat.																						

Channel Design Data

Project Name: Lancaster Seed Sales

Project Number: 5132-50

Prepared By: BRC

Checked By: BRC

Date: 2/25/2025

Date:

Bare Earth (Table 4.7a)		Infiltration Basin 1 Spillway							
Silt Loam, noncolloidal ▼		Type of Channel		Trapezoidal ▼		Type of Channel		Trapezoidal ▼	
Design Criteria	Bare Earth	Lining ECS-1D ▼	Grass (Vel)	Grass (Cap)		Bare Earth	Lining ECS-1D ▼	Grass (Vel)	Grass (Cap)
Installation Depth, ft	1.00	1.00	1.00	1.00					
Manning's 'n' Value	0.020	0.025	0.070	0.070					
Bottom Slope, ft/ft	0.030	0.030	0.030	0.030					
Right Slope, _H: 1V	2.0	2.0	2.0	2.0					
Left Slope, _H: 1V	2.0	2.0	2.0	2.0					
Top Width (Parabolic Only)	10.0	10.0	10.0	10.0					
Bottom Width (Other), ft									
Flow, cfs	4.79	4.79	4.79	4.79					
Length of Channel, ft	25	25	25	25					
Allowable Shear, lb/ft ²		1.5							
Bottom Width:Depth Ratio 12:1 Maximum	72	63	34	34					
		Stable:							
Lining Quantity, yd ²		40.2							
Design Comments	100 year inflow to basin								
Design Capacity									
Flow Depth, ft	0.14	0.16	0.29	0.29					
Top Width, ft	10.55	10.63	11.17	11.17					
Area, ft ²	1.42	1.63	3.09	3.09					
Wetted Perimeter, ft	10.62	10.71	11.31	11.31					
Hydraulic Radius, ft	0.13	0.15	0.27	0.27					
Hydraulic Depth, ft	0.13	0.15	0.28	0.28					
Froude Number	1.62	1.32	0.52	0.52					
Velocity, ft/s	3.37	2.94	1.55	1.55					
Velocity Head, ft	0.18	0.13	0.04	0.04					
Total Energy, ft	0.31	0.29	0.33	0.33					
Critical Slope	0.011	0.017	0.111	0.111					
Required Freeboard, ft	0.50	0.50	0.50	0.50					
Design Depth, ft	0.6	0.7	0.8	0.8					
Maximum Capacity									
Flow, ft ³ /s	136	109	39	39					
Flow Depth, ft	1.00	1.00	1.00	1.00					
Area, ft ²	12.00	12.00	12.00	12.00					
Top Width, ft	14.00	14.00	14.00	14.00					
Wetted Perimeter, ft	14.47	14.47	14.47	14.47					
Hydraulic Radius, ft	0.83	0.83	0.83	0.83					
Hydraulic Depth, ft	0.86	0.86	0.86	0.86					
Froude Number	2.00	1.60	0.57	0.57					
Velocity, ft/s	11.36	9.09	3.25	3.25					
Velocity Head, ft	2.00	1.28	0.16	0.16					
Total Energy, ft	3.00	2.28	1.16	1.16					

General Information

Instructions **General** **Volume** **Rate** **Quality**

Project Name: **Lancaster Seed Sales**

Application Type: **PAG-02 NOI**

County: **Lancaster**

Municipality: **Mount Joy Township**

Project Type: **Agricultural Operation**

☒ New Project ☐ Minor / Major Amendment

Area: **1.89** acres
(In Watershed)

Total Earth Disturbance: **1.23** acres
(In Watershed)

No. of Post-Construction Points of Analysis: **1**

at: **001**

Point of Analysis (POA) No.	Drainage Area (DA) (acres)	Earth Disturbance in DA (acres)	Existing Impervious in DA (acres)	Proposed Impervious in DA (acres)	Receiving Waters	Ch. 93 Class	Structural SCM(s)
001	1.89	1.23	0.45	0.65	Tributary 07927 of Donegal Creek	CWF, MF	Yes
Undetained Areas							
Totals:	1.89	1.23	0.45	0.65			

PROJECT SITE MEETS SMALL SITE EXCEPTION - RATE WORKSHEET

No undetained area shown here; however, undetained DAs shown on DA maps

Inconsistent w/ sum of total impervious area in "Total to Infiltration Basin 1" & "Post Area A Undetained" (35,266 sf/ 0.80 ac) shown in "Post Development Drainage Area" worksheet

ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISK
JASON M. HESS

LAW OFFICES
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LANCASTER, PENNSYLVANIA 17604-4686

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717-733-2313

659 E WILLOW STREET
ELIZABETHTOWN, PA 17022
717-361-8524

OF COUNSEL
WILLIAM C. CROSSWELL
RANDALL K. MILLER

April 2, 2025

VIA EMAIL

Kimberly Kaufman, Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Re: Preliminary/Final Land Development Plan for Lancaster Seed Sales
Our File No. 10221-1

Dear Kim:

I have been provided with the Preliminary/Final Land Development Plan for Lancaster Seed Sales (the "Plan") and supporting information. The Plan relates to a tract of land on the north and south side of Homestead Road identified as 2914 Homestead Road (the "Property"). The portion of the Property on the north side of Homestead Road is presently developed with buildings and other structures related to the Lancaster Seed Sales operation. The Plan indicates the Zoning Hearing Board granted approval at a hearing on March 5, 2025, to construct a 19,140 square foot building which will be connected to the existing seed processing building. This letter will set forth comments on the Plan.

The Plan must be updated to correctly identify the landowners and the Lancaster County Tax Account Number. By a Deed dated February 3, 2025, Landowners J. Douglas Wolgemuth and Sharilynn D. Wolgemuth conveyed to themselves two tracts of land and included the language recognized by the Lancaster County Assessment Office to join the two tracts into a single tract. The Plan includes the recording reference of this Deed, Document No. 20250004143, but it identifies Douglas J. Wolgemuth as the sole landowner.

Site Note 3 of the Plan indicates that the Property is served by on-site sewer and water. Sheet 2 of the Plan shows an approximate location of an existing sewer system. There is no indication of a tested area for a replacement location. Will there be a replacement location determined?

There must be a Storm Water Management Agreement and Declaration of Easement for the proposed storm water management facilities. Site Note 14 states, "There is a recorded stormwater operation and maintenance (O & M) that indicates the location and responsibility for maintenance of the on-site storm water management facilities." This note does not indicate any

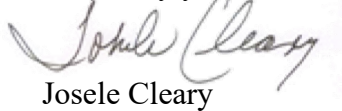
Kimberly Kaufman, Township Manager
April 2, 2025
Page 2

recording reference for an existing Storm Water Management Agreement. I did not see any recorded Storm Water Management Agreement and Declaration of Easement for the Property. Landowners and the Township did enter into a Storm Water Management Agreement with the Township which is recorded at Document No. 5717581, but that Storm Water Management Agreement relates to land on the north and south side of Fairview Road. There do not appear to be any mortgages against the Property, so no Joinder by Mortgagee will be necessary for the Storm Water Management Agreement. The operations and maintenance requirements on Sheet 11 of the Plan must be included in the Storm Water Management Agreement.

Brian Cooley of D. C. Gohn Associates included a waiver letter with the application seeking relief from the requirements of the Subdivision and Land Development Ordinance to widen the cartway and provide additional right-of-way. The Planning Commission should determine whether it wishes to waive such requirements or defer the requirements. If there is to be a deferral, there must be a recorded Deferred Improvements Agreement to address both the dedication of additional right-of-way and the widening.

If you have any questions concerning these comments, please contact me.

Very truly yours,



Josele Cleary

JC:sle
MUNI\10221-1(7)\250401\71

cc: Justin S. Evans, AICP, Community Development Director (via email)
Patricia J. Bailey, Township Secretary (via email)
Benjamin S. Craddock, P.E. (via email)
Brian R. Cooley, Landscape Architect (via email)