

GENERAL PLAN NOTES

- 1. BENCHMARK #1 IS LOCATED: CARPED REBAR ON THE WEST SIDE OF HERSEY ROAD ELEV. 574.81' (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988
2. BENCHMARK #2 IS LOCATED: MAG NAIL IN COUNTRY MEADOWS RESTAURANT PARKING LOT, 22.60' SOUTHWEST OF AN INLET ELEV. 572.87' (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988

CONTRACTOR NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY PRIOR TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED EXISTING VEGETATION AND/OR OTHER SITE FEATURES WHICH ARE TO BE REMOVED.

SHEETZ SPECIFIC NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR VERIFYING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.

UTILITY NOTES

- A. GENERAL NOTES - SANITARY SEWER
1. MINIMUM OF 3'-6" OF COVER IS REQUIRED OVER ALL SEWER LINES. THE SEWER LATERAL SHALL BE CONSTRUCTED TO THE LINE AND GRADE SHOWN ON THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" PER THE AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN FIELD RECORDS OF THE LOCATION AND DEPTH OF ALL SANITARY SEWER LATERAL LOCATIONS, AND SHALL PROVIDE THIS INFORMATION TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.

WETLAND NOTES

- 1. WETLANDS DELINEATED ON THE PLANS SHALL BE KEPT FREE OF STRUCTURES, FILL AND OTHER ENCROACHMENTS. NO DISTURBANCE SHALL OCCUR WITHIN THE BOUNDARY OF THE WETLANDS.
2. IN JUNE OF 2024 A PRELIMINARY WETLANDS INVESTIGATION WAS COMPLETED TO DETERMINE THE EXTENT OF WETLANDS PRESENT ON THE SITE WAS CONDUCTED BY VORTEX ENVIRONMENTAL, INC. THERE IS ONE (1) WETLANDS OF THE UNITED STATES AND COMMONWEALTH EXISTING WITHIN THE 2.171 AC PROJECT SITE, INCLUDING THE SMALL EMERGENT WETLAND AREA (WETLAND 1) IN THE NORTHEASTERN CORNER OF THE PROJECT SITE.

GEOTECHNICAL NOTES

- A. GENERAL RECOMMENDATIONS
1. IF REDOXIMORPHIC FEATURES (SOIL MOTTLING AND COLORATION PATTERNS FORMED BY THE REDUCTION OF IRON AND/OR MANGANESE FROM SATURATED CONDITIONS IN THE SOIL) ARE ENCOUNTERED:
1.1. A QUALIFIED PROFESSIONAL SHOULD DETERMINE IF THE FEATURES OBSERVED ARE ASSOCIATED WITH A HISTORIC CONDITION (ASSOCIATED WITH FILL, PREVIOUS SITE CONDITION, OR NATURAL COLORATION) OR ARE ASSOCIATED WITH CONDITIONS THAT COULD PRESENTLY OCCUR (SEASONAL VARIATIONS IN THE WATER TABLE).

- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON THESE PLANS, AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ALSO A MINIMUM SLOPE ON ALL UNPAVED AREAS.
12. CONTRACTOR SHALL SECURE THE TELECOM/ELECTRIC SERVICES TO MINIMIZE SERVICE INTERRUPTIONS TO EXISTING BUILDINGS. THE CONTRACTOR SHALL NOTIFY ALL POTENTIALLY IMPACTED PROPERTIES PRIOR TO CONSTRUCTION.

- 6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEANED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. UTILITY CONTACTS ARE LISTED ON THE SHEET LD-2.

PADOT/STREET NOTES

- 1. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE STREET OR DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT, AND THE PLANNING COMMISSION'S APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH PERMIT CAN BE ACQUIRED.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND "RECORD DRAWINGS" PER AUTHORITY REQUIREMENTS.

GRADING NOTES

- 1. THE FINISHED FLOOR ELEVATIONS (FFE) SHOWN ON THE PLAN REPRESENT THE ELEVATION OF THE FIRST FLOOR INSIDE THE BUILDING.
2. THE CONTRACTOR AND/OR BUILDER SHALL CONFIRM ALL ELEVATION RELATIONSHIPS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE SUBMITTED TO RGS ASSOCIATES IMMEDIATELY.
3. ALL FINISHED FLOOR ELEVATIONS MUST BE SET A MINIMUM OF TWO (2) FEET ABOVE THE 100 YEAR WATER SURFACE ELEVATION OF ANY ADJACENT STORMWATER FACILITY.

MUNICIPAL SPECIFIC NOTES

- 1. LIGHTING SHALL BE PROVIDED IN CONFORMANCE WITH SECTION 135-298, OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE AND SECTION 119-52.0 OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. ALL NONRESIDENTIAL SITE LIGHT SOURCES, AND RESIDENTIAL LIGHT SOURCES HIGHER THAN 12 FEET, SHALL BE DIRECTED AWAY FROM PUBLIC STREETS AND PRIVATE PROPERTIES. THE LAMPS SHALL BE SHIELDED IN MANNER SO THAT THEY ARE NOT VISIBLE FROM THE ADJOINING PROPERTY. SENSOR-CONTROLLED LAMPS EXCEEDING 2,000 LUMENS (150-WATTS INCANDESCENT) SHALL HAVE CUTOFF-TYPE LUMINAIRES.

- 13. CROSSWALKS SHALL BE APPLIED OUT TO THE FINAL WEARING COURSE AND SHALL BE PAINTED WITH THE 1' ELEVATION REFERENCED TO THE FINISHED GROUND SURFACE UNLESS NOTED OTHERWISE.
14. THE CONTRACTOR SHALL REFER TO PENNDOT PUBLICATION 111 FOR PAVEMENT MARKINGS AND SIGNAGE STANDARDS, UNLESS OTHERWISE REQUIRED BY THE MUNICIPALITY.
15. ANY PROPOSED SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE.

- 11. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
12. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.

GENERAL NOTES - STORM DRAINAGE

- 1. THE EQUITABLE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES TO ENSURE THEY ARE KEPT IN DESIGN CONDITION.
2. THE STORMWATER COLLECTION AND CONVEYANCE SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH DESIGN STANDARDS AND SPECIFICATIONS IN PLACE AT THE TIME OF PLAN APPROVALS. RGS ASSUMES NO RESPONSIBILITY FOR CHANGES IN SPECIFICATIONS THAT MAY OCCUR AFTER PLAN APPROVAL THAT WOULD REQUIRE ALTERNATE MATERIALS OR INSTALLATION REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL CURRENT STANDARDS AND NOTIFY THE OWNER/DEVELOPER AND RGS ASSOCIATES OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO THE START OF CONSTRUCTION.

- 11. ALL DIMENSIONS SHOWN ON THESE PLANS SHALL BE VERIFIED DURING STAKE-OUT CALCULATIONS AND FIELD STAKE-OUT.
12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON THESE PLANS, AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ALSO A MINIMUM SLOPE ON ALL UNPAVED AREAS.
13. CONTRACTOR SHALL SECURE THE TELECOM/ELECTRIC SERVICES TO MINIMIZE SERVICE INTERRUPTIONS TO EXISTING BUILDINGS. THE CONTRACTOR SHALL NOTIFY ALL POTENTIALLY IMPACTED PROPERTIES PRIOR TO CONSTRUCTION.

ADDS PIPE INSTALLATION NOTES

- 1. STORMDRAIN PIPES SHALL BE ADS (N-12) HDPE PIPE WITH ADS PRO-LINK ULTRA (N-LINE BELL) PIPE JOINTS (FOR SOIL TIGHT CONNECTIONS) AND/OR ADS PRO-LINK WT (FOR WATER TIGHT CONNECTIONS). REFER TO PLAN AND PROFILES FOR MATERIALS USED.
2. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.

- 14. THE CONTRACTOR SHALL VERIFY THAT THE SUBGRADE IS PREPARED IN ACCORDANCE WITH THE PROJECT'S GEO-TECHNICAL RECOMMENDATIONS.
15. THE CONTRACTOR SHALL VERIFY SUBSURFACE CONDITIONS TO HIS SATISFACTION PRIOR TO PLACEMENT OF CONCRETE OR ASPHALT. RGS ASSOCIATES MAKES NO GUARANTEE, WRITTEN OR IMPLIED, THAT THE SUBGRADE IS SUITABLE FOR DEVELOPMENT. RGS ASSOCIATES RECOMMENDS THAT ALL SUBGRADES BE INSPECTED BY A LICENSED PROFESSIONAL GEO-TECHNICAL ENGINEER PRIOR TO PLACEMENT OF PAVEMENTS.

UNDERGROUND UTILITY LINE PROTECTION ACT

IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 72 P.S. 176, 176A AS AMENDED BY PA ACT 887 OF 1974, AS AMENDED, RGS ASSOCIATES, INC. HAS PERFORMED THE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN:

- 1. PURSUANT TO 72 P.S. 176(2), RGS ASSOCIATES, INC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM NOT LESS THAN TEN (10) MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED. IF SUCH INFORMATION WAS OBTAINED MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, RGS HAS STATED IN THE REQUEST THAT WORK IS PRELIMINARY.
2. PURSUANT TO 72 P.S. 176(2), RGS ASSOCIATES, INC. HAS SHOWN, UPON THESE DRAWINGS, THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, AS DERIVED PURSUANT TO THE REQUEST AS REQUIRED BY 72 P.S. 176(2), THE SERIAL NUMBER OF THE FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

- 1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.

CONSTRUCTION SEQUENCE SCHEDULE

ANTICIPATED TIME FRAME
FALL 2025 - SPRING 2026
IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 72 P.S. 176, 176A AS AMENDED BY PA ACT 887 OF 1974, AS AMENDED, RGS ASSOCIATES, INC. HAS PERFORMED THE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN:

UTILITY LIST

Table with columns: COMPANY, ADDRESS, CONTACT, and SERVICE. Lists utility providers like LUHEN/TECHNOLOGY, COMCAST, ELIZABETHTOWN AREA WATER AUTHORITY, and ELIZABETHTOWN REGIONAL SEWER AUTHORITY.

SPECIAL EXCEPTION AND VARIANCE DECISION

Decision
114. The Board hereby grants the Applicant's special exception application for the Proposed Use pursuant to Sections 135-143.D, and the request for a variance from the time limits in Section 135-383.B(7), subject to the following reasonable conditions:
a. Applicant shall apply for and gain approval of a Land Development Plan from the Mount Joy Township Planning Commission.

- 37. AT ALL TIMES DURING AND AFTER CONSTRUCTION, THE SUBBASE AND BASE OF THE PAVING SECTION SHALL BE FREE DRAINING. THE CONTRACTOR SHALL INSTALL UNDER DRAINS, IN ACCORDANCE WITH RC-30M, AT ALL LOCATIONS WHERE THE PAVEMENT BASE IS NOT FREE DRAINING OR SUSCEPTIBLE TO FREEZE/THAW DAMAGE. WATER SHALL NOT BE IMPOUNDED ADJACENT TO PAVEMENT.
38. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION UNTIL ALL REQUIRED PERMITS HAVE BEEN ISSUED BY THE CONSERVATION DISTRICT OR PA DEP. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WITH RGS ASSOCIATES, PRIOR TO BEGINNING CONSTRUCTION, THAT THE MOST CURRENT APPROVED PLANS ARE BEING UTILIZED.

- 11. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
12. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.

PA1
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL

Decision made this 6th day of November, 2024.
Attest:
Signature of board member and secretary.

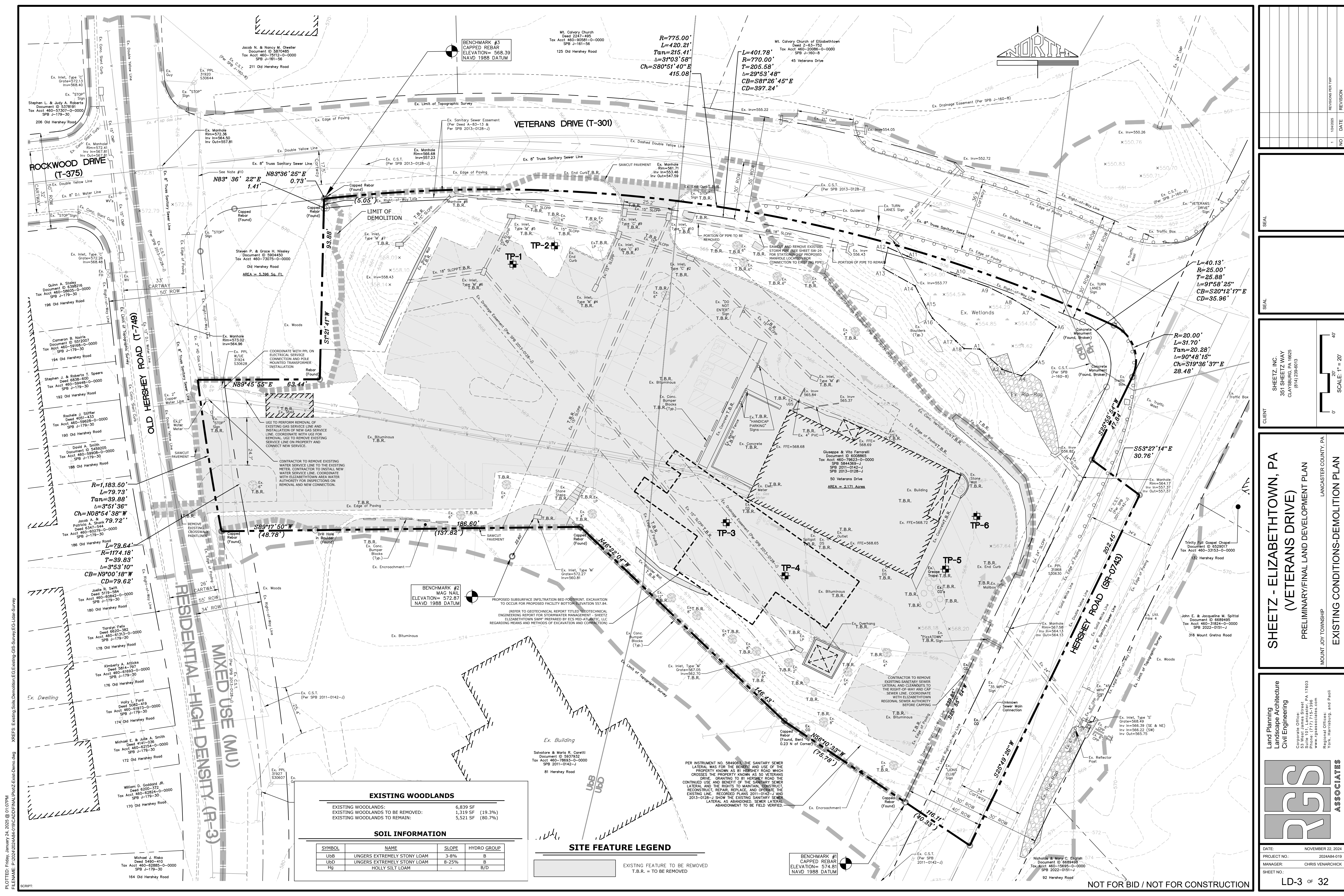
DATE: NOVEMBER 22, 2024
PROJECT NO: 2024AB4-019
MANAGER: CHRIS VENARCIK
SHEET NO: LD-2 OF 32

Revision table with columns: NO., DATE, REVISION.

NO SCALE
GENERAL NOTES
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

CLIENT: SHEETZ, INC.
351 SHEETZ WAY
CLAYBORNE, PA 18625
(610) 239-8013
SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

Land Planning
Landscape Architecture
Civil Engineering
Corporate Office:
53 West James Street
P.O. Box 17603
Phone: (717) 715-1396
www.rgsassociates.com
Regional Offices: York, Harrisburg, and Pottsville



PLOTTED: Friday, January 24, 2025 @ 01:07PM
 FILENAME: P:\2024\2024A484-019\CADD\FINAL\Plot2-East-Demo.dwg
 XREFS: Existing; Soils; Demolition; ECE; Existing; GIS; Survey; EC; Ldr; Survey

EXISTING WOODLANDS

EXISTING WOODLANDS TO BE REMOVED:	6,839 SF
EXISTING WOODLANDS TO REMAIN:	1,319 SF (19.3%)
EXISTING WOODLANDS TO REMAIN:	5,521 SF (80.7%)

SOIL INFORMATION

SYMBOL	NAME	SLOPE	HYDRO GROUP
Ubb	UNGERS EXTREMELY STONY LOAM	3-8%	B
Ubd	UNGERS EXTREMELY STONY LOAM	8-25%	B
Hg	HOLLY SILT LOAM	8-25%	B/D

SITE FEATURE LEGEND

	EXISTING FEATURE TO BE REMOVED
	T.B.R. = TO BE REMOVED

PER INSTRUMENT NO. 5849003, THE SANITARY SEWER LATERAL WAS FOR THE BENEFIT AND USE OF THE PROPERTY KNOWN AS 81 HERSHEY ROAD WHICH CROSSES THE PROPERTY KNOWN AS 50 VETERANS DRIVE, GRANTING TO 81 HERSHEY ROAD, THE CONTINUED USE AND BENEFIT OF THE SANITARY SEWER LATERAL AND THE RIGHTS TO MAINTAIN, RECONSTRUCT, REPAIR, REPLACE AND OPERATE THE EXISTING LINE. RECORDED PLANS 2011-0142-J, 2013-0128-J SHOW THE EXISTING SANITARY SEWER LATERAL AS ABANDONED. SENIOR LATERAL ABANDONMENT TO BE FIELD VERIFIED.

NO.	DATE	REVISION
1	12/20/23	REVISIONS PER TWP

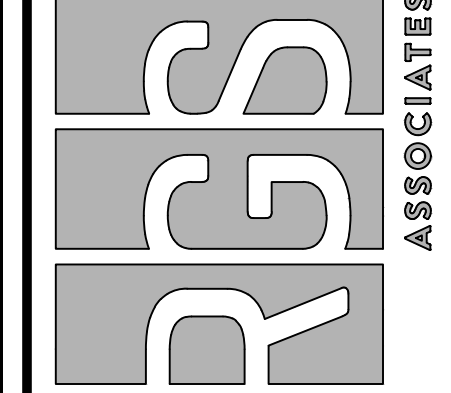
SEAL

SEAL

CLIENT
 SHEETZ, INC.
 351 SHEETZ WAY
 CLAYSBURG, PA 16825
 (814) 239-8013

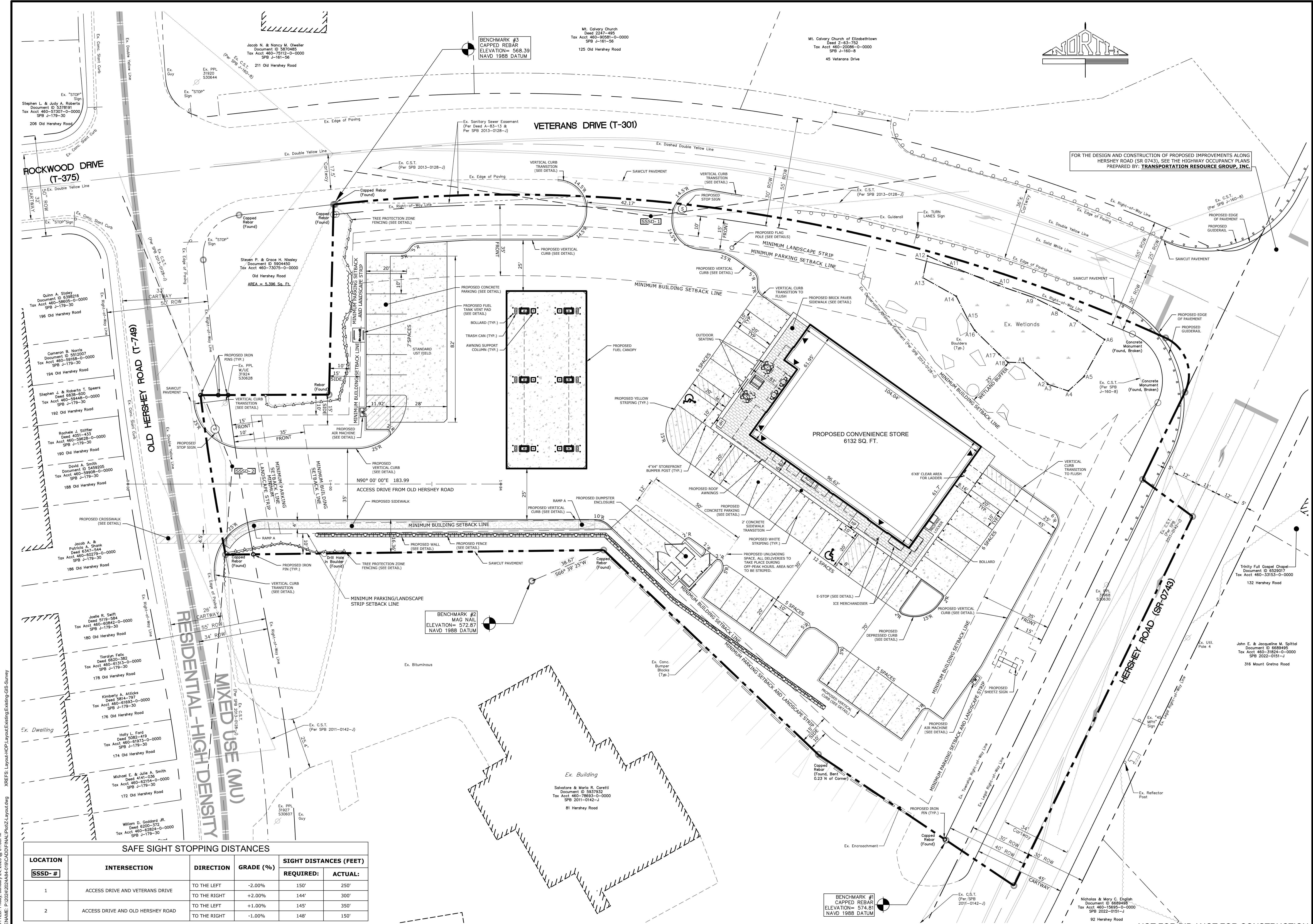
PROJECT
SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
 PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 EXISTING CONDITIONS-DEMOLITION PLAN
 MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

Land Planning
 Landscape Architecture
 Civil Engineering
 Corporate Office:
 53 West James Street
 PA, 17003
 Phone: (717) 715-1384
 www.gisassociates.com
 Regional Offices:
 York, Harrisburg, and Paoli



DATE: NOVEMBER 22, 2024
 PROJECT NO.: 2024A484-019
 MANAGER: CHRIS VERNARCHICK
 SHEET NO.: LD-3 OF 32

NOT FOR BID / NOT FOR CONSTRUCTION



FOR THE DESIGN AND CONSTRUCTION OF PROPOSED IMPROVEMENTS ALONG
HERSHEY ROAD (SR 0743), SEE THE HIGHWAY OCCUPANCY PLANS
PREPARED BY: **TRANSPORTATION RESOURCE GROUP, INC.**

NO.	DATE	REVISION
1	12/22/23	REVISIONS PER TYP

SEAL

SEAL

CLIENT
SHEETZ, INC.
351 SHEETZ WAY
CLAYSBURG, PA 16825
(814) 239-8013

LAYOUT PLAN
SCALE: 1" = 20'

SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

Land Planning
Landscape Architecture
Civil Engineering

RGAS ASSOCIATES

Corporate Office:
53 West James Street
PA 17603
Phone: (717) 715-1384
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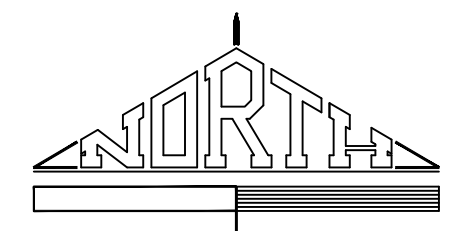
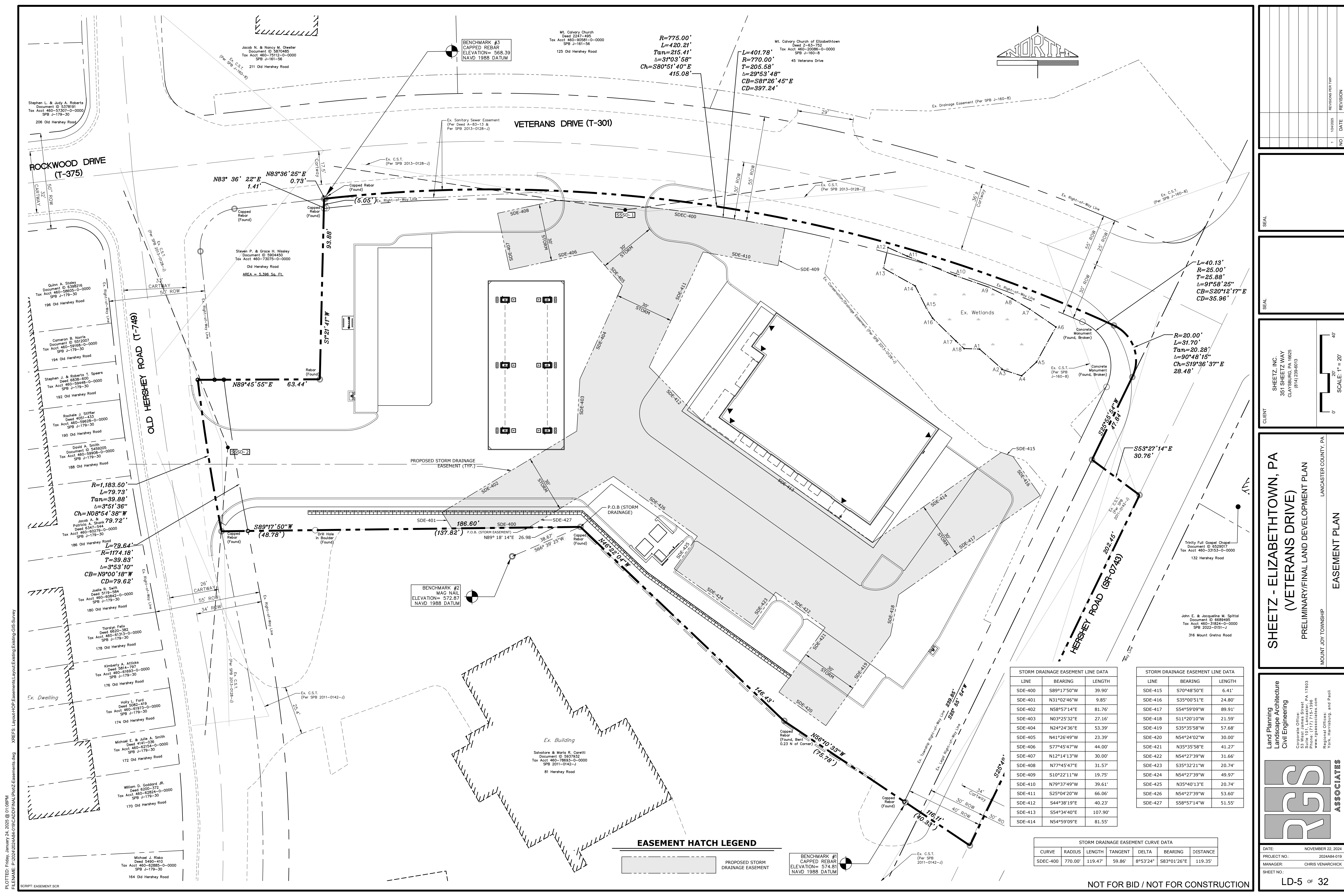
DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHICK
SHEET NO.: LD-4 OF 32

SAFE SIGHT STOPPING DISTANCES

LOCATION	INTERSECTION	DIRECTION	GRADE (%)	SIGHT DISTANCES (FEET)	
				REQUIRED:	ACTUAL:
1	ACCESS DRIVE AND VETERANS DRIVE	TO THE LEFT	-2.00%	150'	250'
		TO THE RIGHT	+2.00%	144'	300'
		TO THE LEFT	+1.00%	145'	350'
2	ACCESS DRIVE AND OLD HERSHEY ROAD	TO THE LEFT	+1.00%	145'	350'
		TO THE RIGHT	-1.00%	148'	150'

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NO.	DATE	REVISION
1	12/20/23	REVISIONS PER TRP

SEAL

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SHEETZ, INC.
351 SHEETZ WAY
CLAYSBURG, PA 16825
(814) 238-8013

PROJECT

**SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)**

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

ESASEMENT PLAN

MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

Land Planning
Landscape Architecture
Civil Engineering

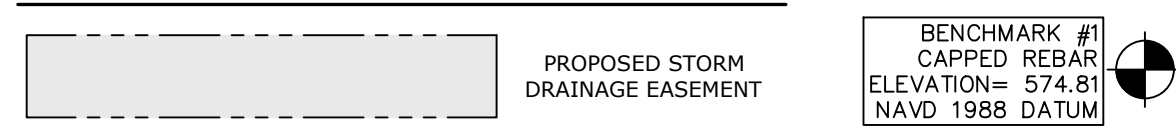
RGS ASSOCIATES

Corporate Office:
53 West James Street
PA 17003
Phone: (717) 715-1386
www.rgsassociates.com

Regional Offices:
York, Harrisburg, and Pott
dam

DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHCK
SHEET NO.: LD-5 OF 32

EASEMENT HATCH LEGEND



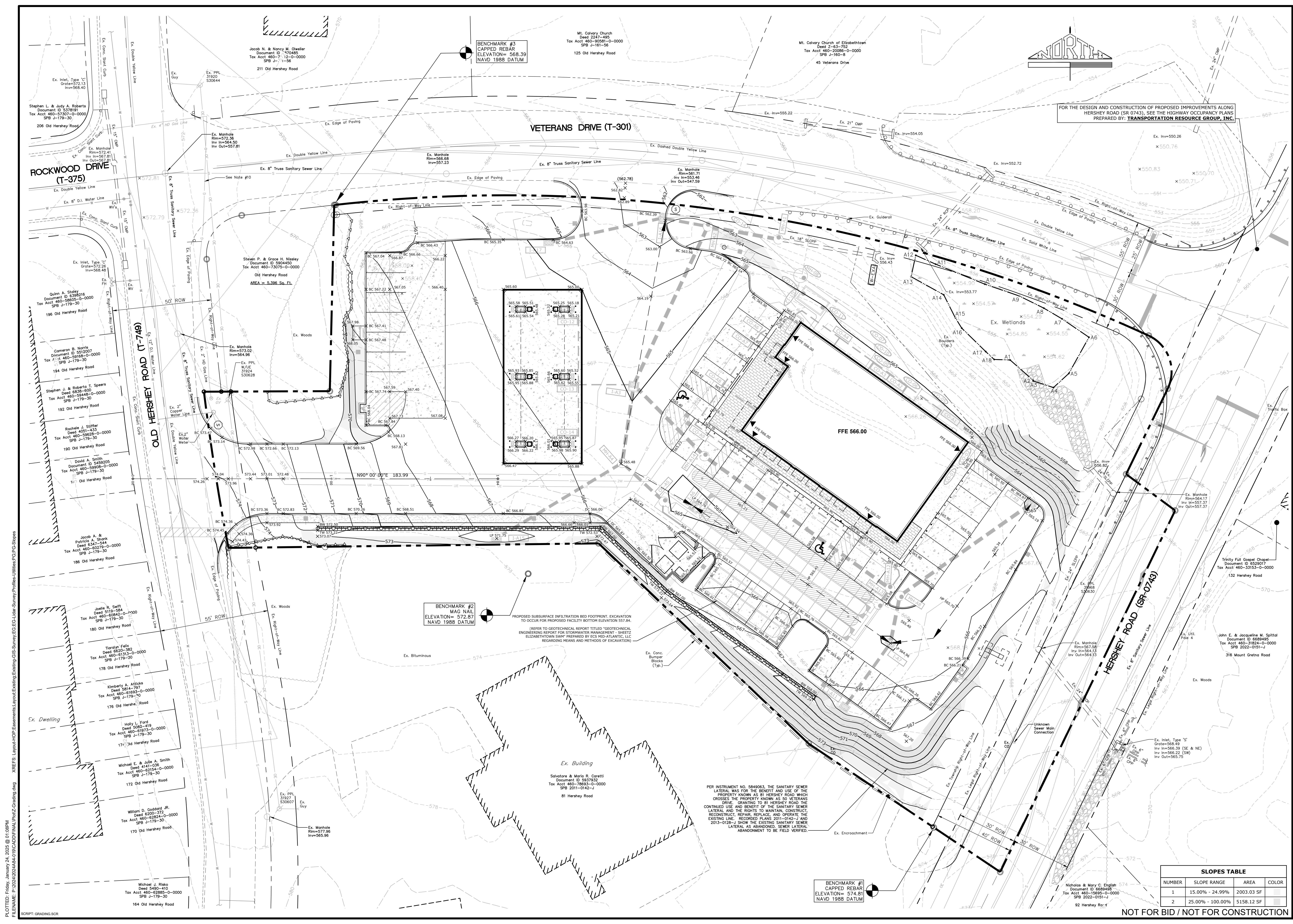
STORM DRAINAGE EASEMENT LINE DATA			STORM DRAINAGE EASEMENT LINE DATA		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
SDE-400	S89°17'50"W	39.90'	SDE-415	S70°48'50"E	6.41'
SDE-401	N31°02'46"W	9.85'	SDE-416	S35°00'51"E	24.80'
SDE-402	N58°57'14"E	81.76'	SDE-417	S54°59'09"W	89.91'
SDE-403	N03°25'32"E	27.16'	SDE-418	S11°20'10"W	21.59'
SDE-404	N24°24'36"E	53.39'	SDE-419	S35°35'58"W	57.68'
SDE-405	N41°26'49"W	23.39'	SDE-420	N54°24'02"W	30.00'
SDE-406	S77°45'47"W	44.00'	SDE-421	N35°35'58"E	41.27'
SDE-407	N12°14'13"W	30.00'	SDE-422	N54°27'39"W	31.66'
SDE-408	N77°45'47"E	31.57'	SDE-423	S35°32'21"W	20.74'
SDE-409	S10°22'11"W	19.75'	SDE-424	N54°27'39"W	49.97'
SDE-410	N79°37'49"W	39.61'	SDE-425	N35°40'13"E	20.74'
SDE-411	S25°04'20"W	66.06'	SDE-426	N54°27'39"W	53.60'
SDE-412	S44°38'19"E	40.23'	SDE-427	S58°57'14"W	51.55'
SDE-413	S54°34'40"E	107.90'			
SDE-414	N54°59'09"E	81.55'			

STORM DRAINAGE EASEMENT CURVE DATA						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
SDEC-400	770.00'	119.47'	59.86'	8°53'24"	S83°01'26"E	119.35'

NOT FOR BID / NOT FOR CONSTRUCTION

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 XREFS: Layout/HOP/Easements/Layout/Existing/GIS-Survey

SCRIPT: EASEMENT.DSC



FOR THE DESIGN AND CONSTRUCTION OF PROPOSED IMPROVEMENTS ALONG
HERSHEY ROAD (SR 0743). SEE THE HIGHWAY OCCUPANCY PLANS
PREPARED BY: TRANSPORTATION RESOURCE GROUP, INC.

BENCHMARK #2
MAG NAIL
ELEVATION= 572.87
NAVD 1988 DATUM

PROPOSED SUBSURFACE INFILTRATION BED FOOTPRINT. EXCAVATION
TO OCCUR FOR PROPOSED FACILITY BOTTOM ELEVATION 557.84.
(REFER TO GEOTECHNICAL REPORT TITLED "GEOTECHNICAL
ENGINEERING REPORT FOR STORMWATER MANAGEMENT - SHEETZ
ELIZABETHTOWN SWIM" PREPARED BY EGS MID-ATLANTIC, LLC
REGARDING MEANS AND METHODS OF EXCAVATION)

PER INSTRUMENT NO. 5849063, THE SANITARY SEWER
LATERAL WAS FOR THE BENEFIT AND USE OF THE
PROPERTY KNOWN AS 81 HERSEY ROAD WHICH
CROSSES THE PROPERTY KNOWN AS 50 VETERANS
DRIVE. GRANTING TO 81 HERSEY ROAD THE
CONTINUED USE AND BENEFIT OF THE SANITARY SEWER
LATERAL AND THE RIGHTS TO MAINTAIN, CONSTRUCT,
RECONSTRUCT, REPAIR, REPLACE, AND OPERATE THE
EXISTING LINE. RECORDED PLANS 2011-0142-3 AND
2013-0128-J SHOW THE EXISTING SANITARY SEWER
LATERAL AS ABANDONED. SENIOR LATERAL
ABANDONMENT TO BE FIELD VERIFIED.

SLOPES TABLE			
NUMBER	SLOPE RANGE	AREA	COLOR
1	15.00% - 24.99%	2003.03 SF	
2	25.00% - 100.00%	5158.12 SF	

NO.	DATE	REVISION
1	12/20/23	REVISIONS PER TRP

SEAL

SEAL

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PROJECT
**SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)**
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

TOWNSHIP
MOUNT JOY TOWNSHIP

COUNTY
LANCASTER COUNTY, PA

SCALE: 1" = 20'

Land Planning
Architecture
Civil Engineering

Corporate Office:
53 West James Street, PA 17603
Phone: (717) 715-1384
www.egassociates.com

Regional Offices:
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dam

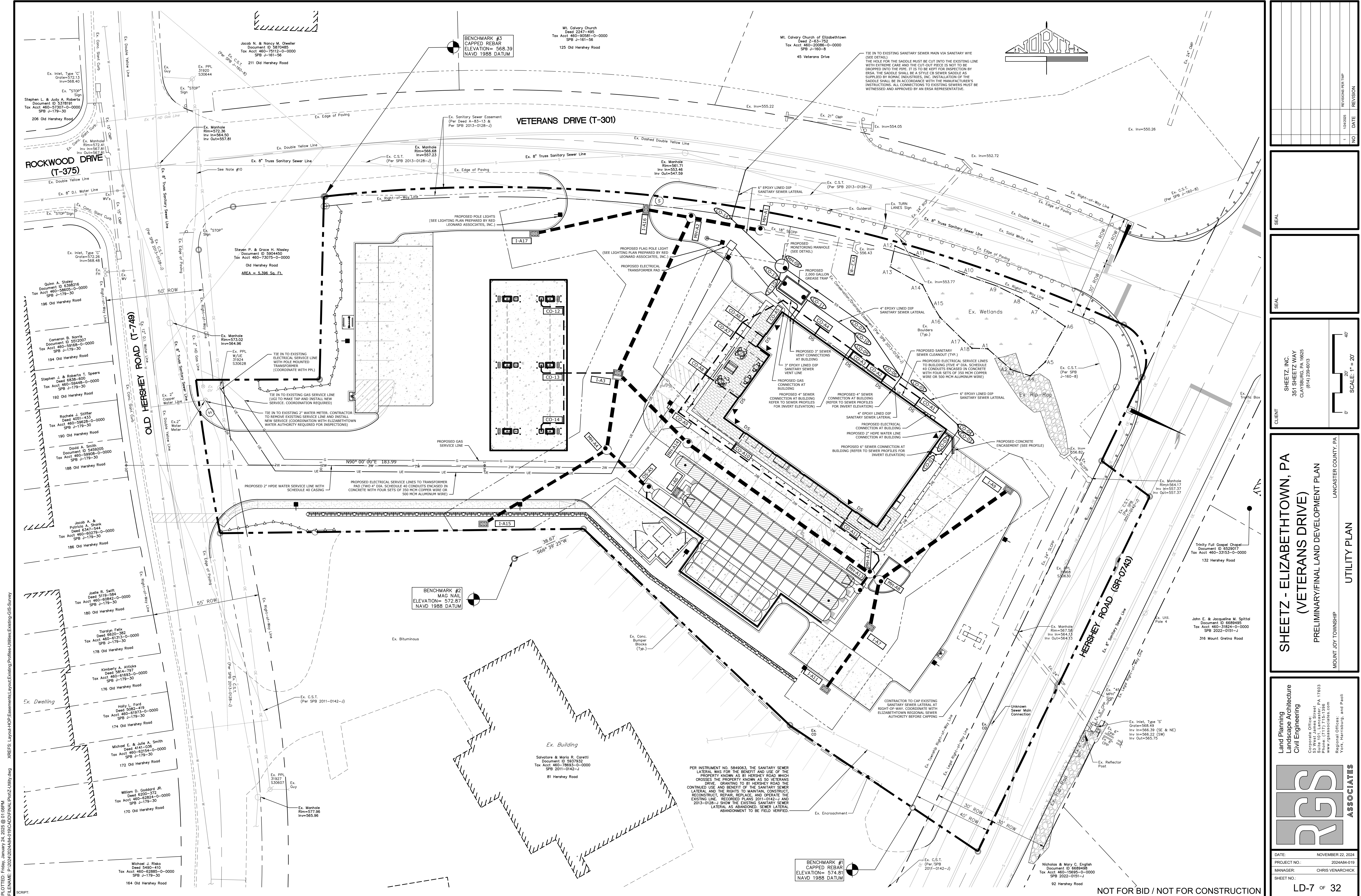
EGS ASSOCIATES

DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHICK
SHEET NO.: LD-6 OF 32

PLOTTED: Friday, January 24, 2025 @ 01:08PM
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SCRIPT: GRADING.SCR

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CLIENT

SHEETZ, INC.
 351 SHEETZ WAY
 CLAYSBURG, PA 16625
 (814) 239-8013

**SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)**

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

UTILITY PLAN

MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

Land Planning
 Landscape Architecture
 Civil Engineering

RG&S ASSOCIATES

Corporate Office:
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 Phone: (717) 745-1384
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DATE: NOVEMBER 22, 2024
 PROJECT NO.: 2024A84-019
 MANAGER: CHRIS VERNARCHICK
 SHEET NO.: LD-7 OF 32

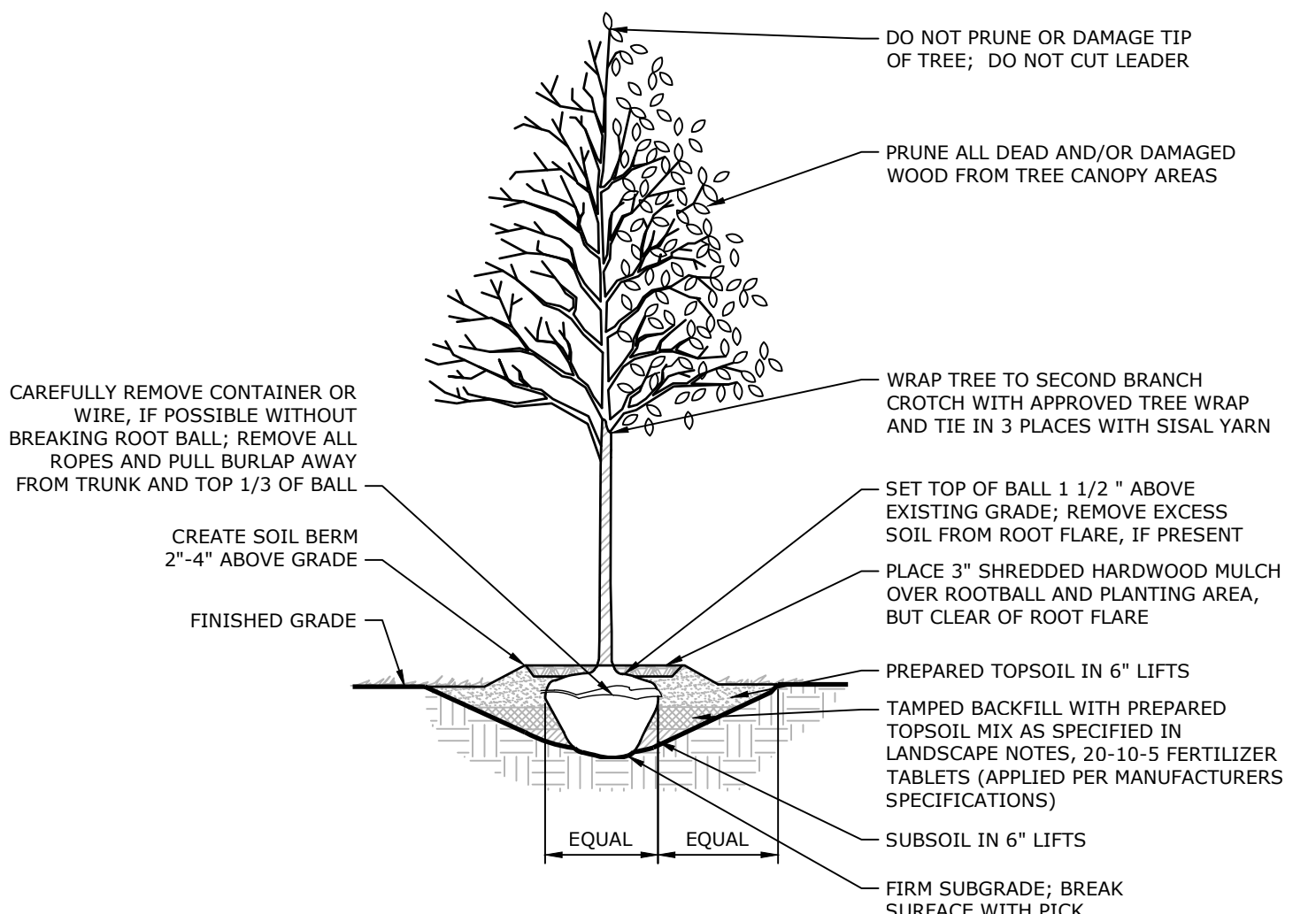
LANDSCAPE CONTRACTOR NOTES:

- GENERAL PLANTING NOTES:
1. CONTRACTOR SHALL CONTACT PA ONE CALL (8-1-1) AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY PLANTING...

- SOIL PREPARATION:
1. NOTES IN THIS SECTION APPLY TO ALL PLANTING AREAS.
2. PRIOR TO PLANTING, THE LANDSCAPE CONTRACTOR SHALL OBTAIN, AND FORWARD TO THE LANDSCAPE ARCHITECT, SOIL AGRONOMY TESTING REPORTS FROM AN APPROVED SOILS LABORATORY SUCH AS THE PENNSYLVANIA STATE UNIVERSITY'S AGRICULTURAL ANALYTICAL SERVICES LABORATORY...

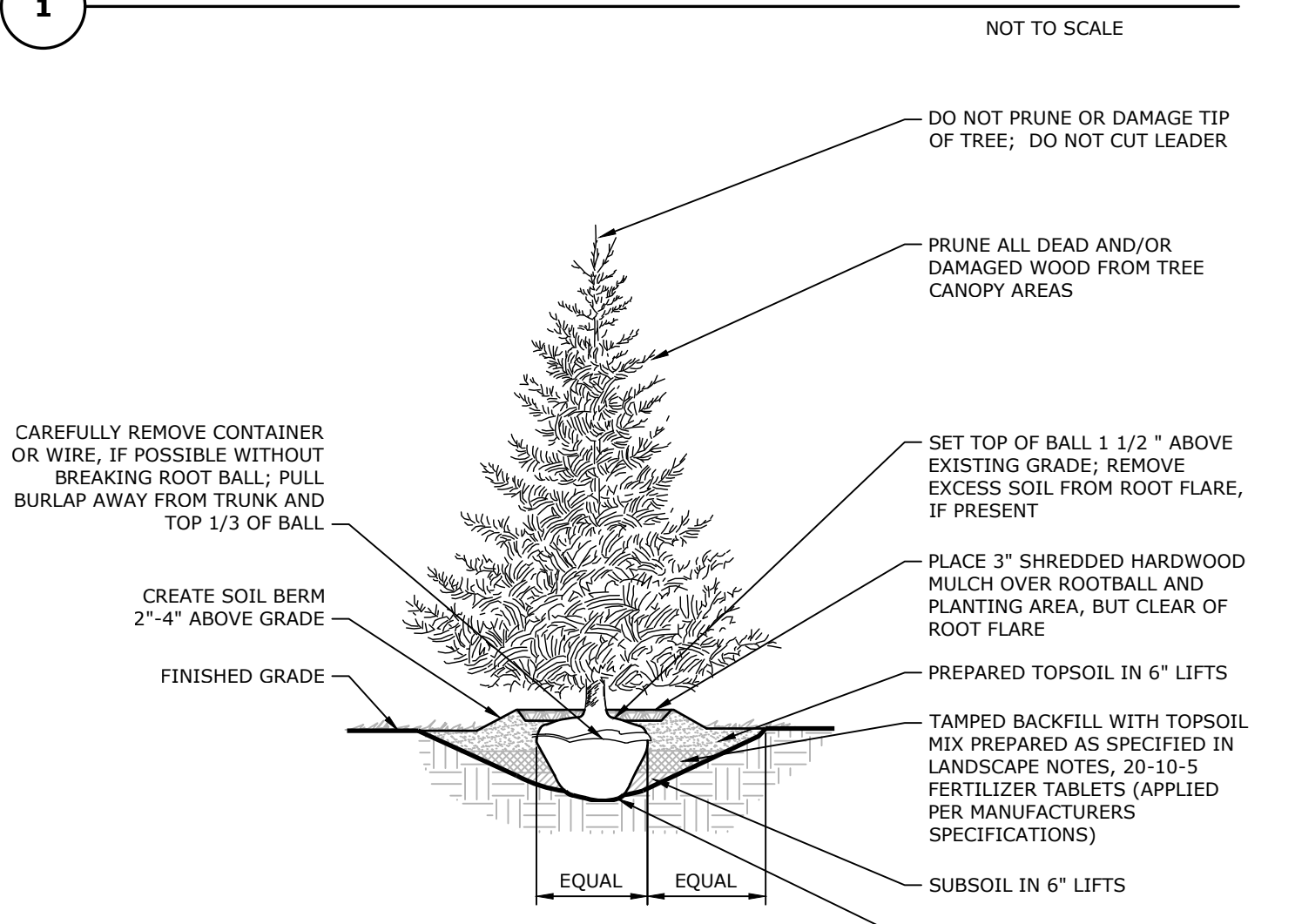
PLANT SCHEDULE

Table with columns: CODE, QTY, BOTANICAL NAME, COMMON NAME, SIZE, CONTAINER. Lists plants like Amelanchier laevis, Cercis canadensis 'Merlot', etc.



- PLANT SPECIFICATION NOTES:
1. ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
2. ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE...

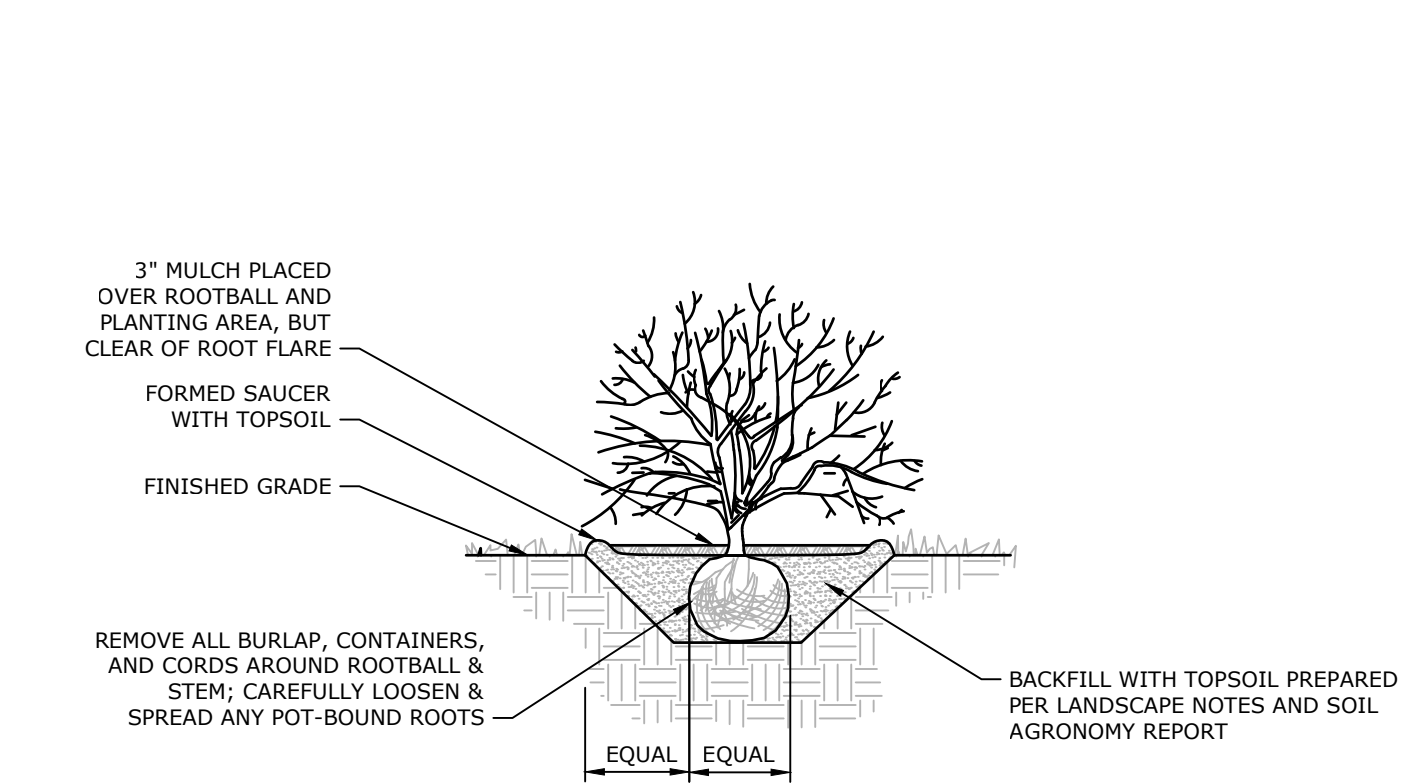
TYPICAL DECIDUOUS TREE PLANTING



- PLANT SPECIFICATION NOTES:
1. ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
2. ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE...

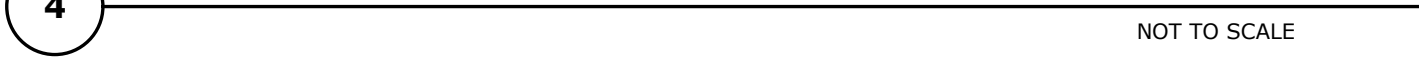
TYPICAL EVERGREEN TREE PLANTING

TYPICAL HERBACEOUS PERENNIAL PLANTING



- PLANT SPECIFICATION NOTES:
1. SET PLANTS AT SAME FINISHED GRADE AS GROWN IN THE NURSERY.
2. ALL SHRUBS SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
3. ALL SHRUBS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE...

TYPICAL SHRUB PLANTING



TREE PROTECTION ZONE (TPZ) FENCE DETAIL



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Revision table with columns: NO, DATE, REVISION.

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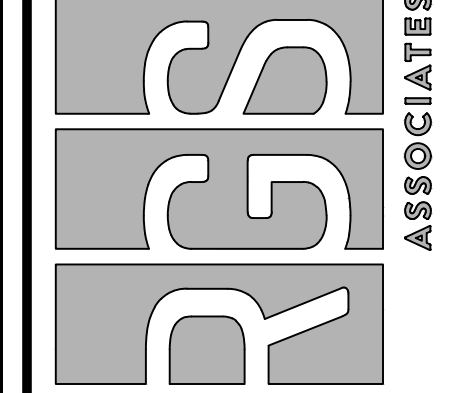
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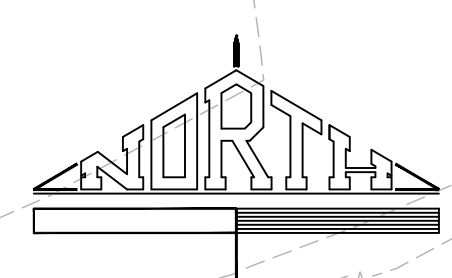
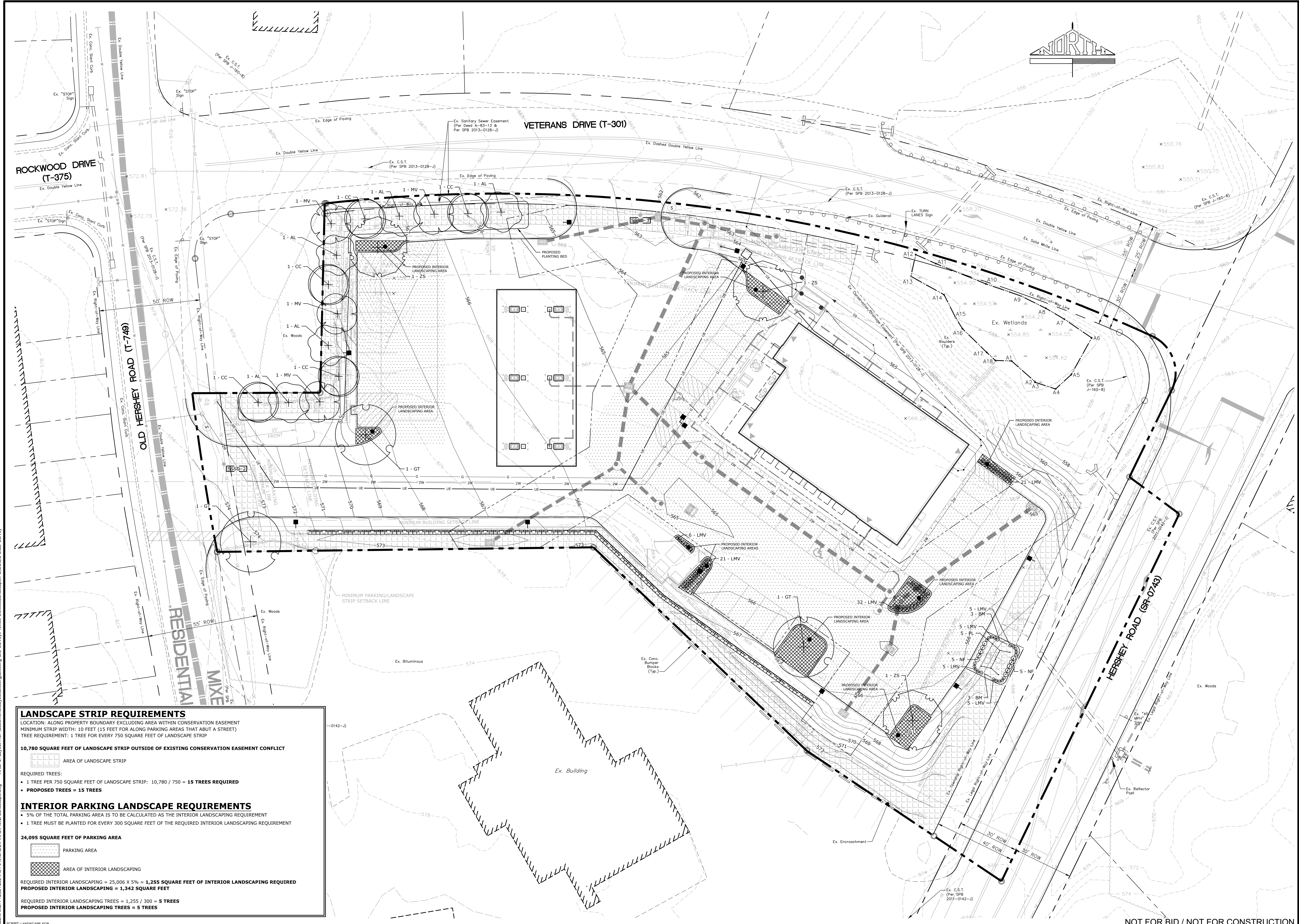
NOT TO SCALE

LANDSCAPE DETAILS SHEETZ - ELIZABETHTOWN, PA (VETERANS DRIVE) PRELIMINARY/FINAL LAND DEVELOPMENT PLAN MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

Land Planning Architecture Civil Engineering Regional Offices: York, Harrisburg, and Paeul



DATE: NOVEMBER 22, 2024 PROJECT NO.: 2024A84-019 MANAGER: CHRIS VERNARCHIC SHEET NO.: LD-8 OF 22



LANDSCAPE STRIP REQUIREMENTS
 LOCATION: ALONG PROPERTY BOUNDARY EXCLUDING AREA WITHIN CONSERVATION EASEMENT
 MINIMUM STRIP WIDTH: 10 FEET (15 FEET FOR ALONG PARKING AREAS THAT ABUT A STREET)
 TREE REQUIREMENT: 1 TREE FOR EVERY 750 SQUARE FEET OF LANDSCAPE STRIP

10,780 SQUARE FEET OF LANDSCAPE STRIP OUTSIDE OF EXISTING CONSERVATION EASEMENT CONFLICT

AREA OF LANDSCAPE STRIP

REQUIRED TREES:

- 1 TREE PER 750 SQUARE FEET OF LANDSCAPE STRIP: 10,780 / 750 = 15 TREES REQUIRED
- PROPOSED TREES = 15 TREES

INTERIOR PARKING LANDSCAPE REQUIREMENTS

- 5% OF THE TOTAL PARKING AREA IS TO BE CALCULATED AS THE INTERIOR LANDSCAPING REQUIREMENT
- 1 TREE MUST BE PLANTED FOR EVERY 300 SQUARE FEET OF THE REQUIRED INTERIOR LANDSCAPING REQUIREMENT

24,095 SQUARE FEET OF PARKING AREA

PARKING AREA

AREA OF INTERIOR LANDSCAPING

REQUIRED INTERIOR LANDSCAPING = 25,006 X 5% = 1,255 SQUARE FEET OF INTERIOR LANDSCAPING REQUIRED
PROPOSED INTERIOR LANDSCAPING = 1,342 SQUARE FEET

REQUIRED INTERIOR LANDSCAPING TREES = 1,255 / 300 = 5 TREES
PROPOSED INTERIOR LANDSCAPING TREES = 5 TREES

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SCALE: 1" = 20'

**SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)**

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

LANDSCAPE PLAN

MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

Land Planning
 Landscape Architecture
 Civil Engineering

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 www.gsaassociates.com

Regional Offices:
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DATE:	NOVEMBER 22, 2024
PROJECT NO.:	2024A84-019
MANAGER:	CHRIS VENARCHICK
SHEET NO.:	LD-9 OF 32

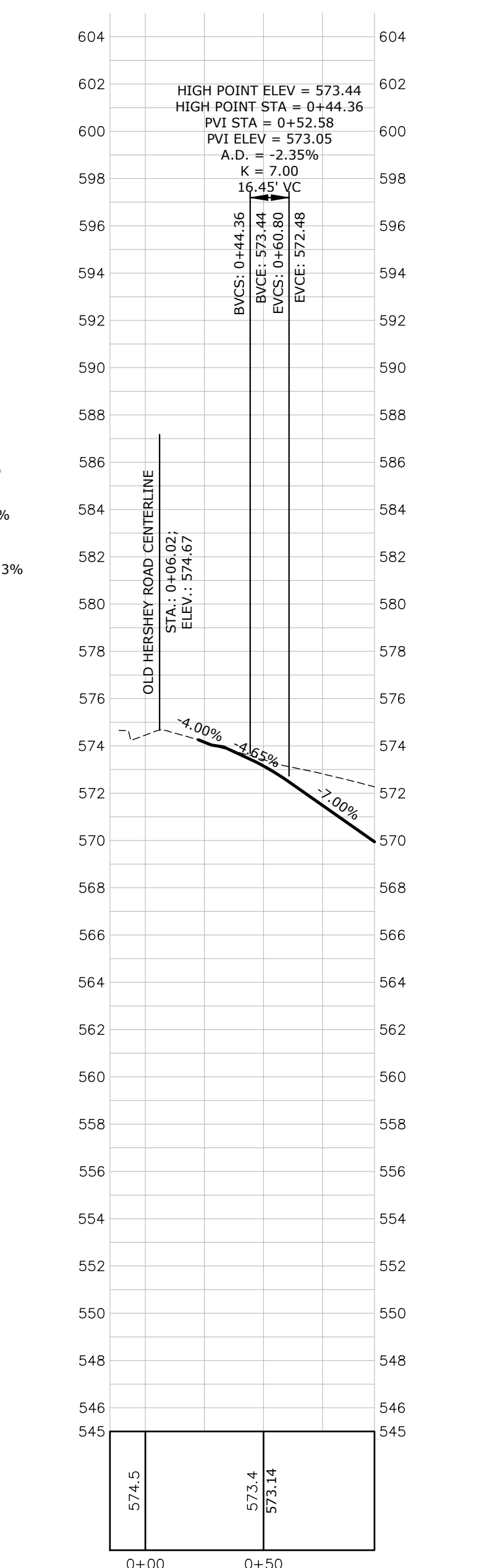
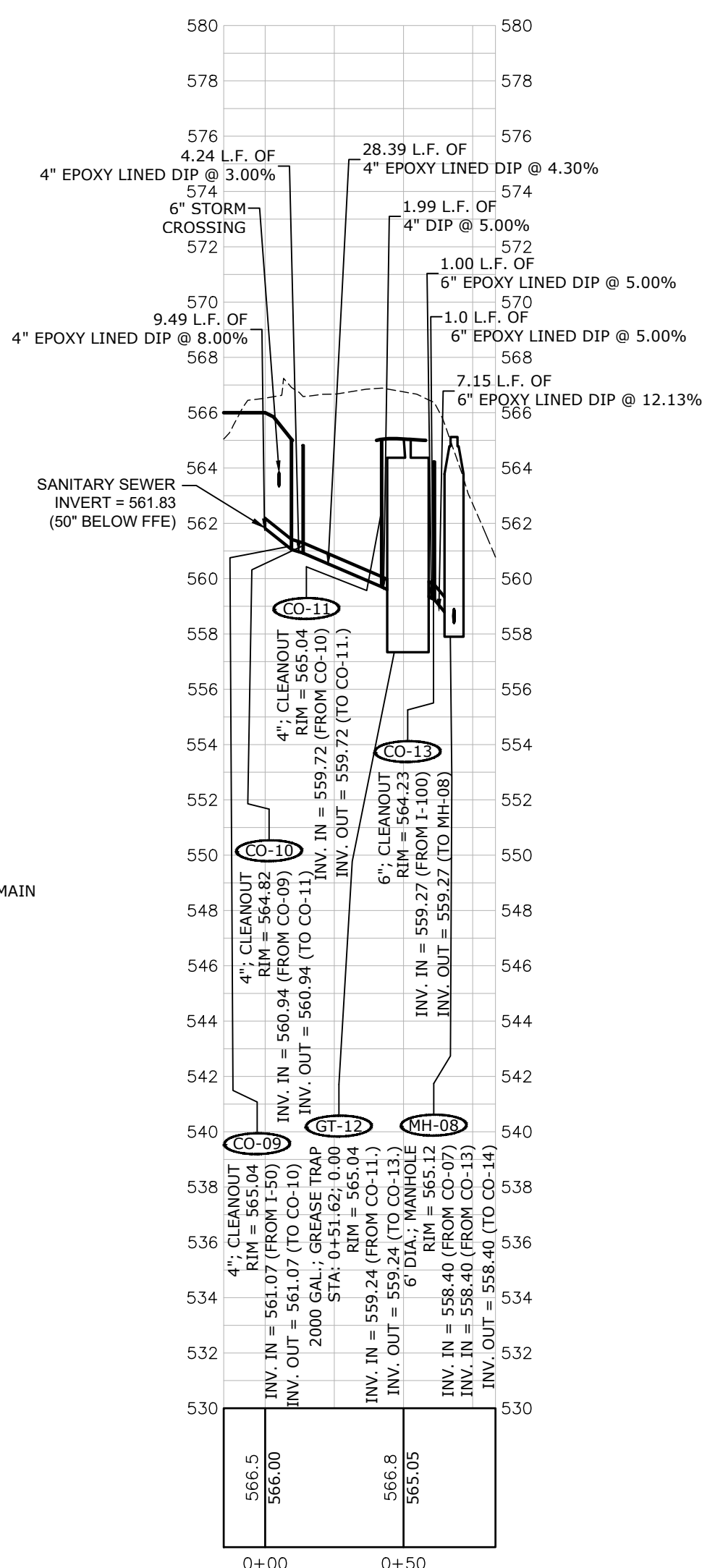
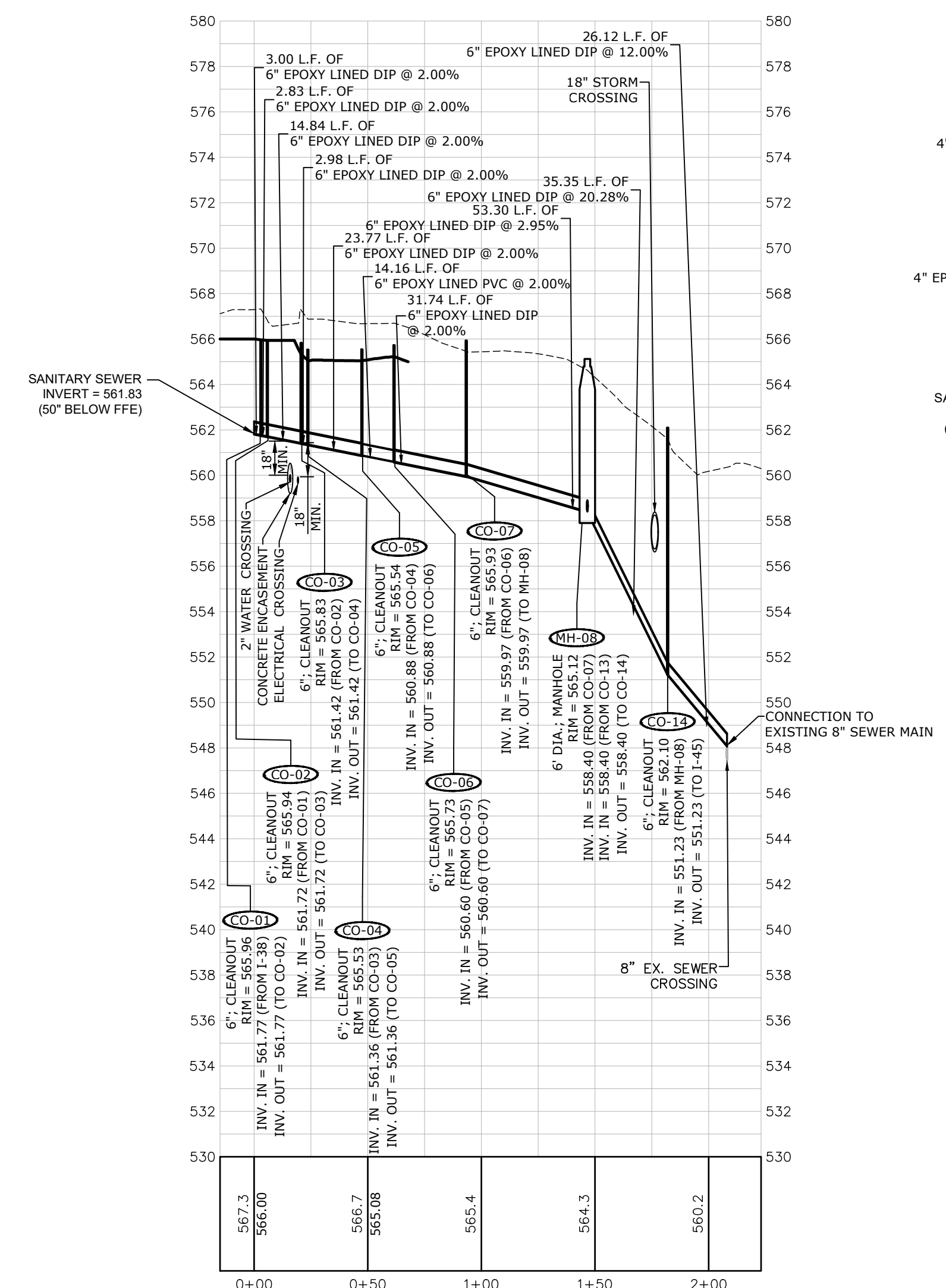
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SCRIPT: LANDSCAPE.SCR

LEGEND

----- EXISTING GRADE ————— PROPOSED GRADE



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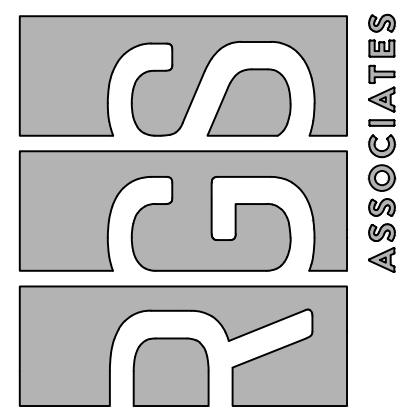
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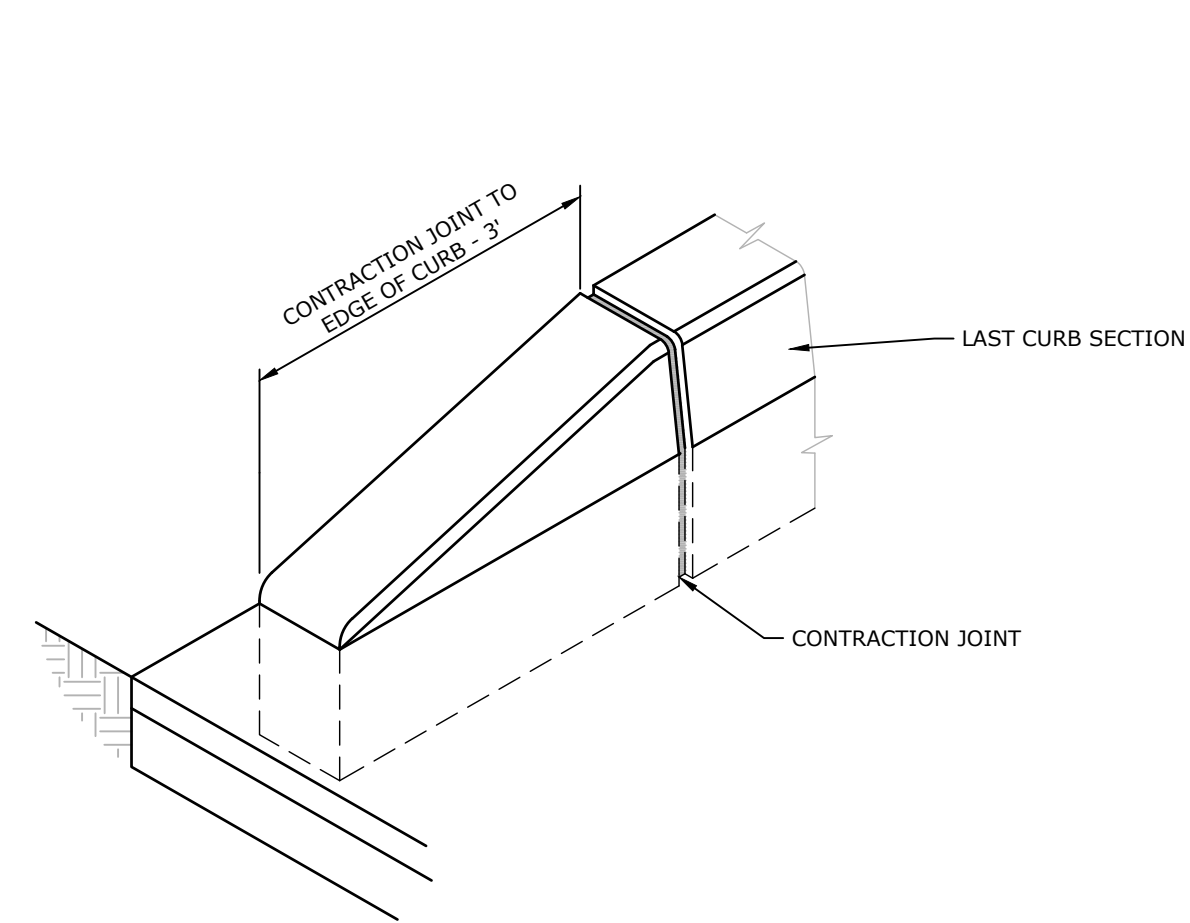
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SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
 PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA
SEWER & ACCESS DRIVE PROFILES

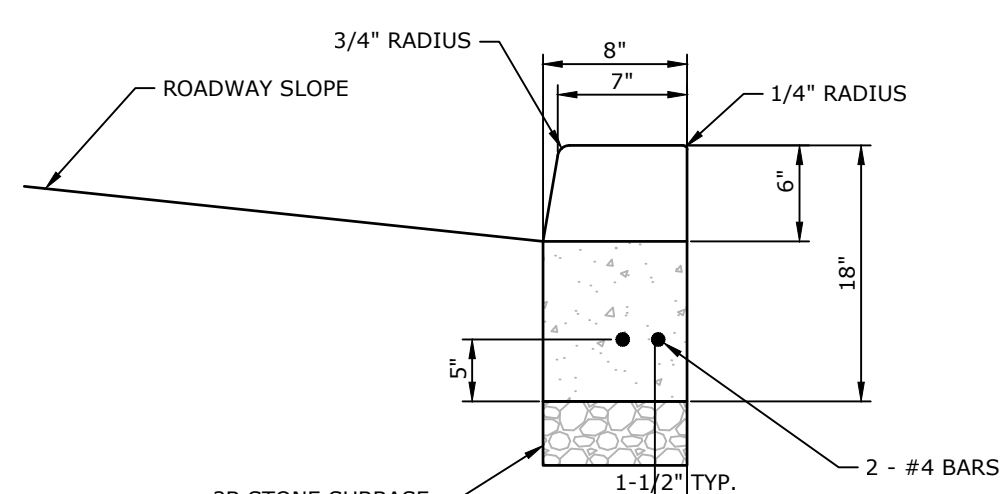
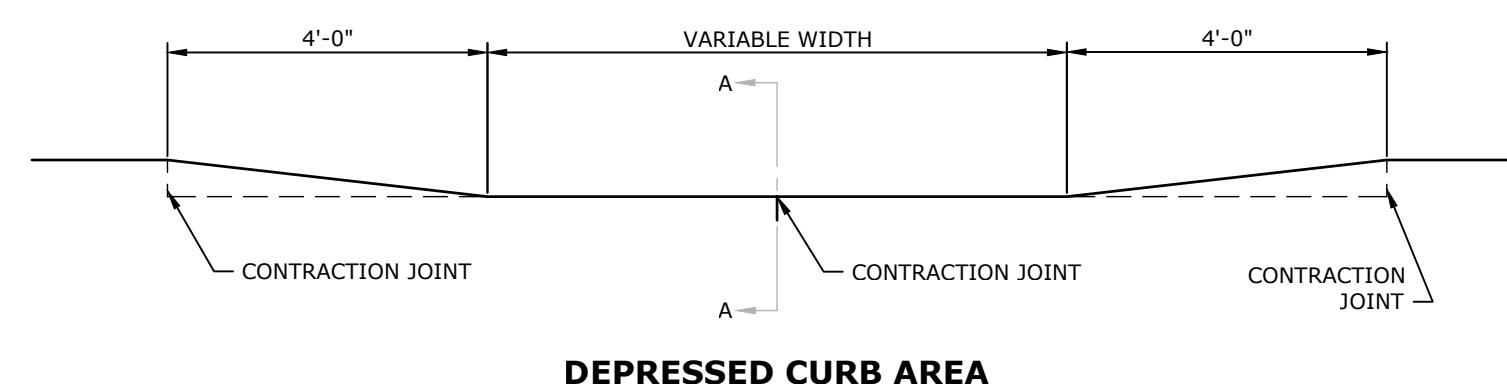
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 MANAGER: CHRIS VENARCHICK
 SHEET NO.: LD-10 OF 32

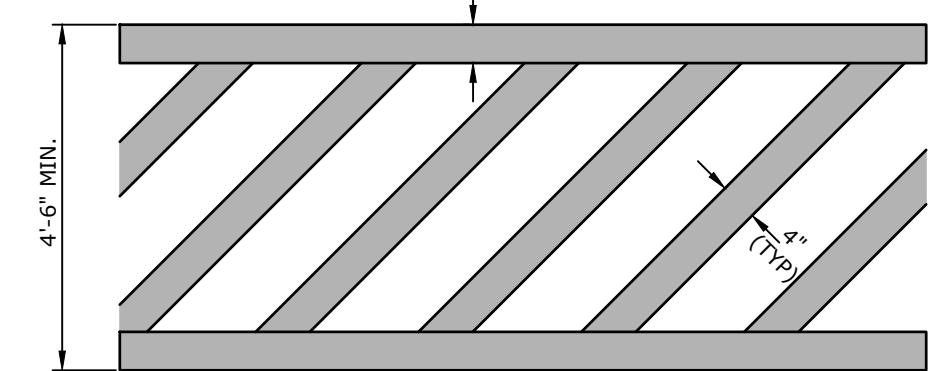


NOTES:
 1. EXPANSION JOINTS SHALL CONSIST OF 1/2" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL. EXPANSION JOINTS SHALL BE LOCATED AT ALL STRUCTURES AT THE END OF THE WORK DAY AND AT INTERVALS OF 100 FEET. CUT MATERIAL TO CONFORM WITH CROSS SECTIONAL AREA OF CURB.
 2. CONTRACTION JOINTS SHALL CONSIST OF A 2" DEEP, 3/16" WIDE SAW CUT AND BE PLACED AT UNIFORM LENGTHS OF 20 FOOT INTERVALS MAXIMUM AND 4 FOOT INTERVALS MINIMUM.

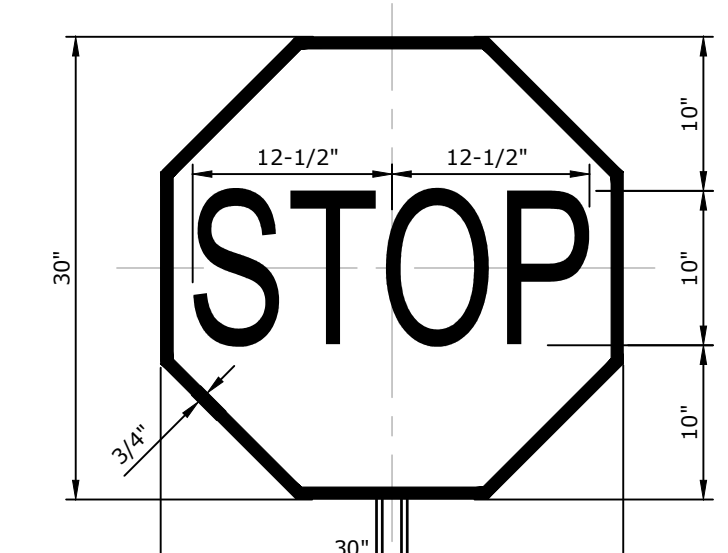


DEPRESSED CURB AREA

SECTION A-A



TYPE X THERMOPLASTIC CROSSWALK DETAIL



NOTE
 1. ROADWAY SIGNAGE PLACEMENT AND INSTALLATION SHALL BE COORDINATED WITH THE TOWNSHIP ENGINEER.

DETAIL TO BE PLACED AND USED ON PLANS ONLY WHEN REQUIRED BY A TOWNSHIP.

DETAIL TO BE USED WITH SI-009 - TYPICAL SIGN POST DETAIL

1 VERTICAL CURB TERMINATION NOT TO SCALE

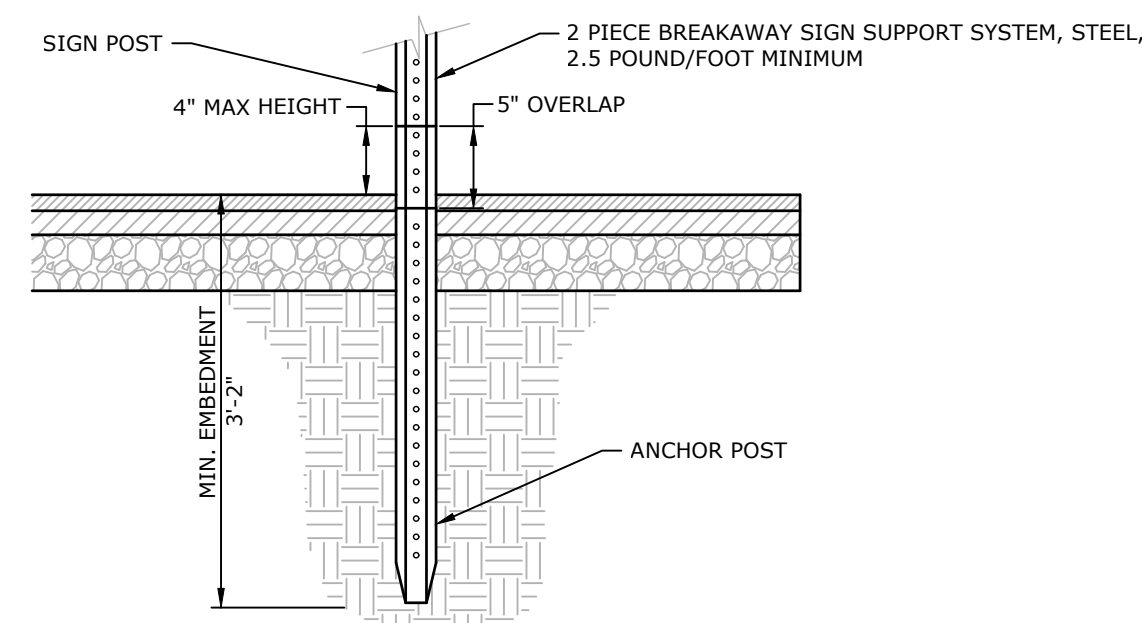
2 DEPRESSED CURB NOT TO SCALE

3 TYPE X THERMOPLASTIC CROSSWALK DETAIL NOT TO SCALE

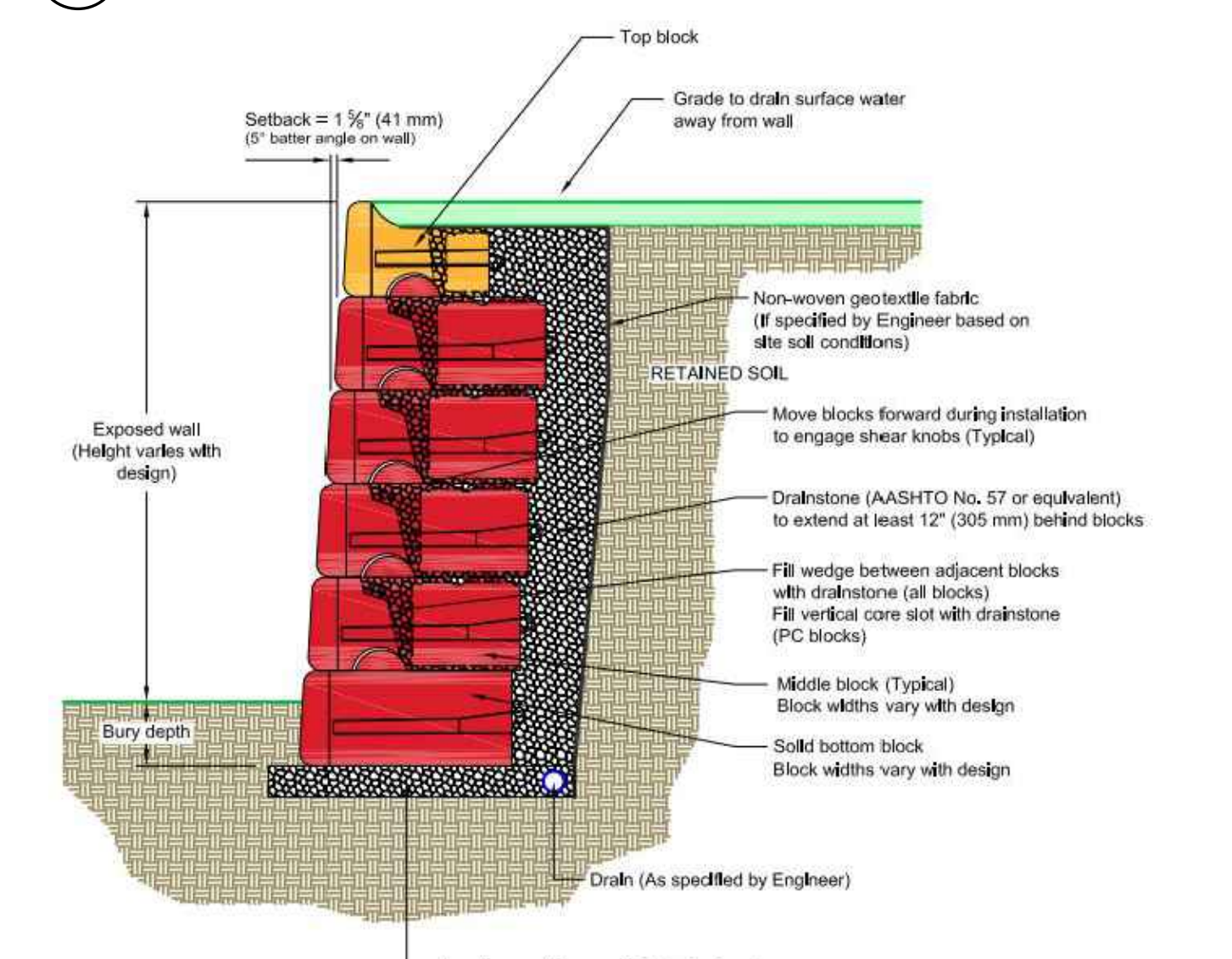
4 STOP SIGN NOT TO SCALE

SIGN	MUTCD CODE
STOP	R1-1
NO PARKING	R7-x
NO PARKING (SYMBOL)	R8-3A
HANDICAP PARKING	R7-8
LEFT LANE MUST TURN LEFT	R3-7
PEDESTRIAN CROSSING	W11-2

NOTES:
 1. POSTS SHALL BE SQUARE BREAKAWAY POST SYSTEM CONSISTING OF A 14 GAUGE GALVANIZED STEEL SQUARE POST, 3'-6" ANCHOR AND A 12 GAUGE 2.25" TOP SECTION.
 2. THE POST SHALL BE CORNER WELDED WITH 7/16" HOLES ON CENTER, ON ALL FOUR SIDES AND BASE, ONLY THE HOLES USED FOR MOUNTING SIGNS SHALL BE PUNCHED OUT. THE COATING SHALL BE HOT DIPPED GALVANIZED WITH A COATING DESIGNATION OF G-140.
 3. A COMPLETE POST SYSTEM SHALL CONSIST OF AN ANCHOR SECTION OF AT LEAST 3'-6" LONG, A SQUARE TOP POST AT LEAST TEN FEET LONG, A CORNER BOLT AND A RAIN CAP.
 4. ANY FREESTANDING SIGN IN A PARKING LOT SHALL BE MOUNTED AS SHOWN. PROVIDE SIGNAGE ON BOTH SIDES OF POST WHEN REQUIRED.
 5. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PUBLICATION 408 AND TC-8702B.



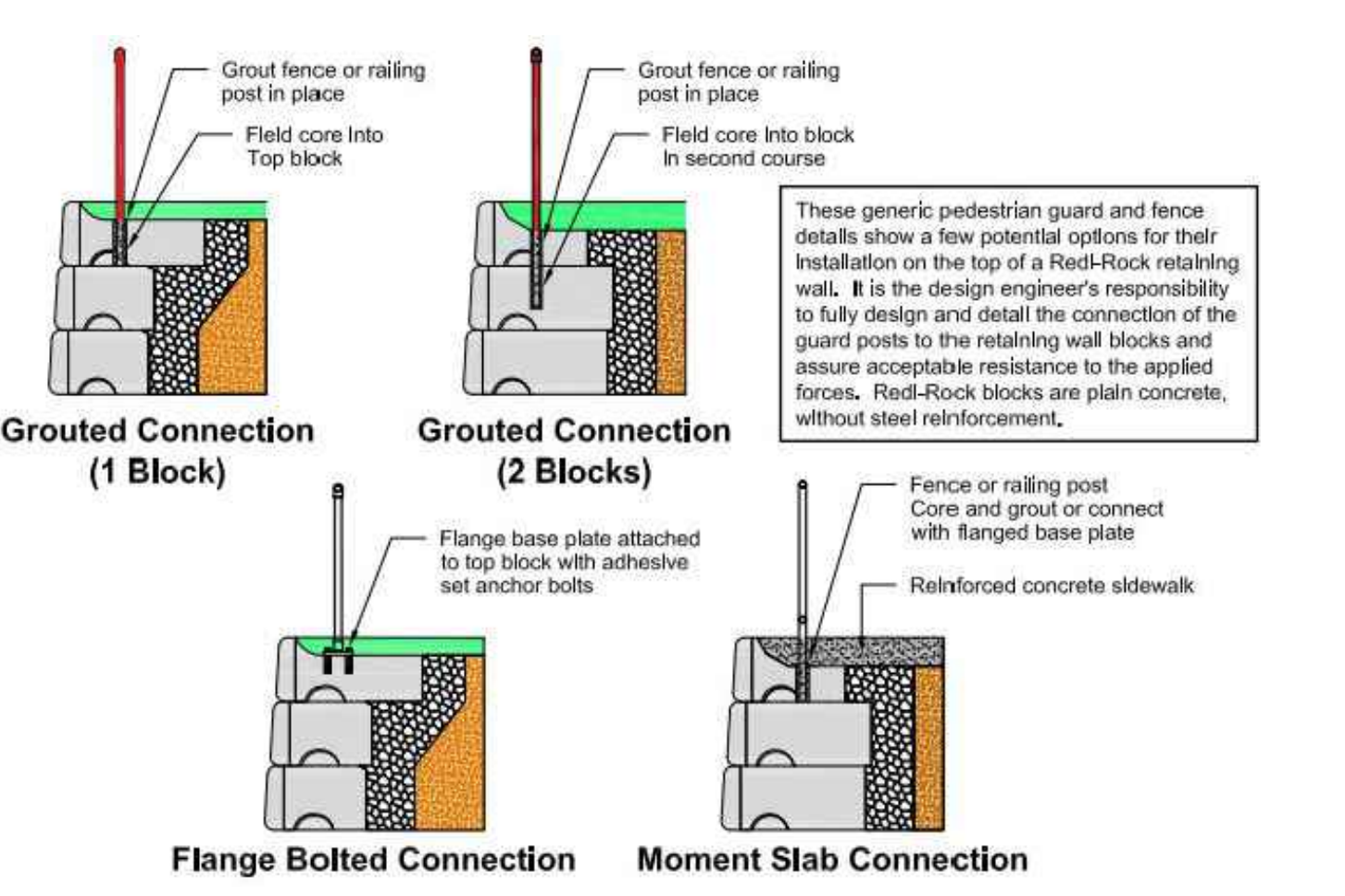
SIGN POST



TYPICAL GRAVITY WALL DETAIL (REDIROCK)

NOTES:
 • THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.
 • CONTRACTOR TO COORDINATE COLOR WITH SHEETZ.

6 NOT TO SCALE

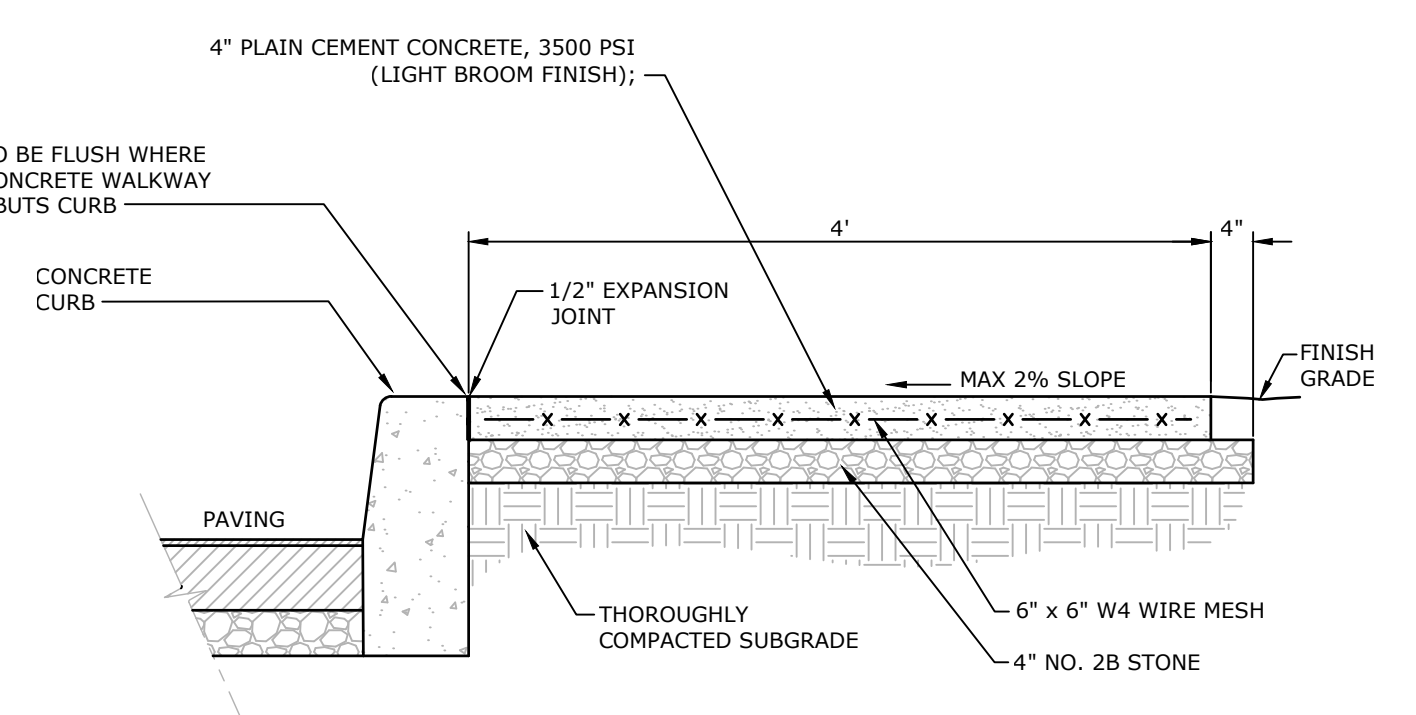


These generic pedestrian guard and fence details show a few potential options for their installation on the top of a Redi-Rock retaining wall. It is the design engineer's responsibility to fully design and detail the connection of the guard posts to the retaining wall blocks and assure acceptable resistance to the applied forces. Redi-Rock blocks are plain concrete, without steel reinforcement.

NOTES:
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 • CONTRACTOR TO COORDINATE COLOR WITH SHEETZ.

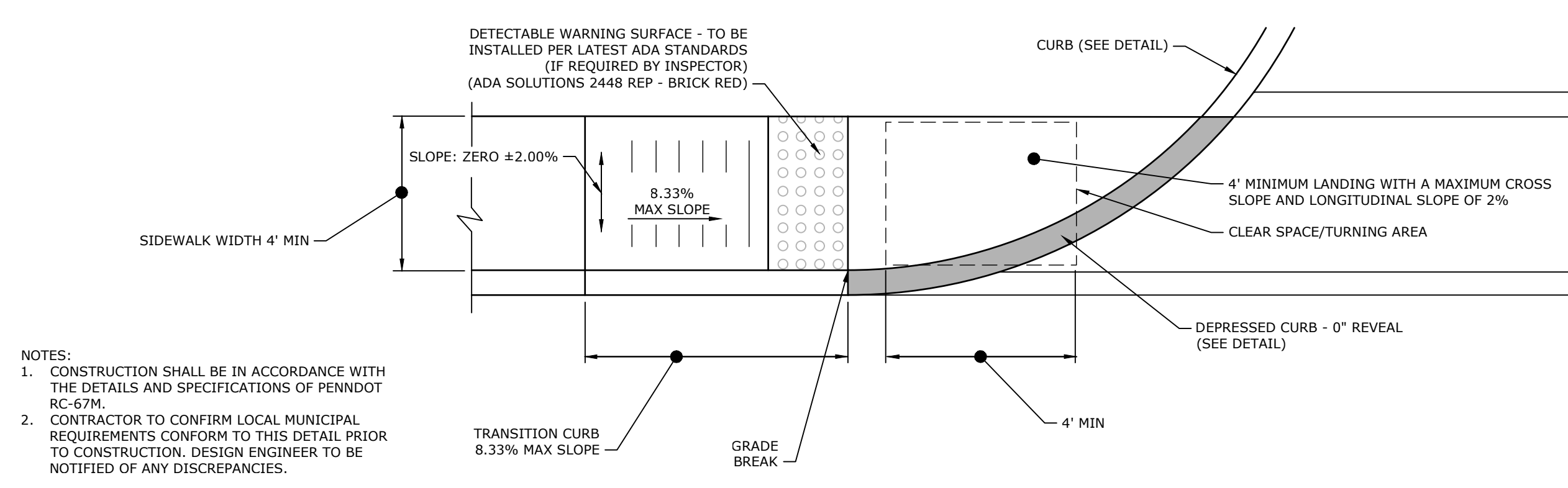
NOTES:
 1. ALL PAINTED LINES FOR ACCESSIBLE PARKING SPACES SHALL BE WHITE 4" WIDE LINES.
 2. CROSSHATCHING IN THE ACCESS AISLES SHALL BE 4" WIDE SOLID WHITE LINES. PARKING IS PROHIBITED IN CROSSHATCHED AREAS.
 3. ACCESS AISLE MAY BE SHARED BY 2 ACCESSIBLE SPACES.
 4. ONE OF EVERY EIGHT ACCESSIBLE SPACES, AND NO LESS THAN ONE, SHALL BE VAN ACCESSIBLE.
 5. A SEPARATE SIGN SHALL BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE.
 6. MOUNTING HEIGHT MAY BE REDUCED TO 5' ABOVE THE PAVEMENT IF IT IS LOCATED IN A NON-PEDESTRIAN AREA, SUCH AS ON A BUILDING OR IN A LANDSCAPED AREA.
 7. VAN ACCESSIBLE SIGNS, WHEN USED, SHALL BE MOUNTED IMMEDIATELY BELOW THE ACCESSIBLE PARKING SIGN.
 8. SEE SITE LAYOUT PLANS FOR PROPOSED LAYOUT AND CONFIGURATION OF ALL HANDICAP PARKING SPACES.

5 NOT TO SCALE



TYPICAL CONCRETE SIDEWALK SECTION WITH CURB

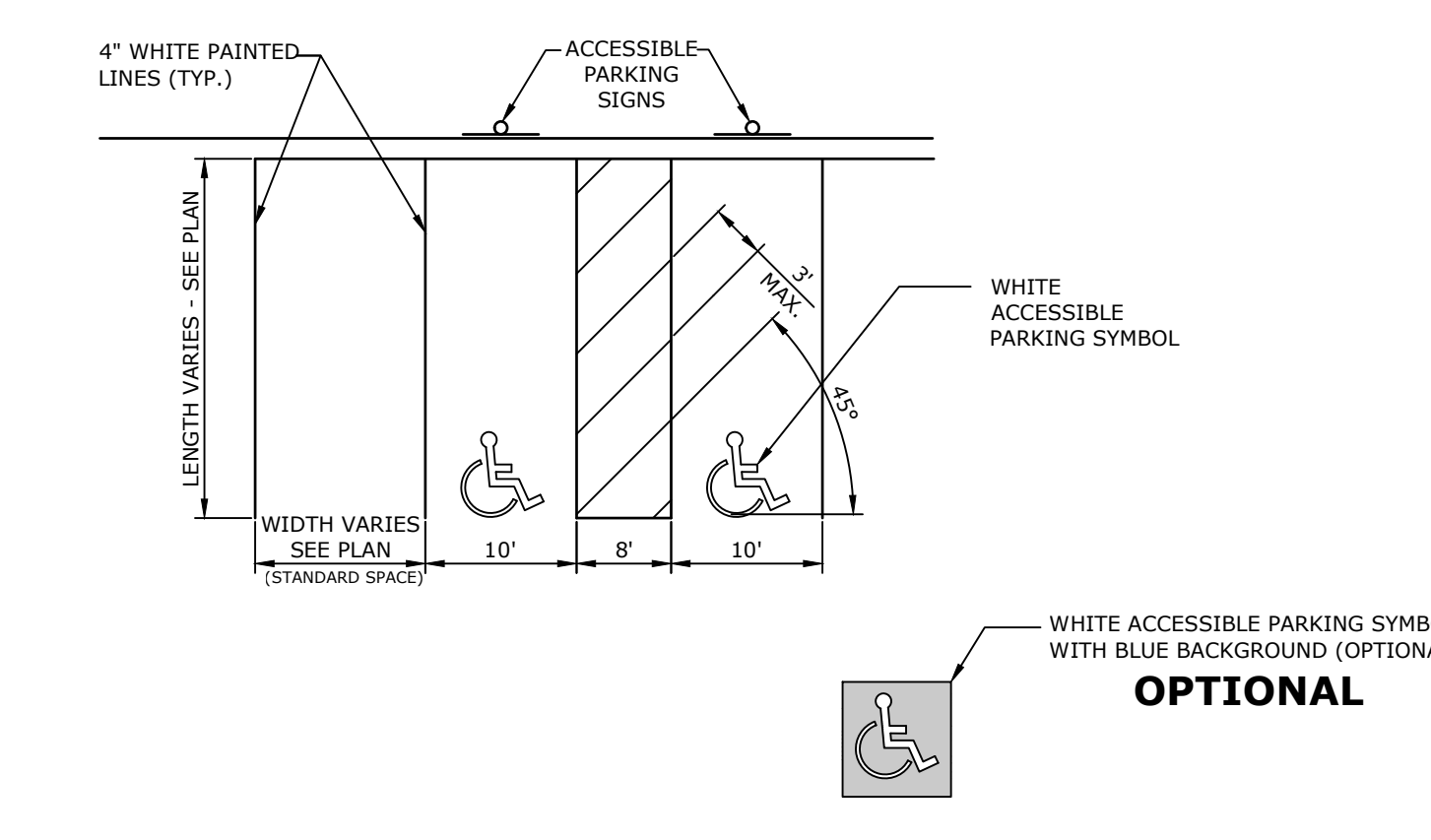
6 NOT TO SCALE



CURB RAMP TYPE A

NOTES:
 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS OF PENNDOT RC-67M.
 2. CONTRACTOR TO CONFIRM LOCAL MUNICIPAL REQUIREMENTS CONFORM TO THIS DETAIL PRIOR TO CONSTRUCTION. DESIGN ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES.

3 NOT TO SCALE



ACCESSIBLE PARKING LAYOUT DETAIL

NOTES:
 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS OF PENNDOT RC-67M.
 2. CONTRACTOR TO CONFIRM LOCAL MUNICIPAL REQUIREMENTS CONFORM TO THIS DETAIL PRIOR TO CONSTRUCTION. DESIGN ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES.

6 NOT TO SCALE

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SHEETZ - ELIZABETHTOWN, PA (VETERANS DRIVE)

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

LANCASTER COUNTY, PA

MOUNT JOY TOWNSHIP

SITE DETAILS

Land Planning
 Landscape Architecture
 Civil Engineering

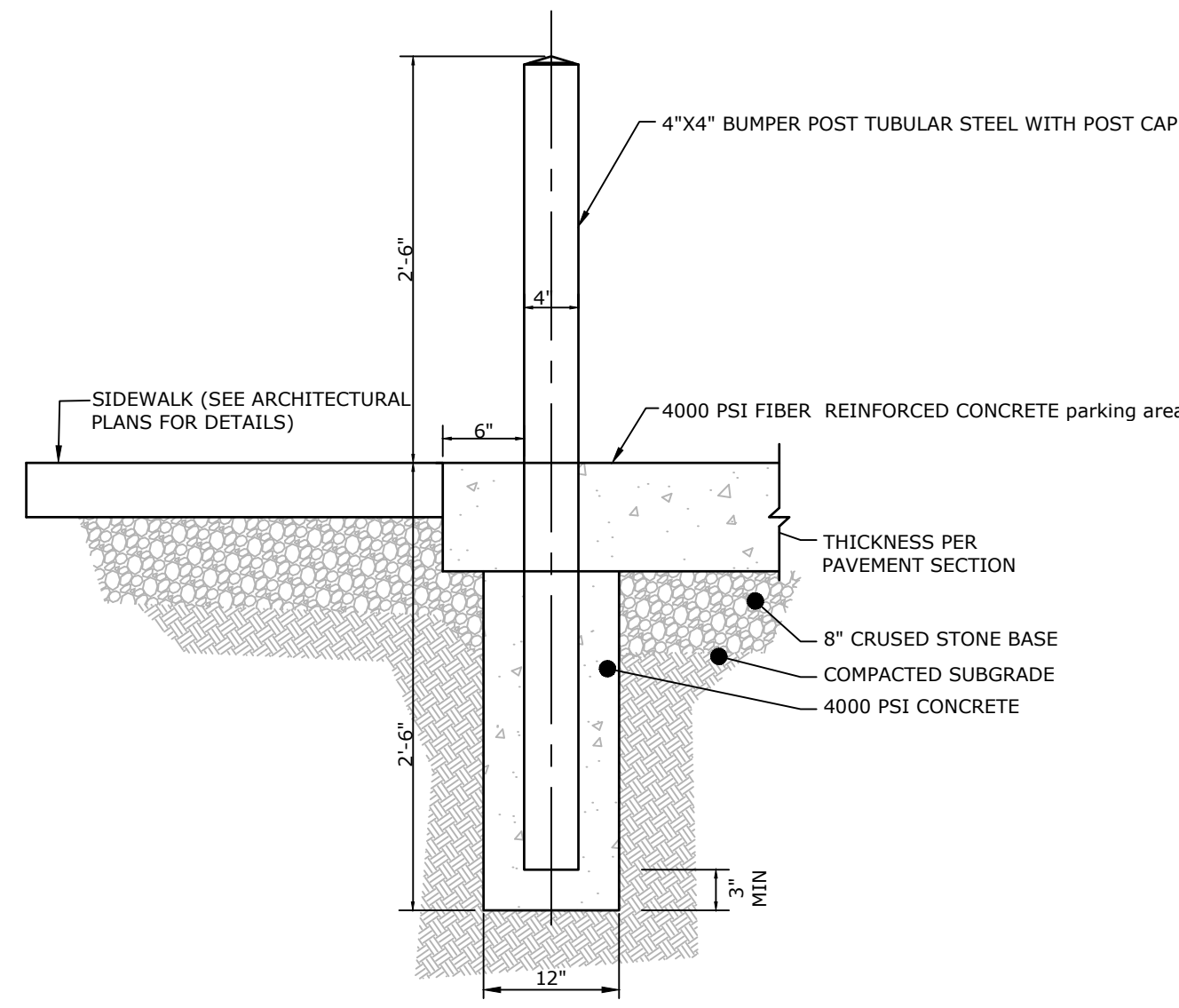
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ASOCIATES

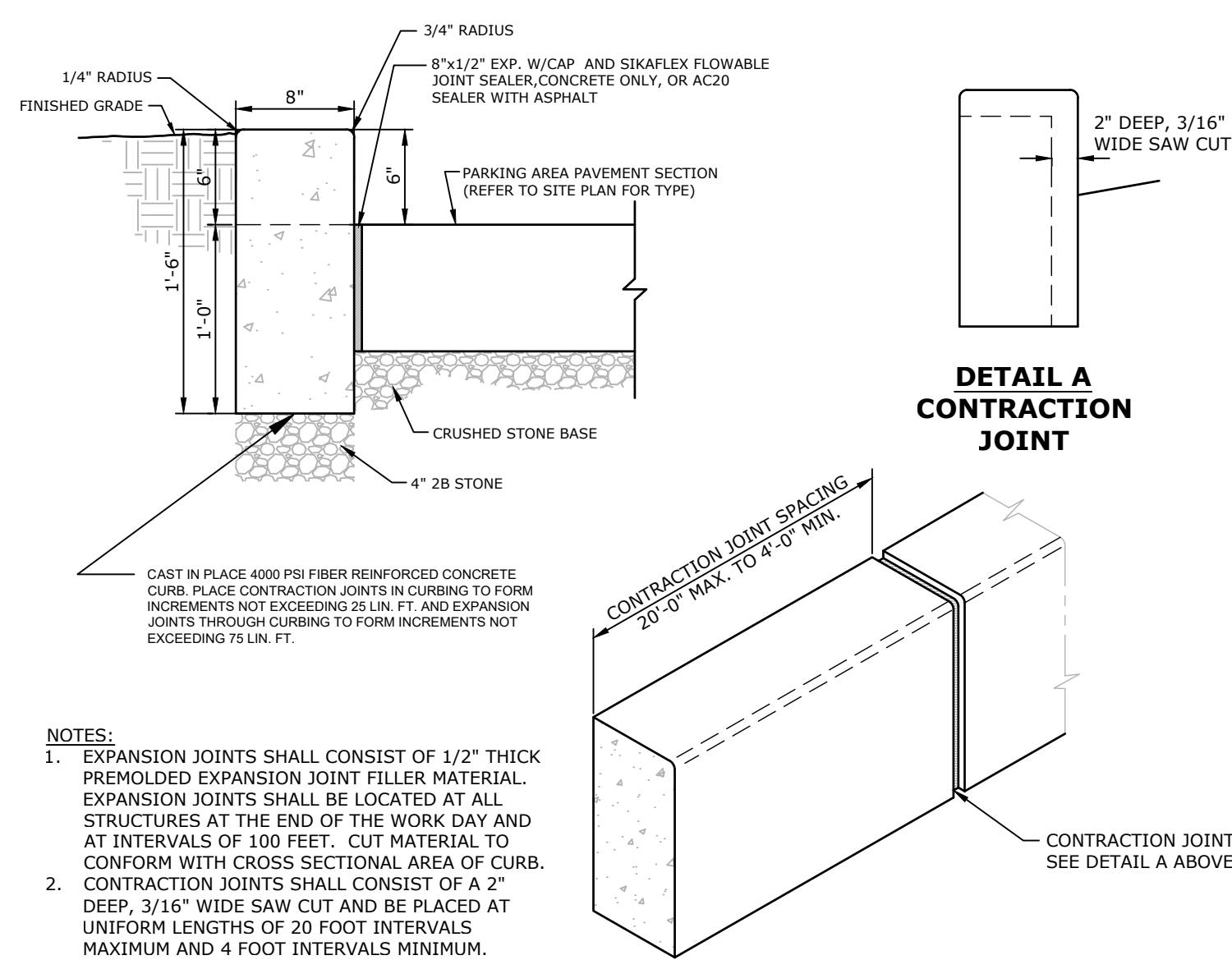
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 PROJECT NO.: 2024A484-019
 MANAGER: CHRIS VENARCHUK
 SHEET NO.: LD-11 OF 32

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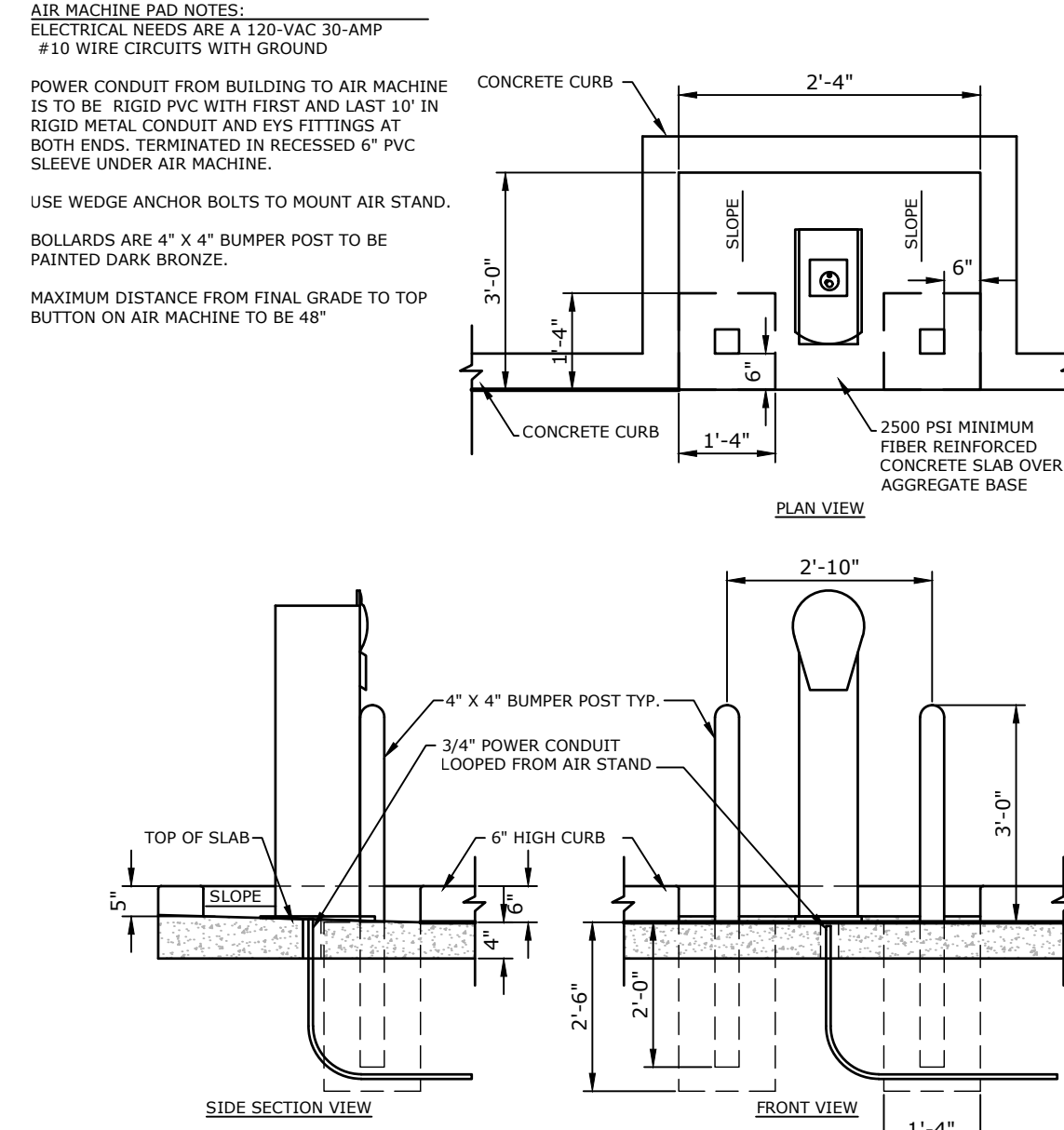
1 STOREFRONT BUMPER POST FLUSH SIDEWALK

NOT TO SCALE



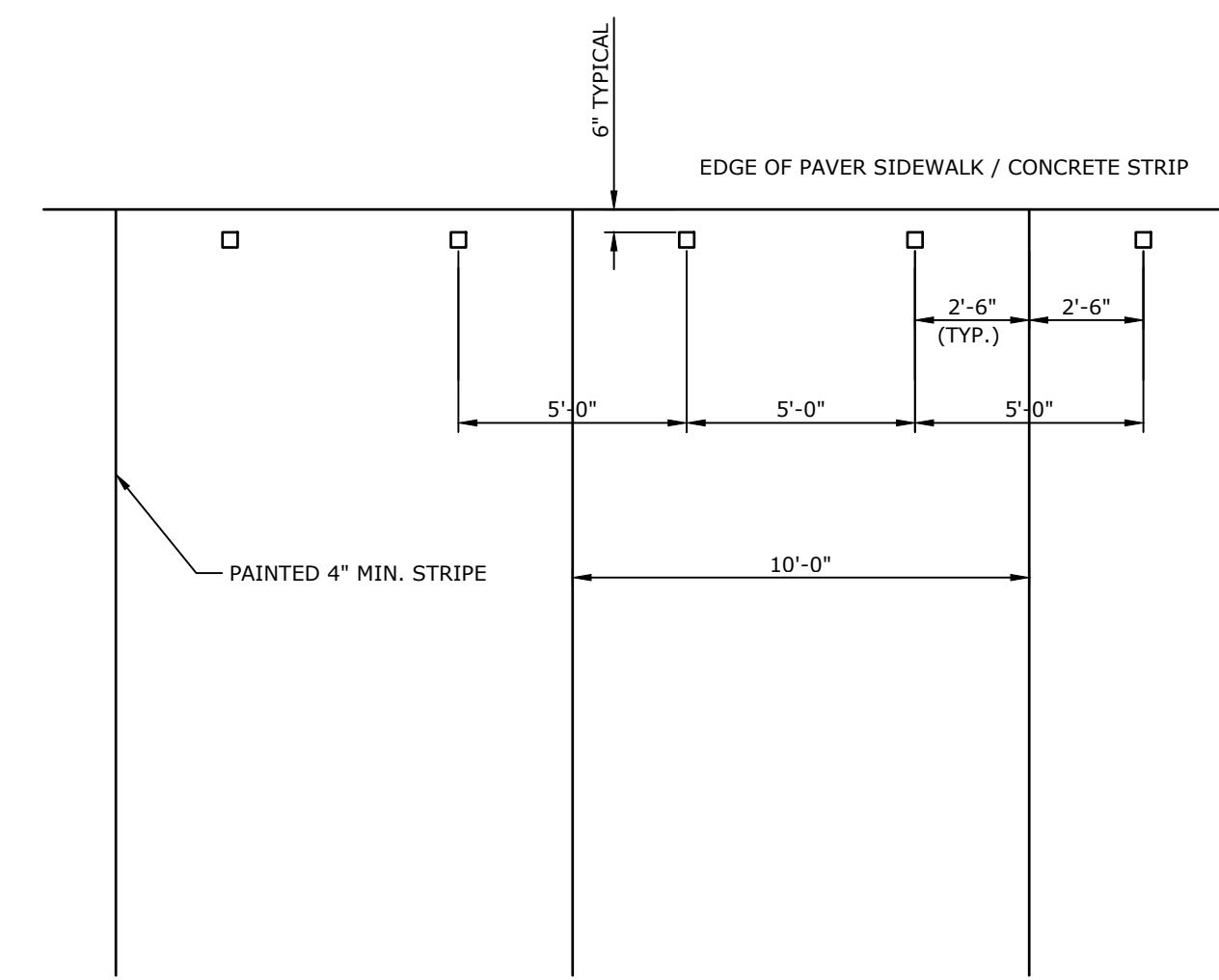
3 CONTRACTION JOINT DETAIL FOR SITE AND PERIMETER CURB

NOT TO SCALE



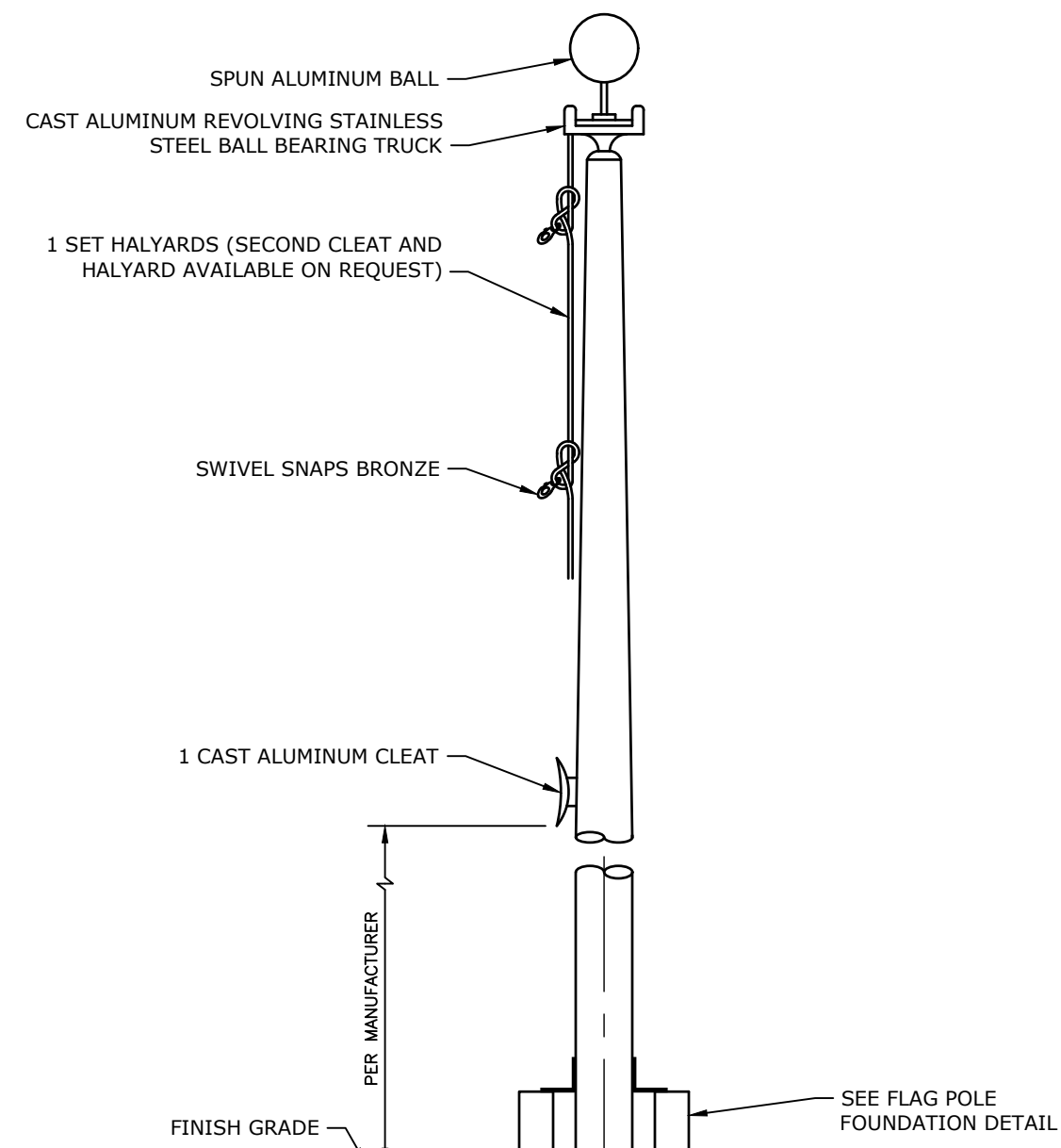
5 AIR MACHINE DETAIL

NOT TO SCALE



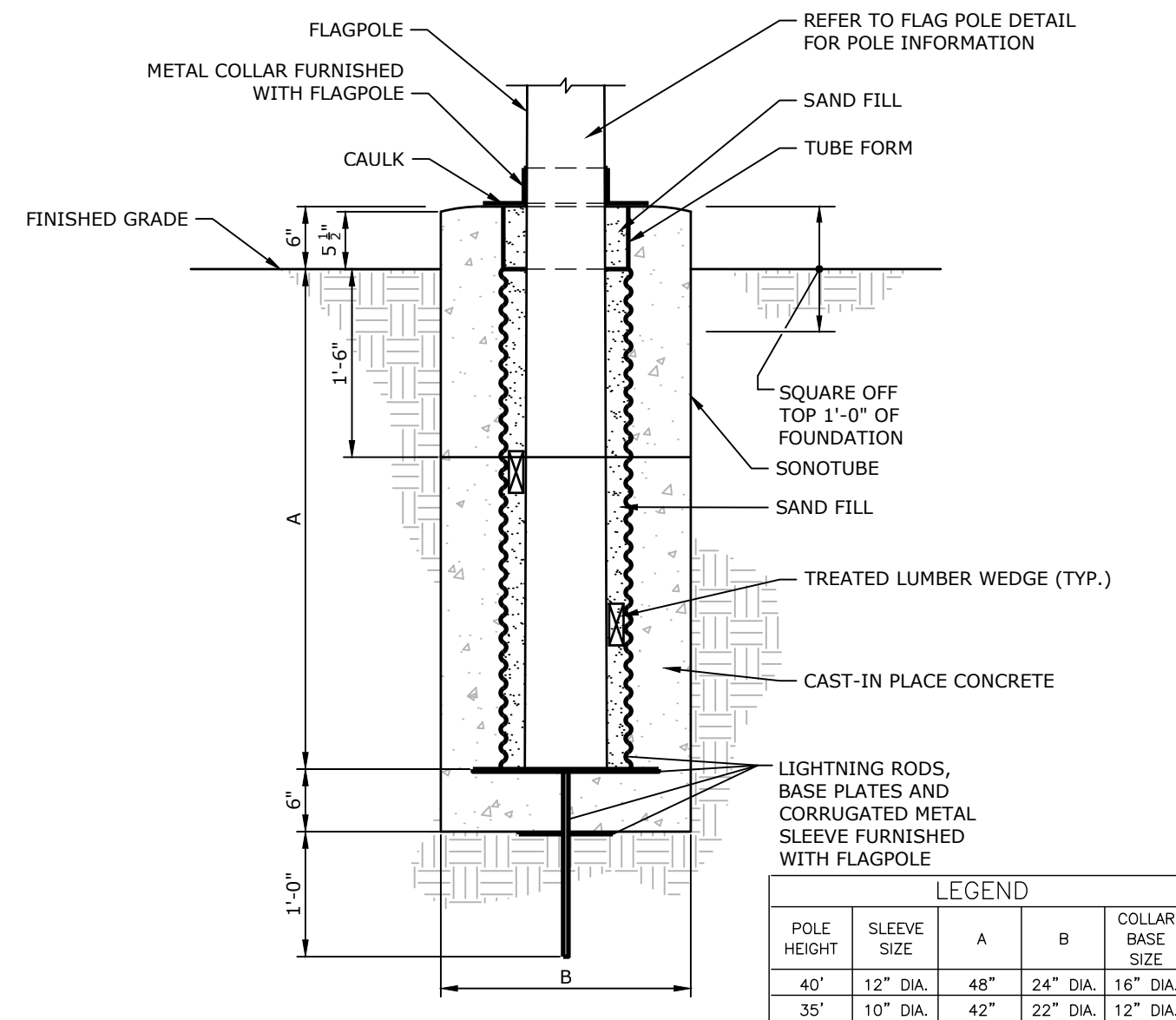
8 BUMPERPOST LAYOUT DETAIL (SIDEWALK)

NOT TO SCALE



11 FLAGPOLE DETAIL

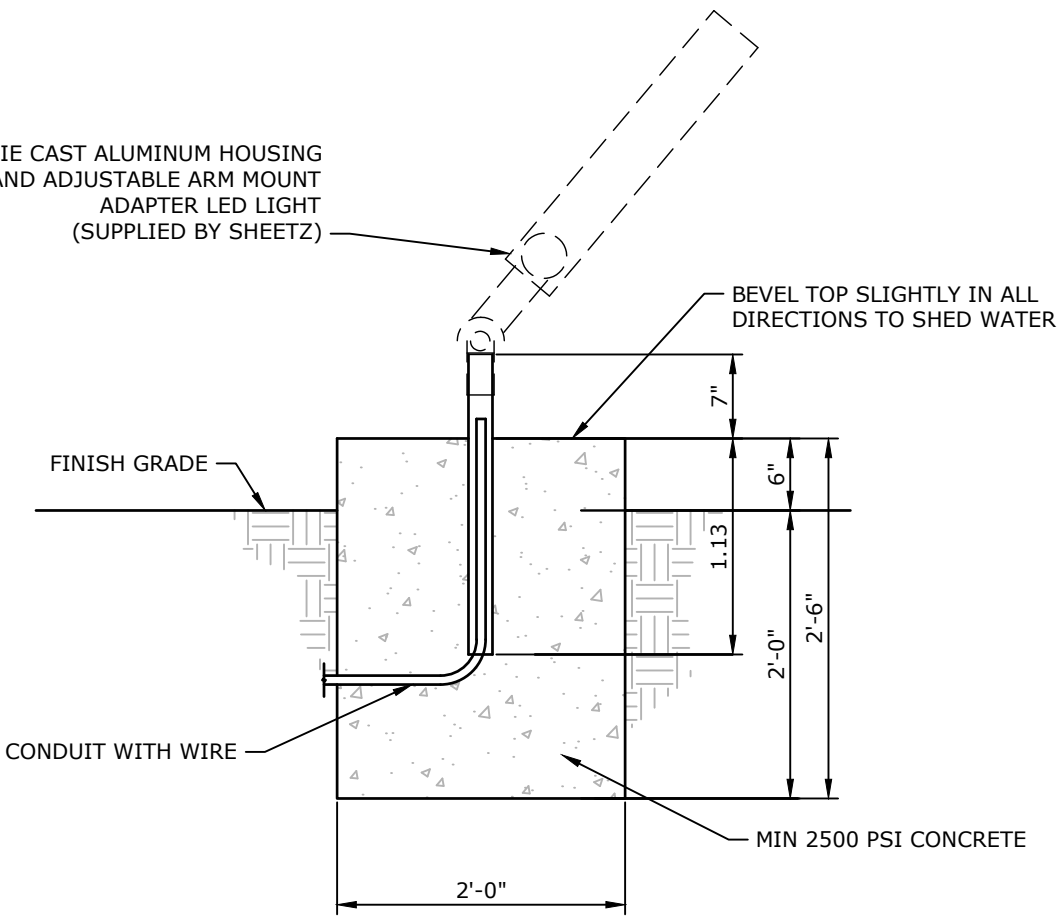
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12 FLAGPOLE FOUNDATION

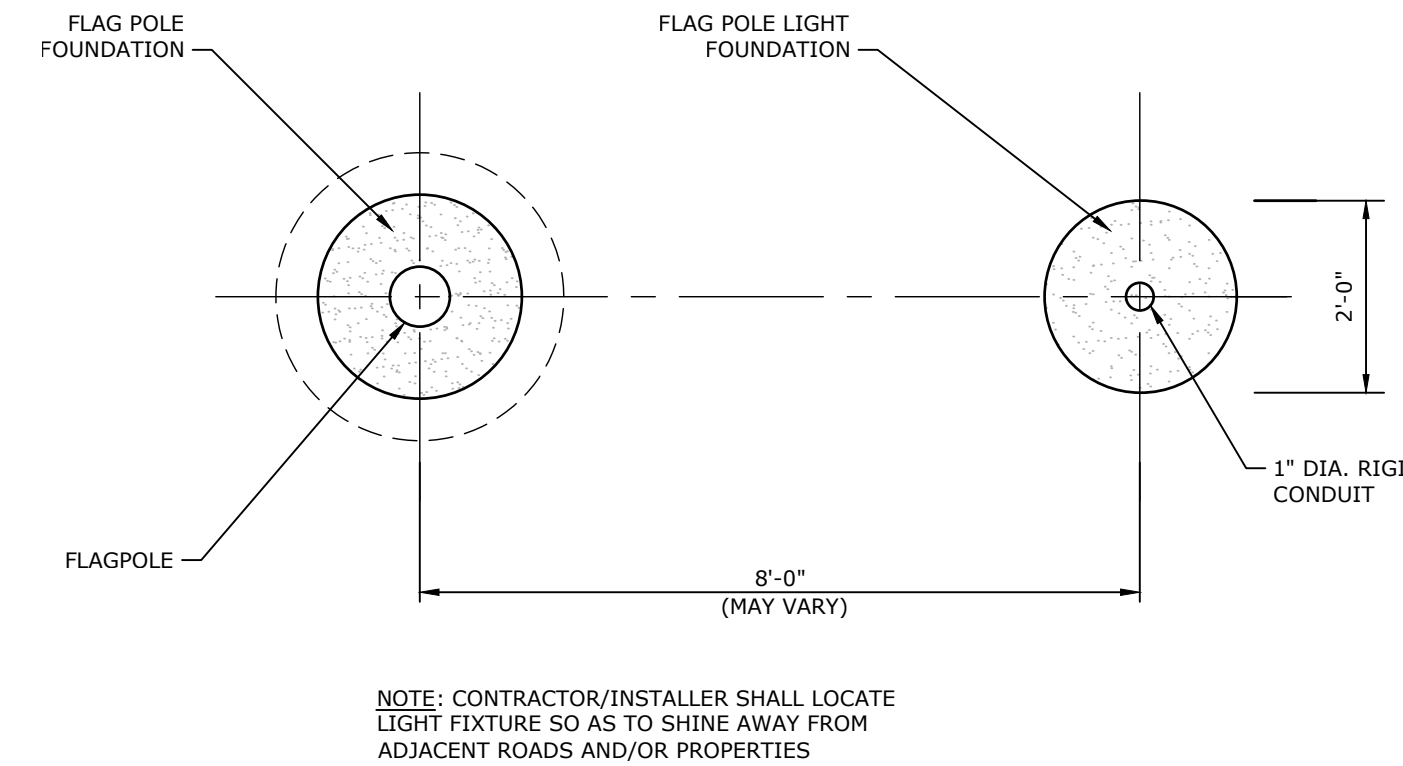
NOT TO SCALE

LEGEND				
POLE HEIGHT	SLEEVE SIZE	A	B	COLLAR BASE SIZE
40'	12" DIA.	48"	24" DIA.	16" DIA.
35'	10" DIA.	42"	22" DIA.	12" DIA.



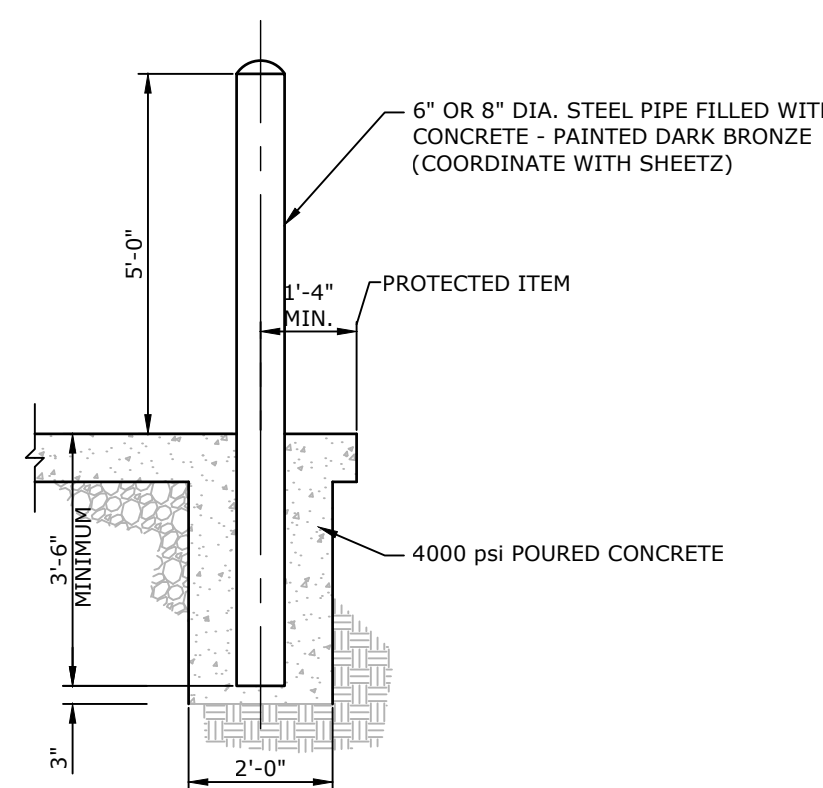
13 FLAGPOLE LIGHT FOUNDATION

NOT TO SCALE



14 FLAGPOLE LIGHT LAYOUT PLAN

NOT TO SCALE



17 6\"/>

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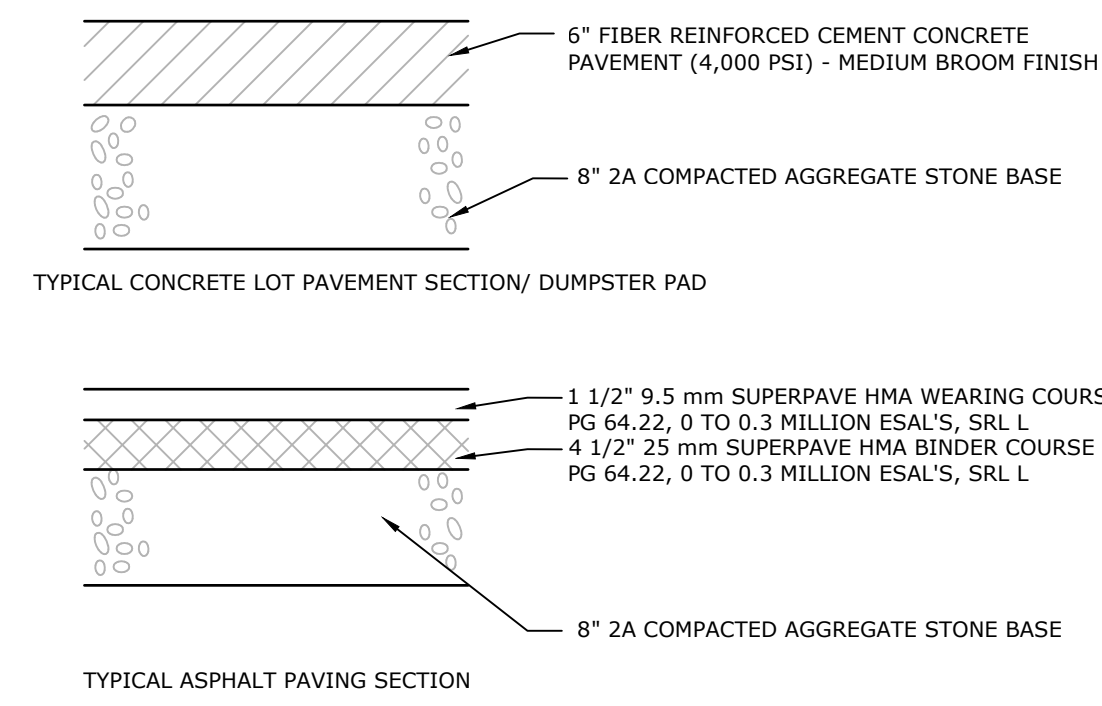
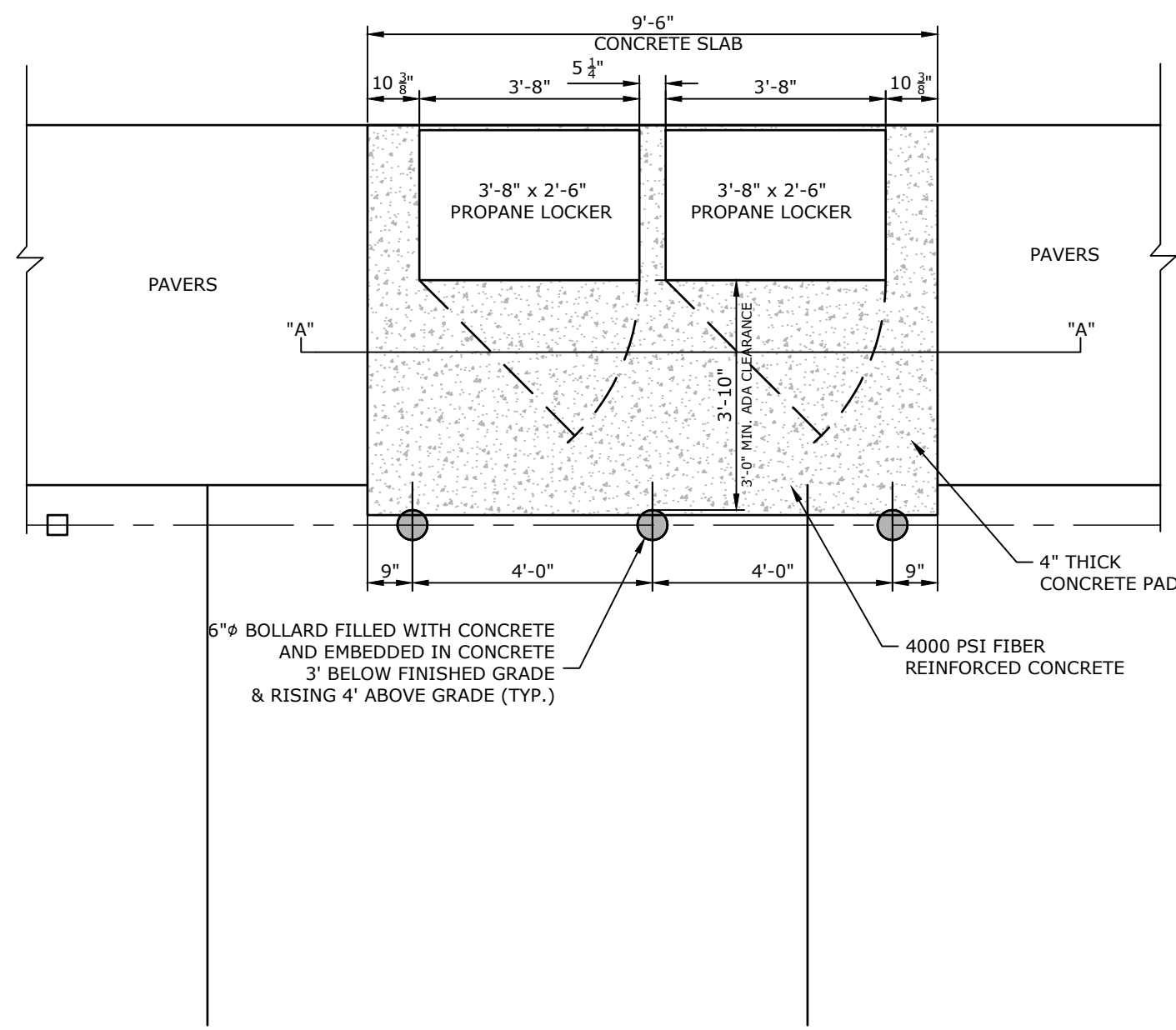
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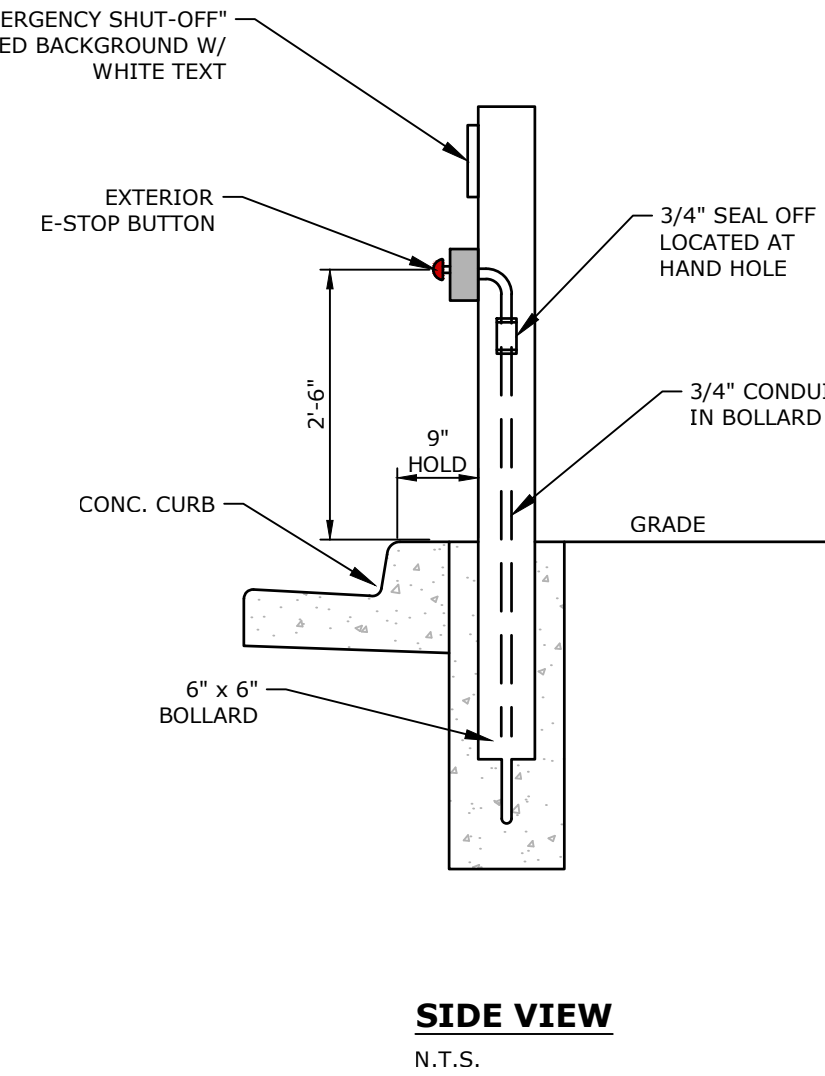
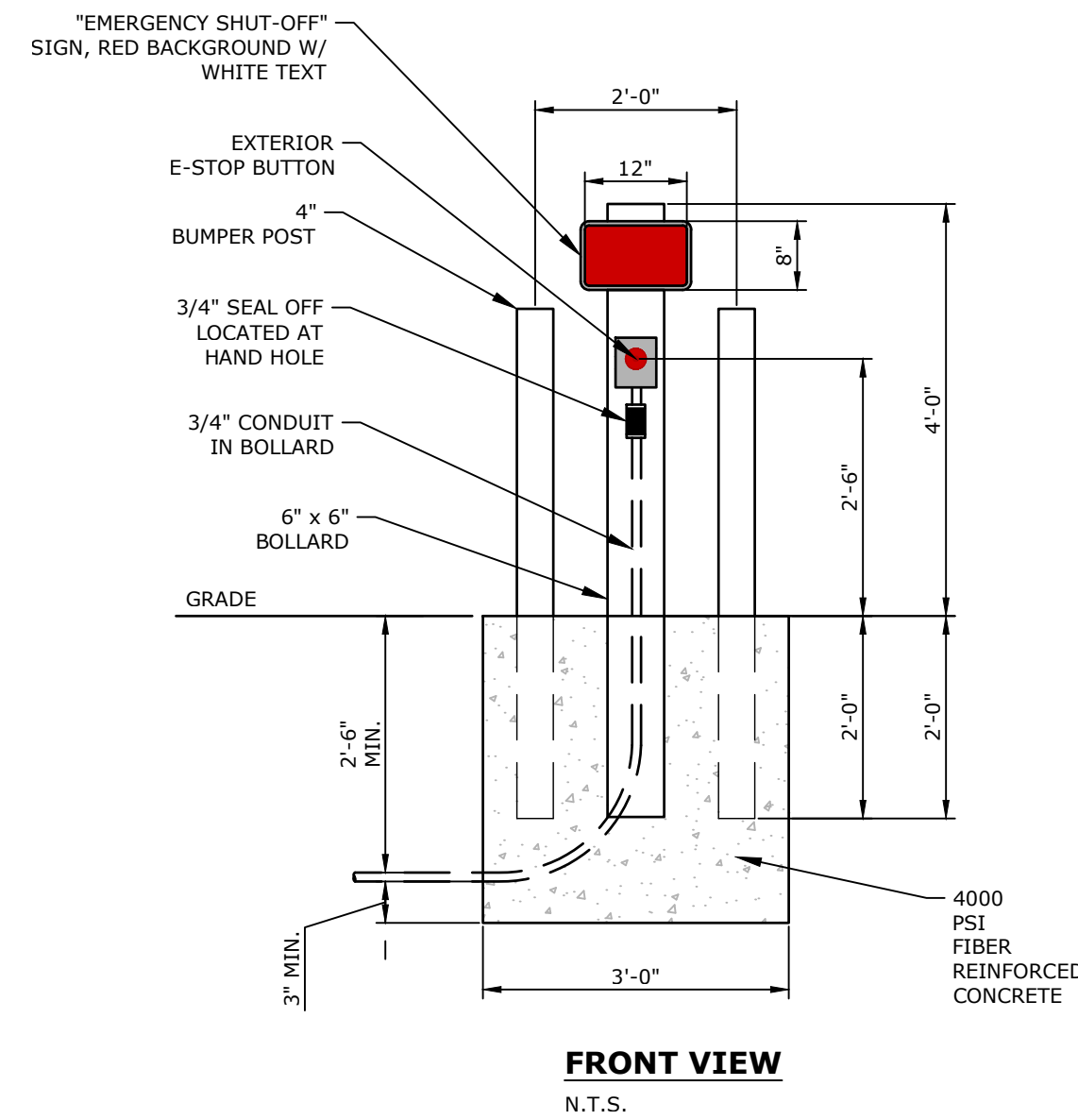
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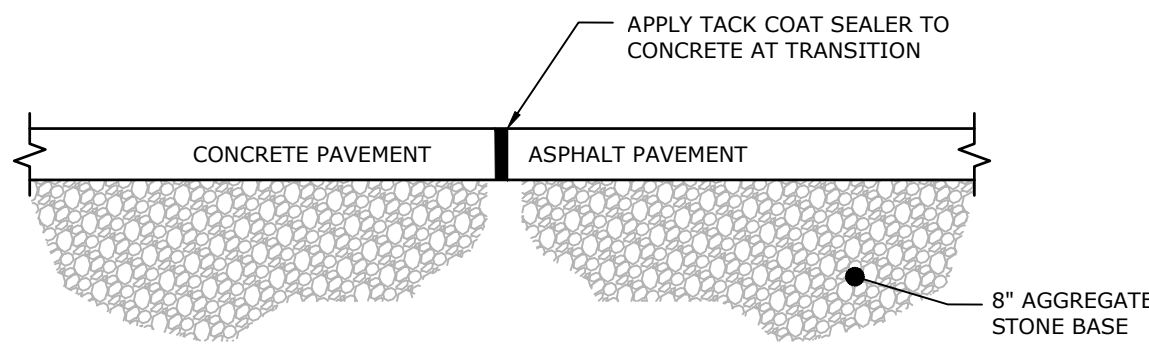


NOTE:
ALTERNATIVE PAVING FOR ASPHALT TO BE CONCRETE

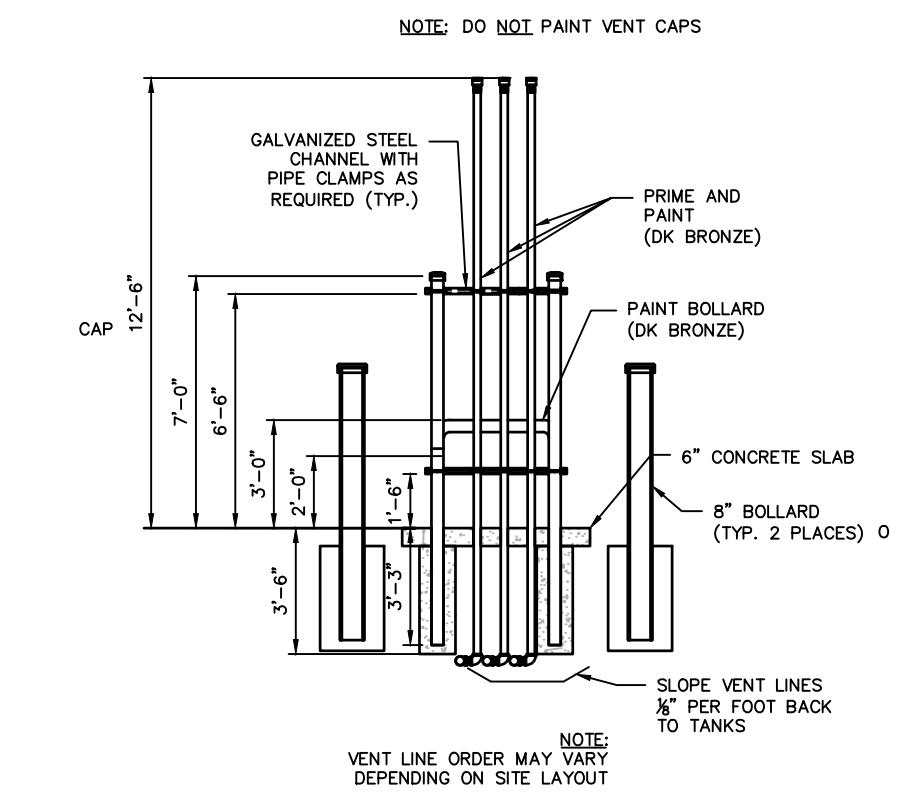
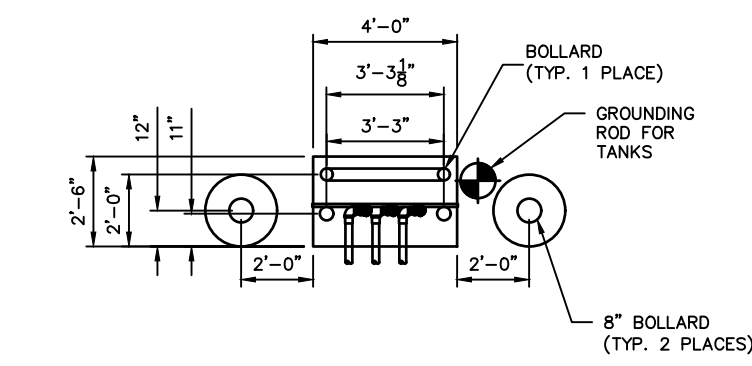
20 SITE PAVEMENT DETAILS NOT TO SCALE



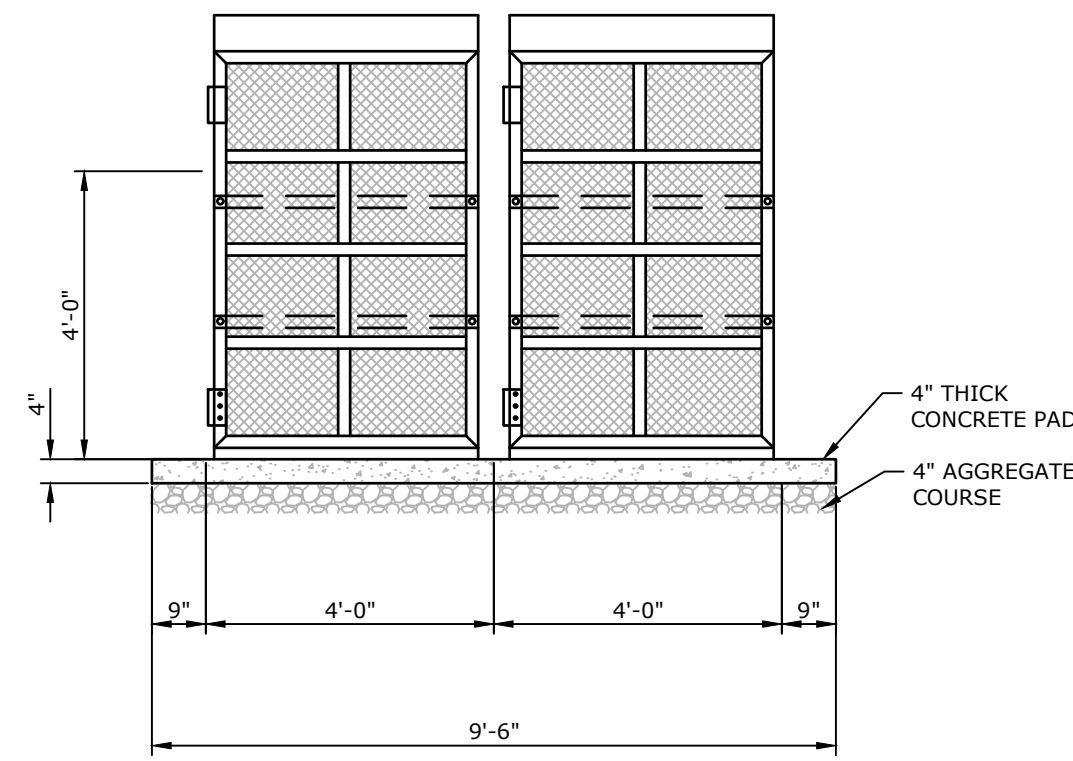
29 E-STOP DETAIL NOT TO SCALE



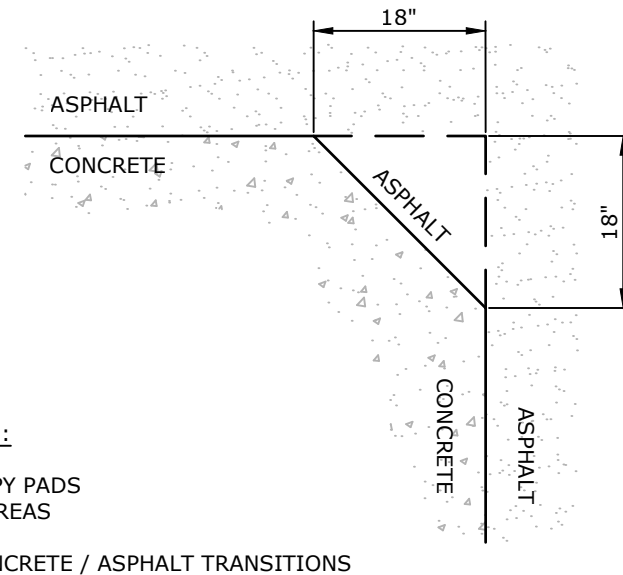
27 CONCRETE & ASPHALT TRANSITION DETAIL NOT TO SCALE



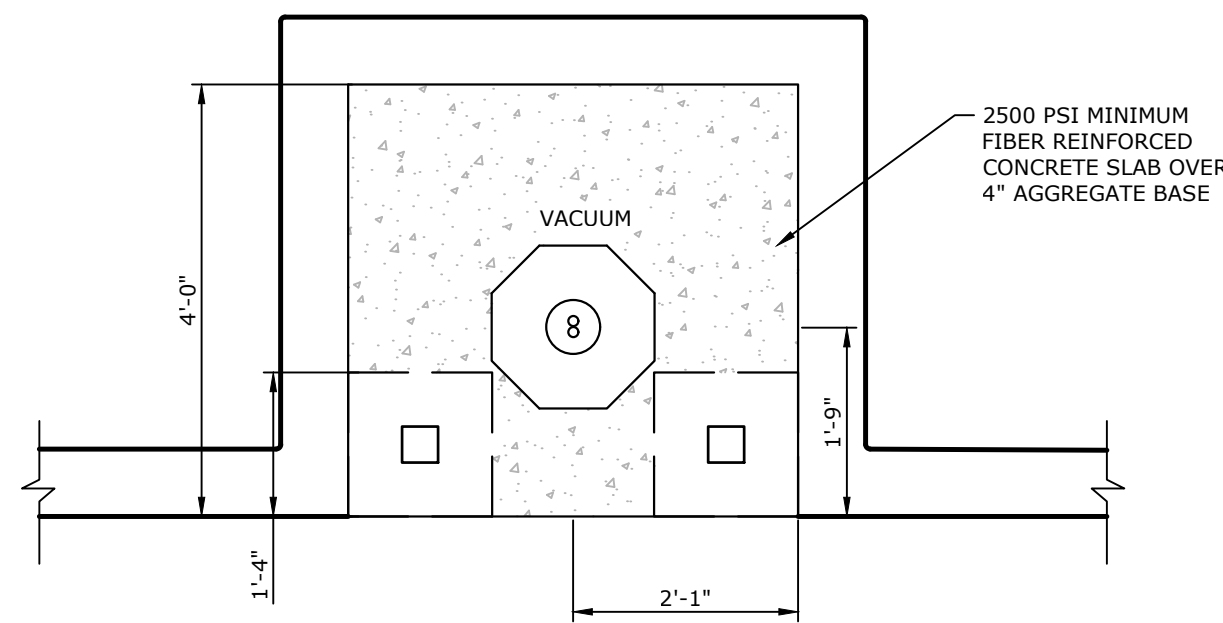
35 TRUCK DIESEL UST VENT RISER DETAIL NOT TO SCALE



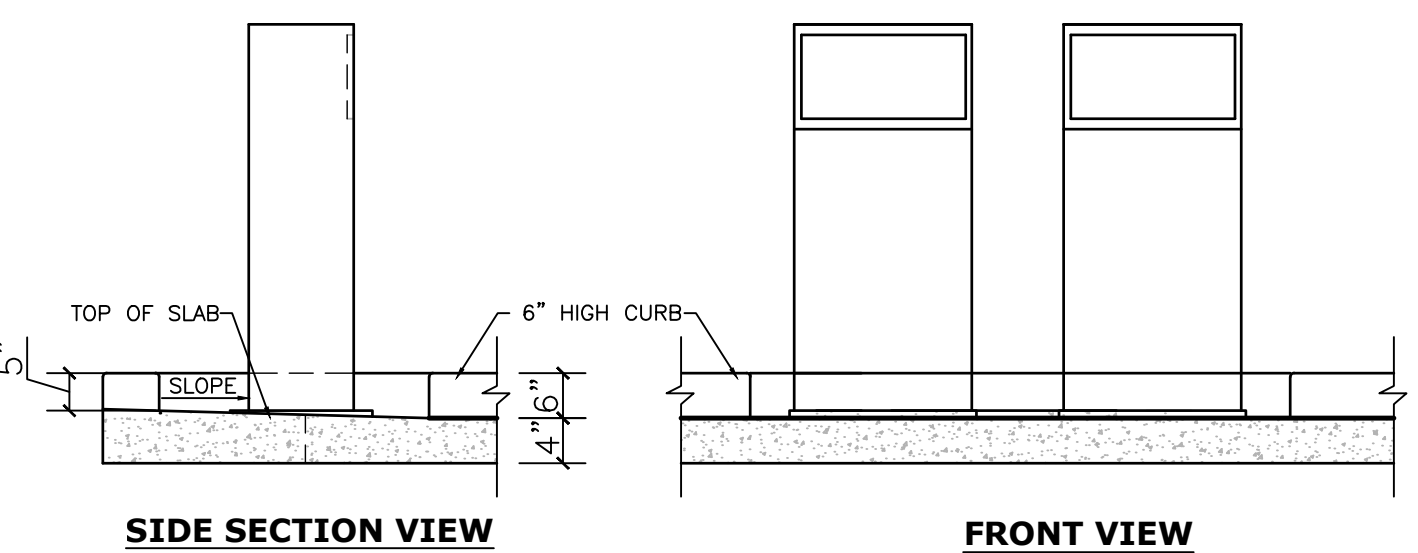
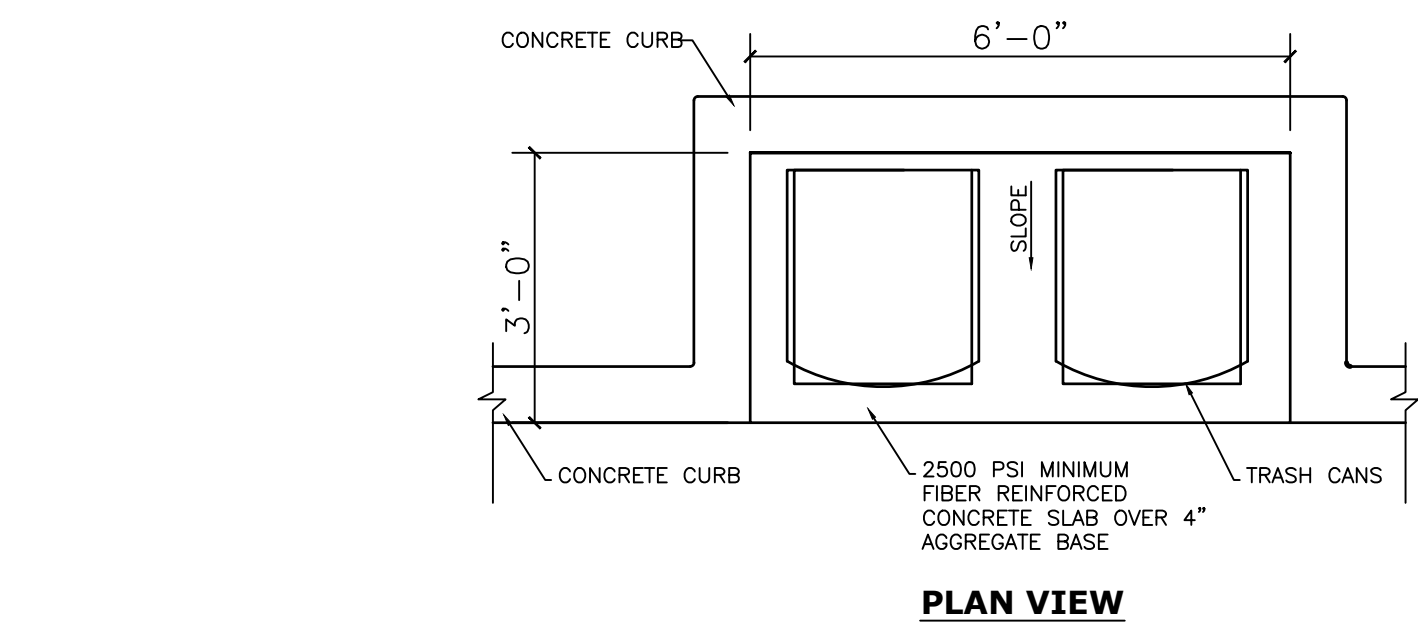
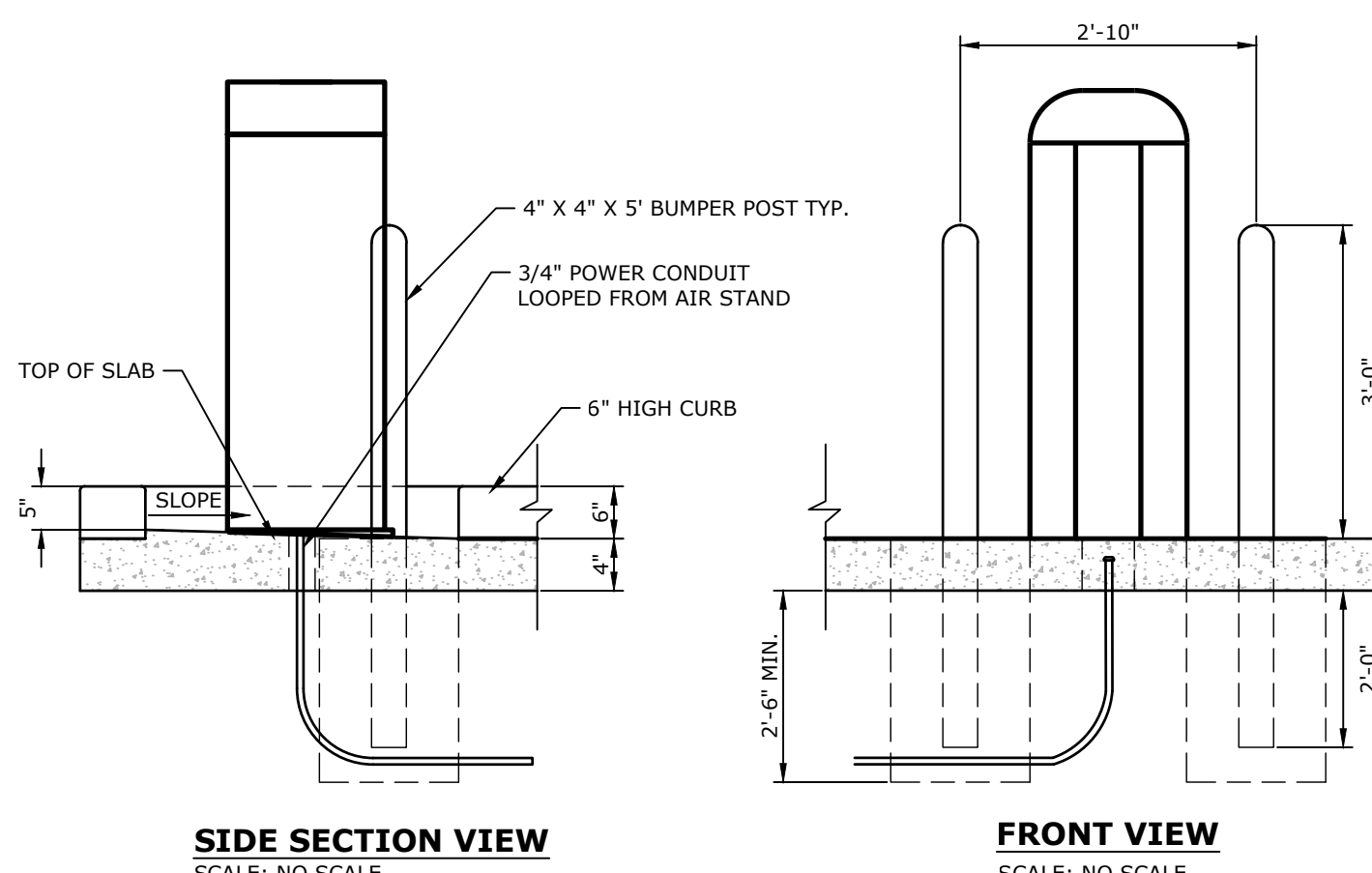
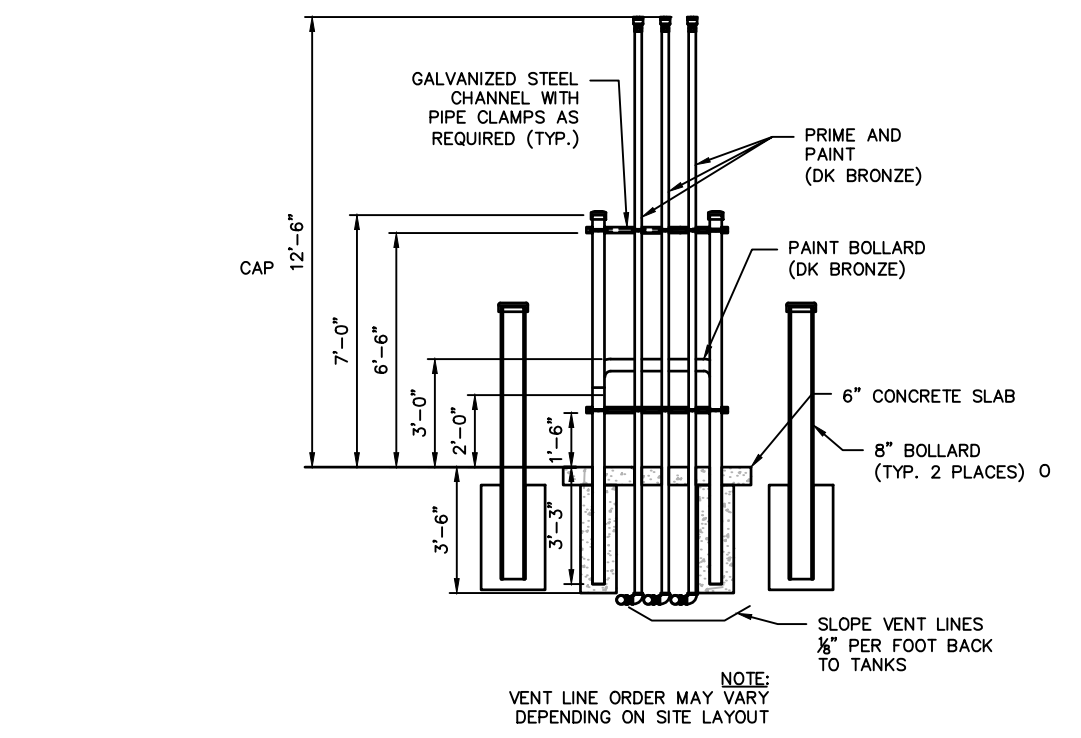
19 PROPANE LOCKER NOT TO SCALE



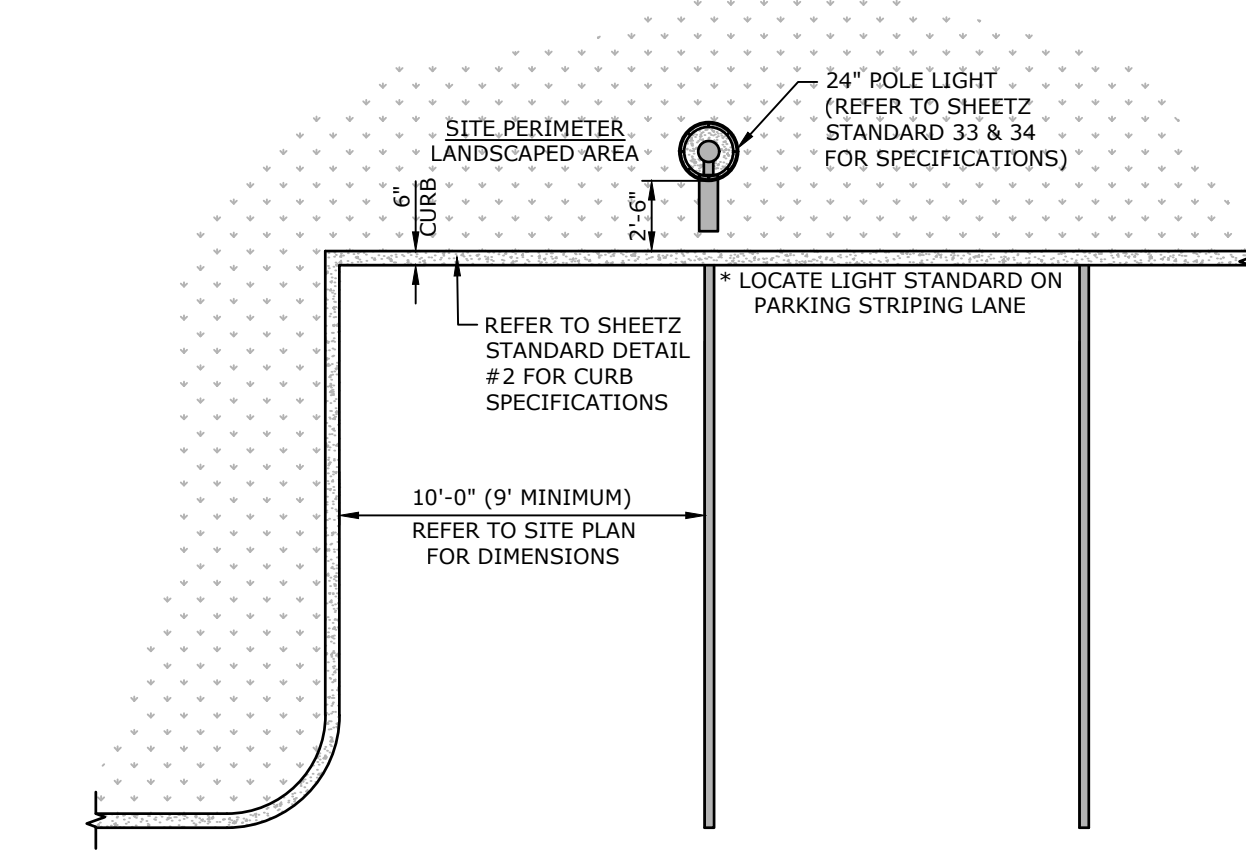
28 CONCRETE & ASPHALT CHAMFER DETAIL NOT TO SCALE



32 STAND ALONE VACUUM DETAIL NOT TO SCALE



53 DEPRESSED CURB TRASH PAD DETAIL NOT TO SCALE



51 LIGHTING STANDARD PLACEMENT NOT TO SCALE

PLOTTED: Friday, January 24, 2025 @ 01:10PM
 FILENAME: P:\2024\2024A84-019\CADD\FINAL\PlotZ-Detail.dwg XREFS: Details\Landscape
 SCRIPT:

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 351 SHEETZ WAY
 CLAYSBURG, PA 16625
 (814) 239-8013

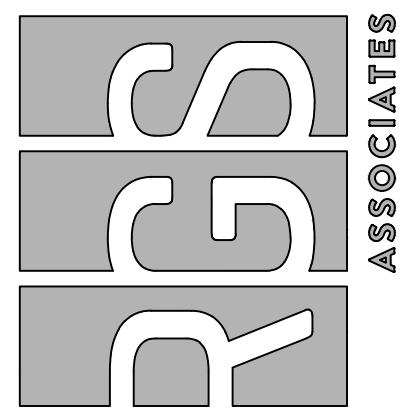
AS NOTED

SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)
 PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING

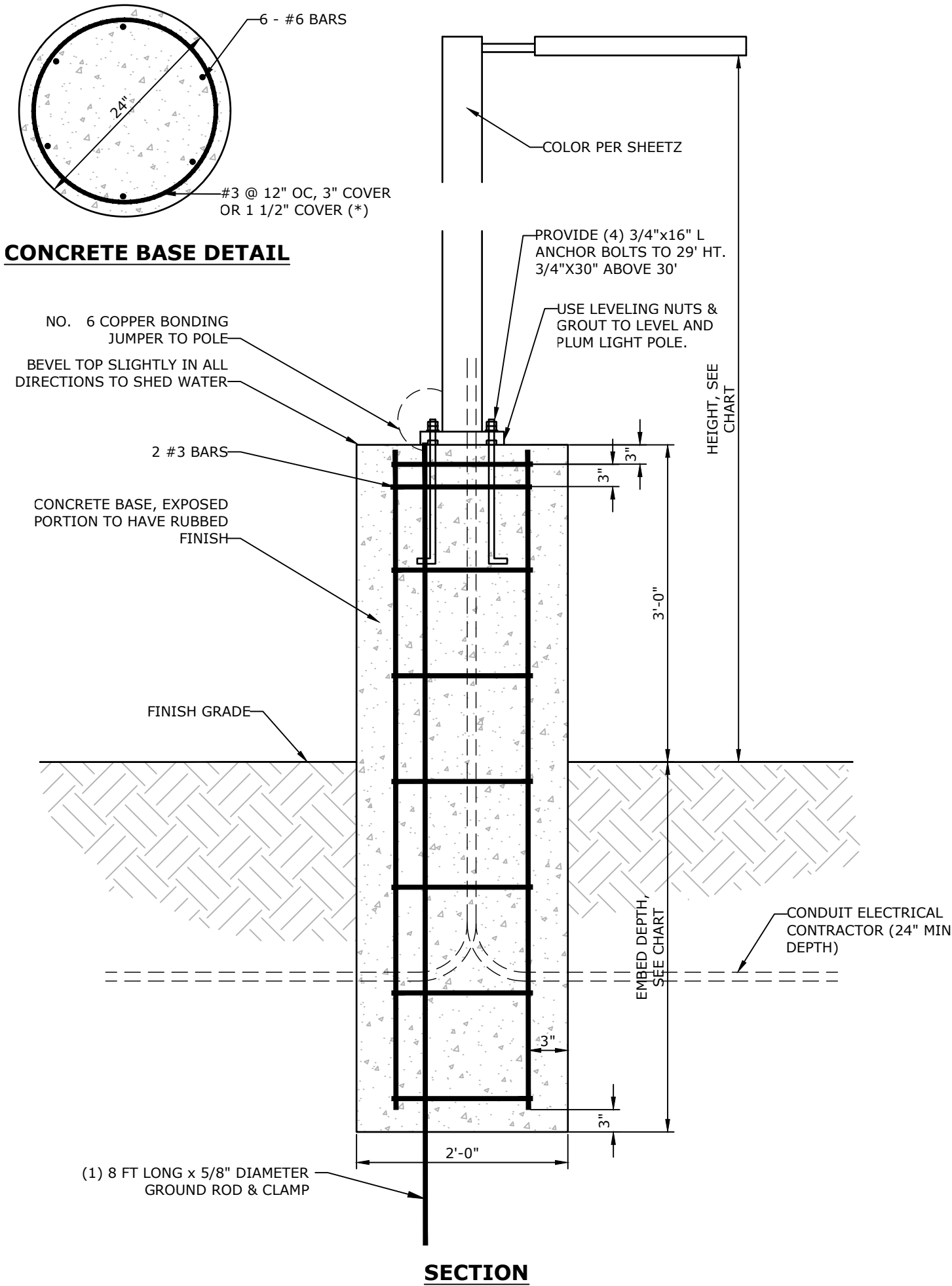
Corporate Office:
 53 West James Street
 York, PA 17403
 Phone: (717) 745-1386
 www.rgsassociates.com

Regional Offices:
 York, Harrisburg, and Pottsville



DATE: NOVEMBER 22, 2024
 PROJECT NO.: 2024A84-019
 MANAGER: CHRIS VENARCHECK
 SHEET NO.: LD-13 OF 32

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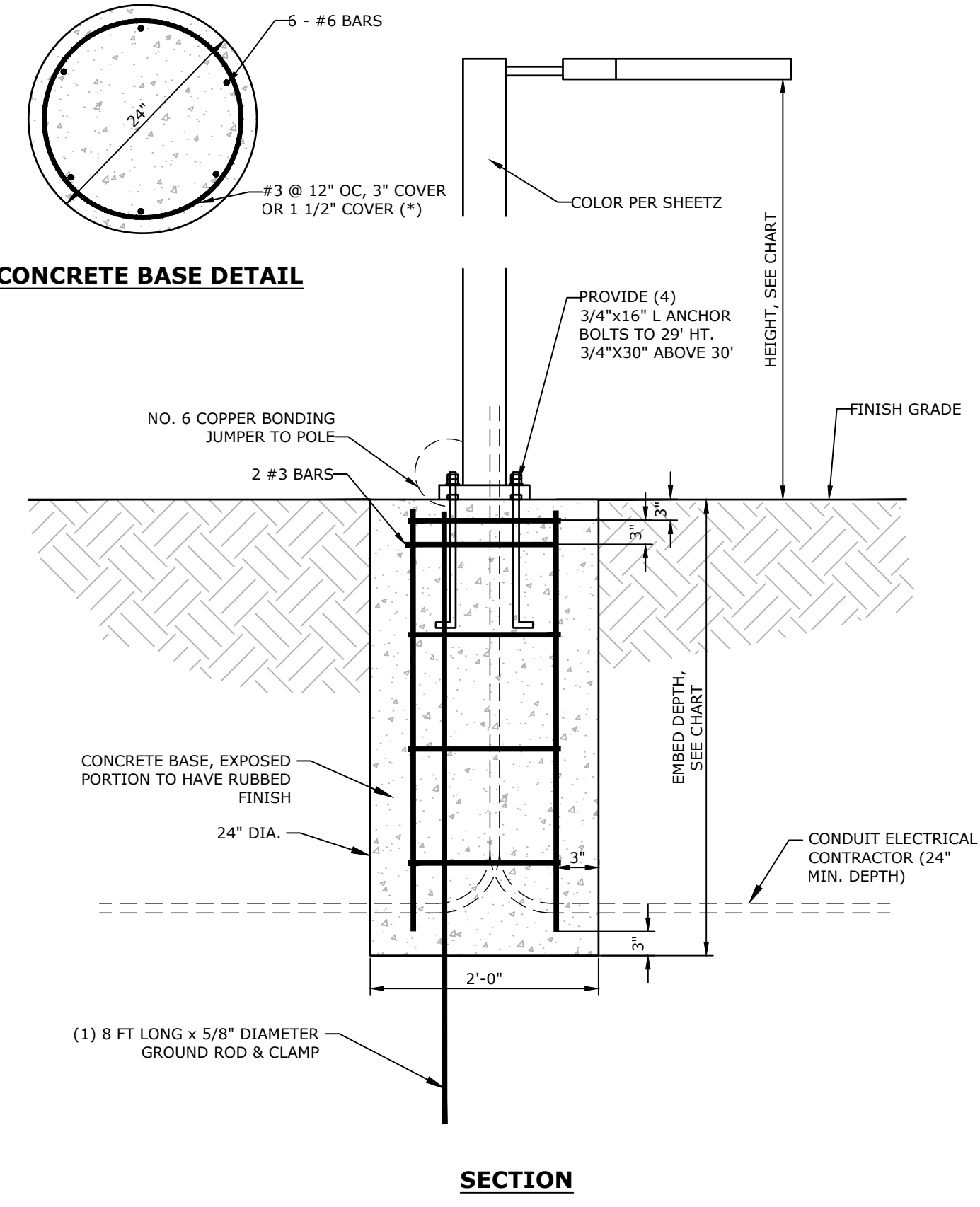
DESIGN CRITERIA
 CONCRETE $f_c = 4,000$ PSI
 REINFORCING $f_y = 60$ KSI
 WIND = 120 MPH
 WIND FORCE = 40 PSF
 LUMINAIRE EPA = 2.75 MAX COMBINED
 SOIL BEARING = 2,000 PSF
 SOIL LATERAL PRESSURE = 250 PSF/FT

(*) 1 1/2" COVER IF FOUNDATION INSTALLED WITH SONATUBE. 3" COVER IF FOUNDATION CAST-IN-PLACE.

HEIGHT*	EMBED. DEPTH
UP TO 20'	3'-9"
21 TO 25'	4'-3"
26 TO 30'	4'-6"
31 TO 35'	5'-0"

HEIGHT* IS ABOVE GRADE

33 POLE LIGHT DETAIL
 NOT TO SCALE



DESIGN CRITERIA
 CONCRETE $f_c = 4,000$ PSI
 REINFORCING $f_y = 60$ KSI
 WIND = 120 MPH
 WIND FORCE = 40 PSF
 LUMINAIRE EPA = 2.75 MAX COMBINED
 SOIL BEARING = 2,000 PSF
 SOIL LATERAL PRESSURE = 250 PSF/FT

(*) 1 1/2" COVER IF FOUNDATION INSTALLED WITH SONATUBE. 3" COVER IF FOUNDATION CAST-IN-PLACE.

HEIGHT*	EMBED. DEPTH
UP TO 20'	3'-9"
21 TO 25'	4'-3"
26 TO 30'	4'-6"
31 TO 35'	5'-0"

HEIGHT* IS ABOVE GRADE

34 FLUSH LIGHT POLE DETAIL
 NOT TO SCALE

PLOTTED: Friday, January 24, 2025 @ 01:10PM
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 SCRIPT:

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 CLAYSBURG, PA 16825
 (814) 239-8013

AS NOTED

**SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)**
 PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

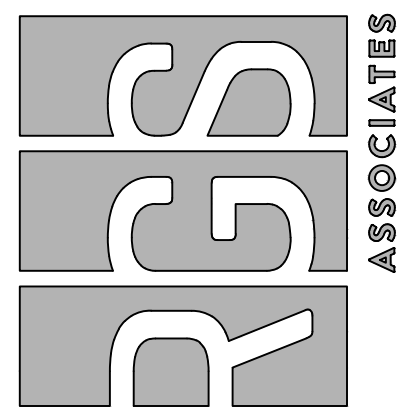
MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

SITE DETAILS

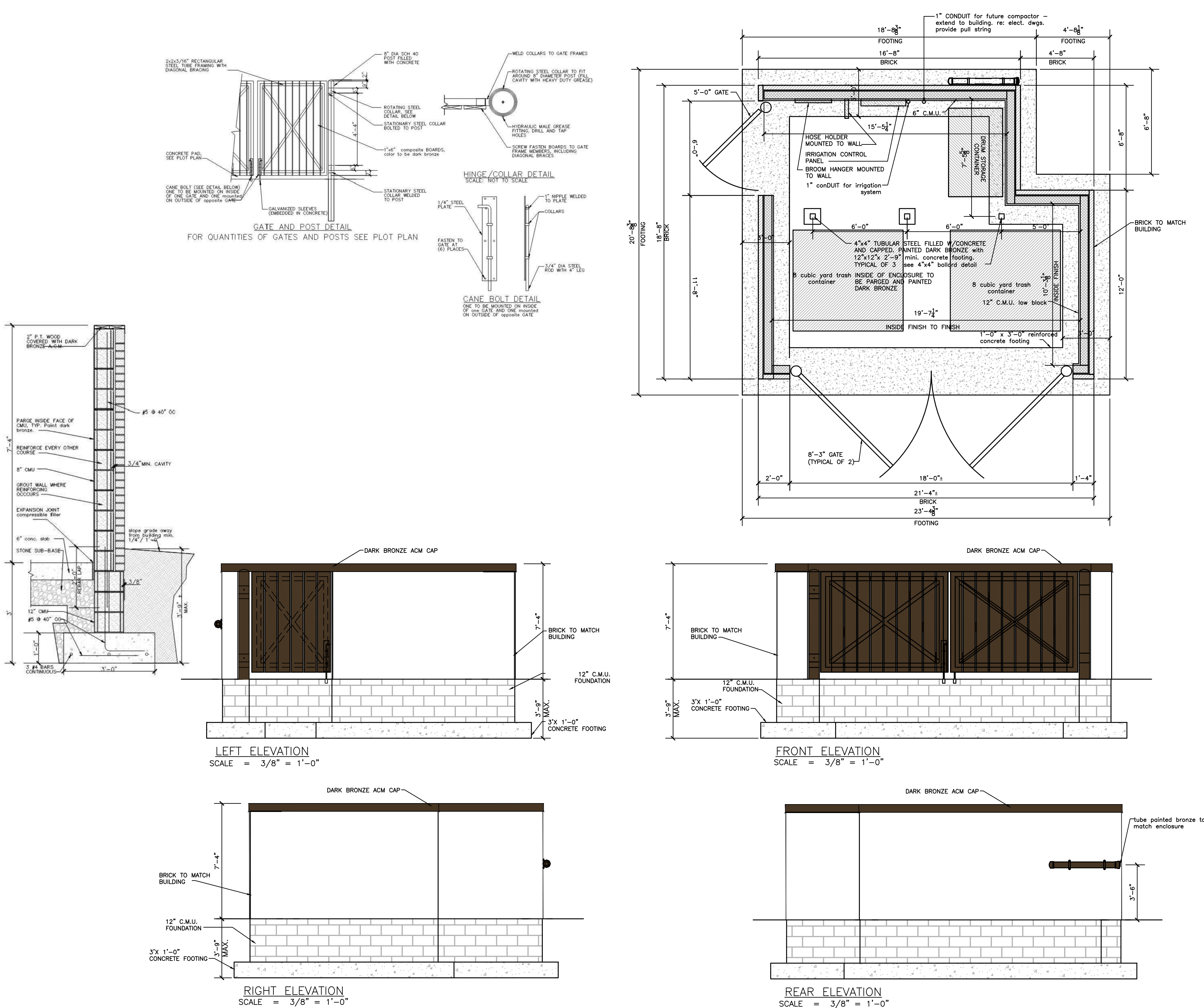
Land Planning
 Landscape Architecture
 Civil Engineering

Corporate Office:
 53 West James Street
 York, PA 17403
 Phone: (717) 745-1386
 www.gsaassociates.com

Regional Offices:
 York, Harrisburg, and Paoli



DATE: NOVEMBER 22, 2024
 PROJECT NO.: 2024A84-019
 MANAGER: CHRIS VENARCHICK
 SHEET NO.:



1

NO	DATE	REVISION
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SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)
 PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

LANCASTER COUNTY, PA
 MOUNT JOY TOWNSHIP

SITE DETAILS

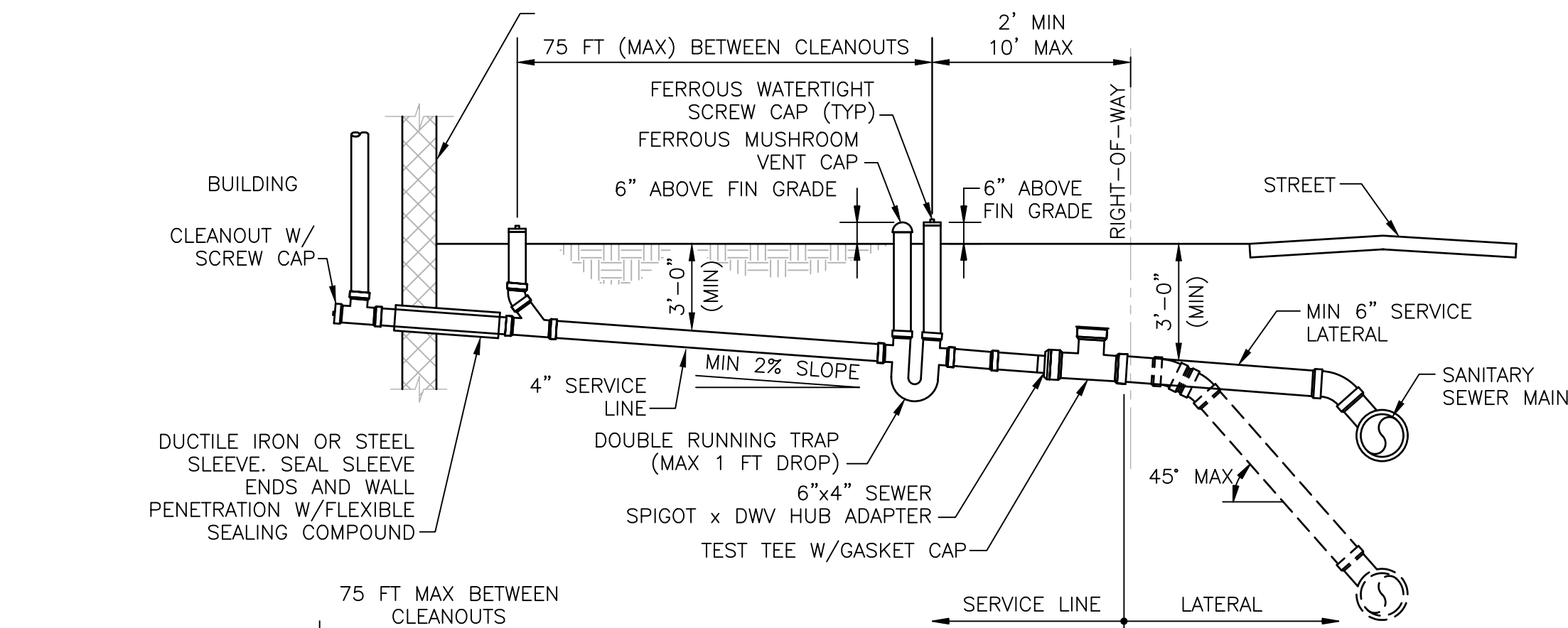
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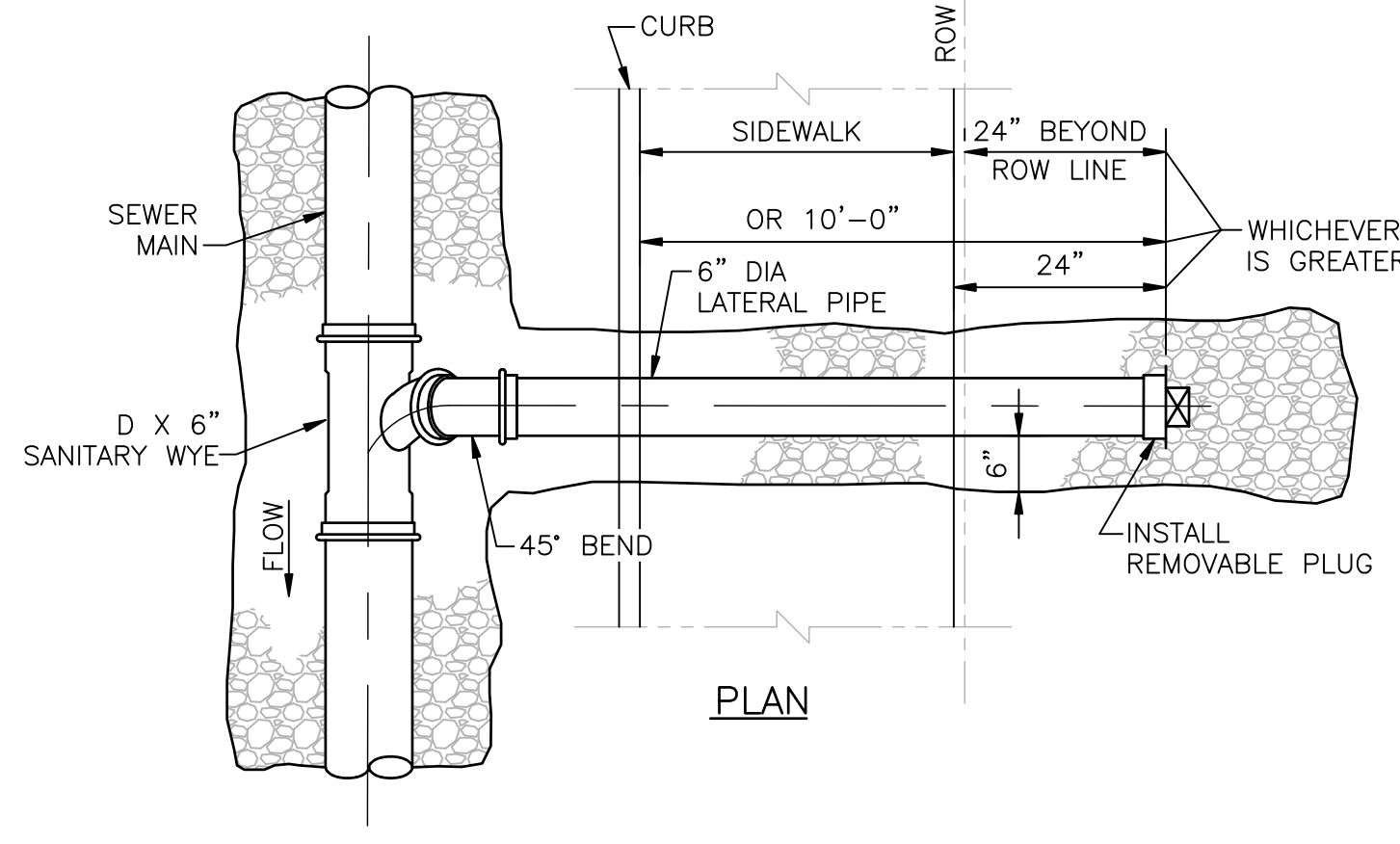
Regional Offices:
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rgs ASSOCIATES

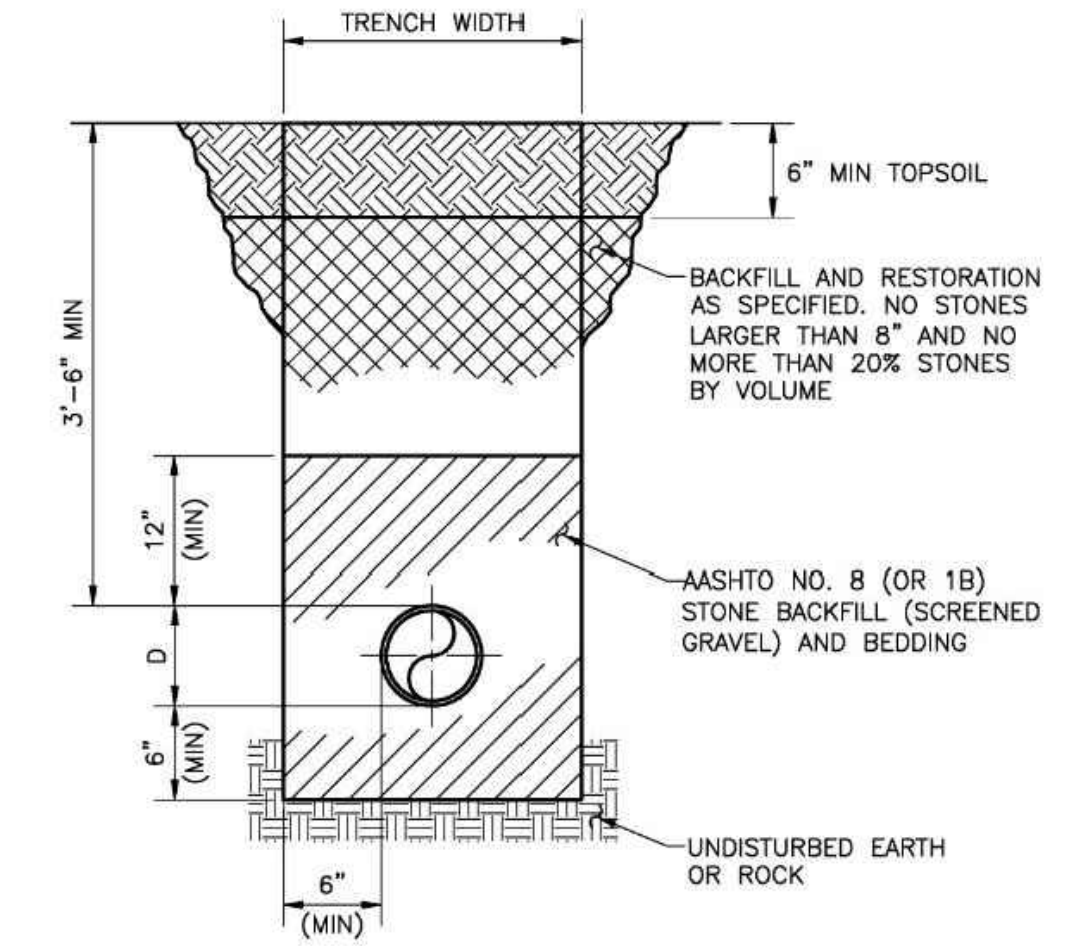
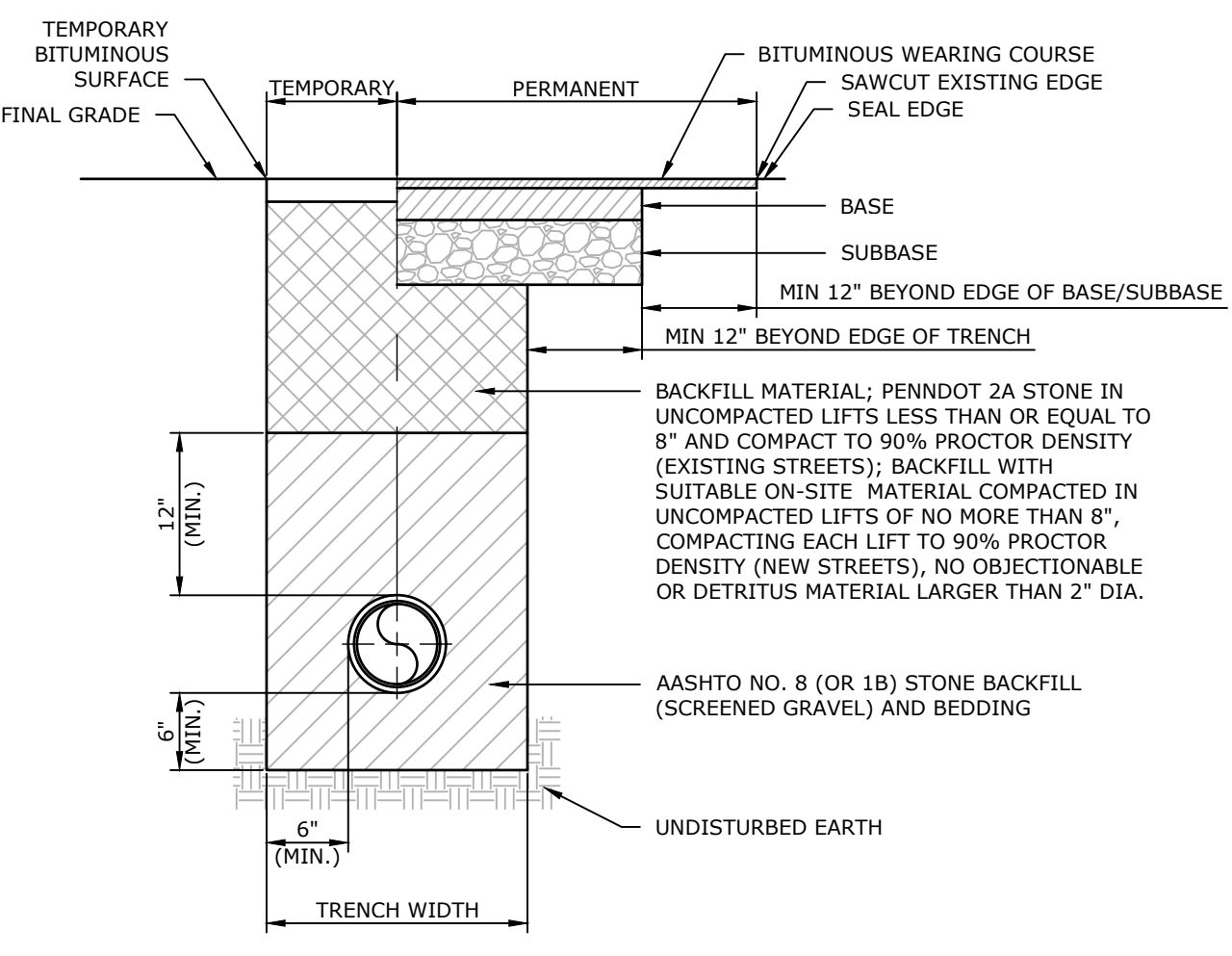
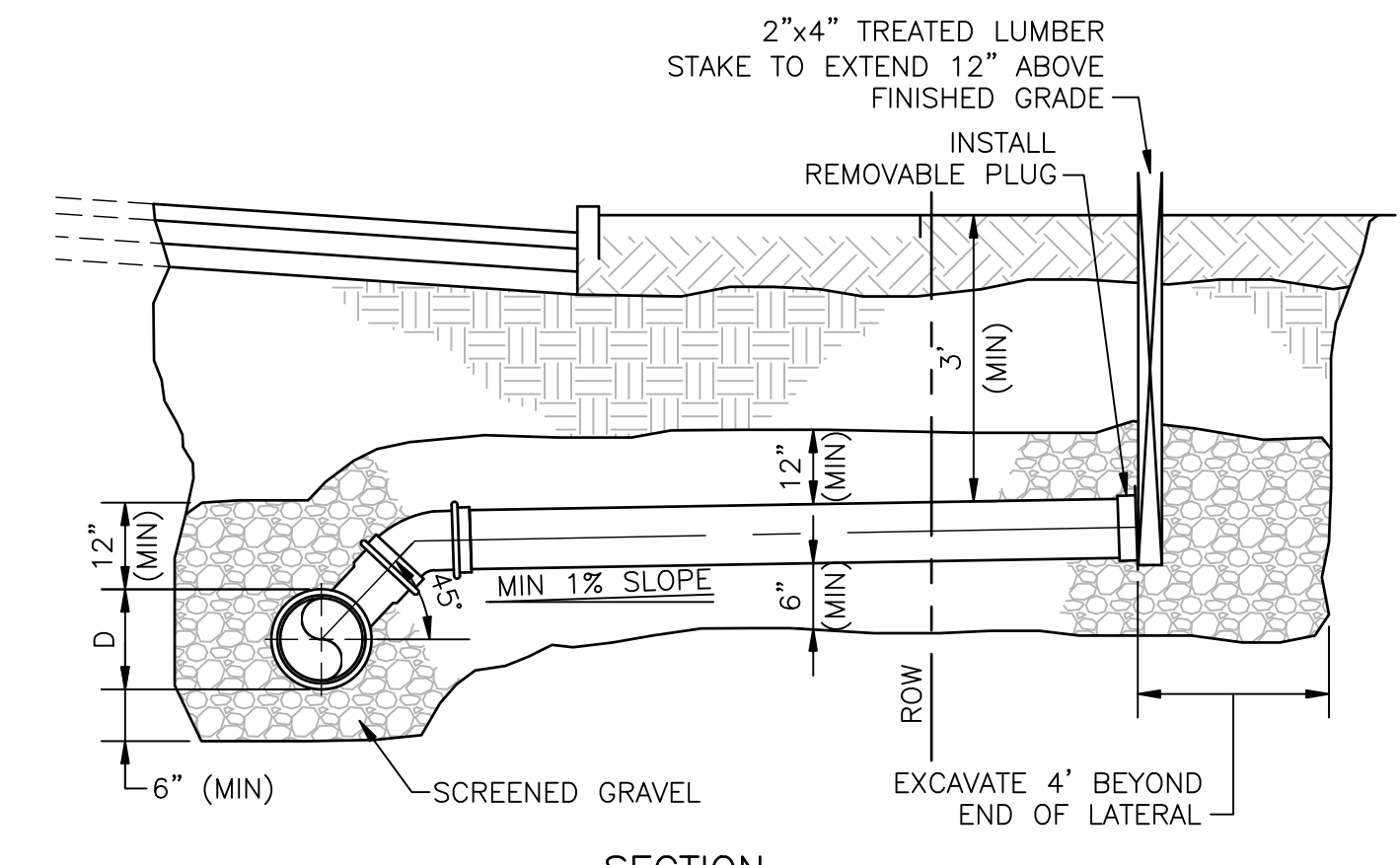
DATE:	NOVEMBER 22, 2024
PROJECT NO.:	2024A84-019
MANAGER:	CHRIS VENARCHICK
SHEET NO.:	LD-15 OF 32



1 TYPICAL SERVICE LINE - PROFILE
NOT TO SCALE



2 SEWER LATERAL
NOT TO SCALE

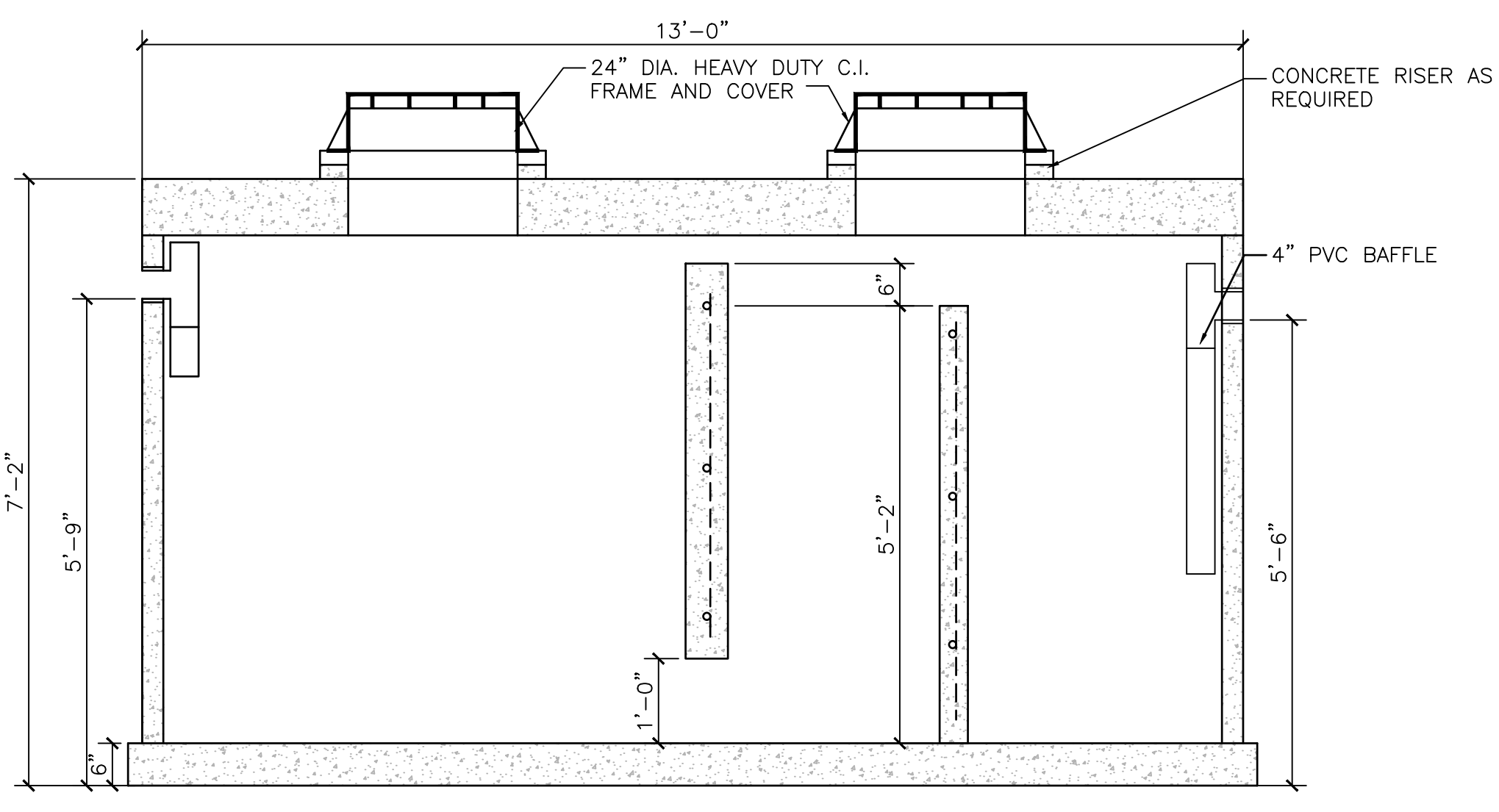
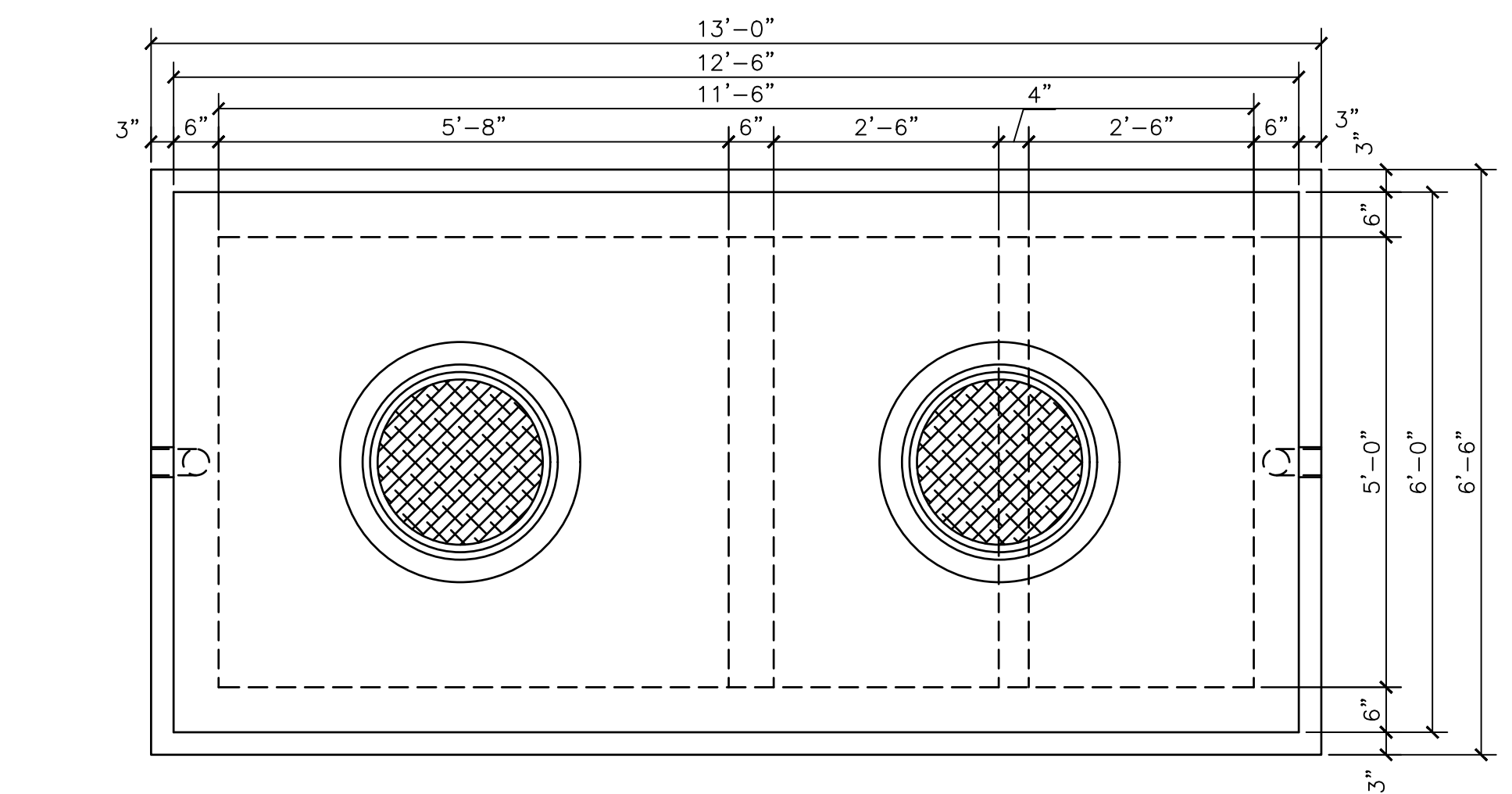


NOTES:
1. BACKFILL & PAVEMENT RESTORATION IN STATE ROADS SHALL BE AS SPECIFIED BY PENNDOT.
2. BACKFILL & PAVEMENT RESTORATION IN TOWNSHIP ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED IN THE GOVERNING MUNICIPAL SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
3. SEE PAVING CROSS-SECTION DETAILS FOR SPECIFIC PAVEMENT MATERIALS AND DEPTHS.

NOTE:
TRENCH SIDE SLOPES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS. BEGIN SIDE SLOPES, IF USED, APPROXIMATELY 18" ABOVE TOP OF PIPE (TYPICAL ALL BEDDING TYPES).

3 PAVEMENT RESTORATION FOR SANITARY SEWER
NOT TO SCALE

4 RIGHT-OF-WAY RESTORATION FOR SANITARY SEWER
NOT TO SCALE

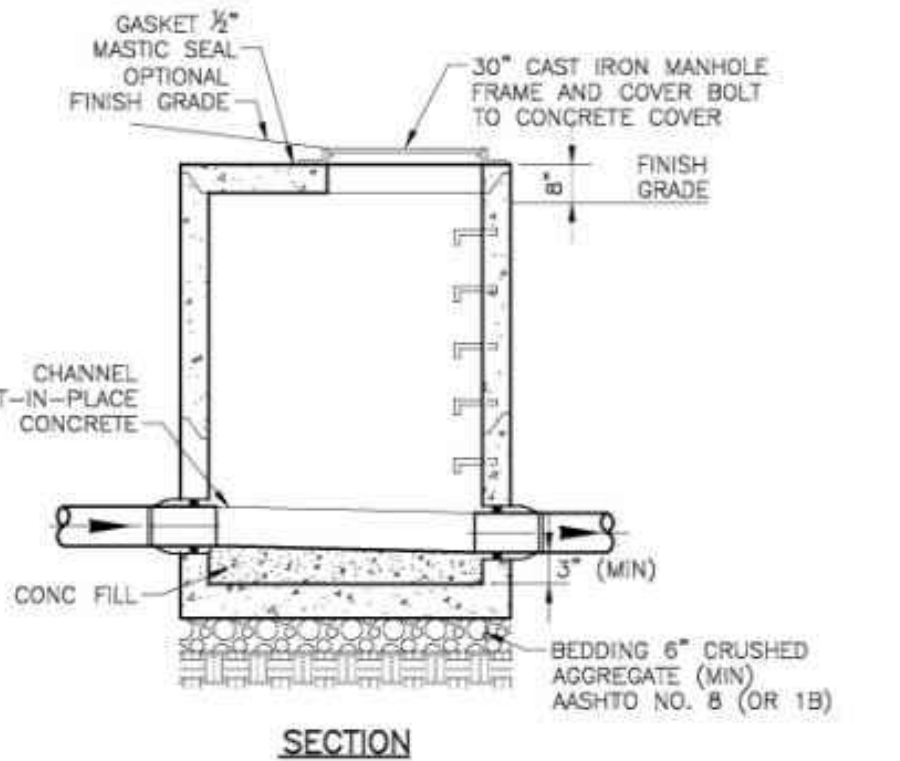


7 PRECAST CONCRETE 2,000 GALLON GREASE TRAP
NOT TO SCALE

5 STANDARD LATERAL OR SERVICE LINE CLEANOUT
NOT TO SCALE

6 PRECAST CONCRETE FLOW MONITORING MANHOLE
NOT TO SCALE

NOTES:
1. THIS DETAIL APPLIES TO RESIDENTIAL APPLICATIONS ONLY. FOR NON-RESIDENTIAL APPLICATIONS, CLEANOUT CONSTRUCTION SHALL BE AS APPROVED BY ENGINEER.
2. SERVICE LINE SHALL BE CONNECTED TO THE CLEANOUT AT THE WYE. CONNECTION OF A SERVICE LINE INTO THE RISER PORTION OF A CLEANOUT SHALL NOT BE PERMITTED.
3. IF LOCATED IN CONCRETE PAVING, THE CLEAN-OUT SHALL BE ENCASED IN A 24"x24" AREA BOXED OUT WITH EXPANSION JOINT MATERIAL.



8

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351 SHEETZ WAY
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(814) 239-8013

AS NOTED

**SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)**
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

SEWER DETAILS

Land Planning
Landscape Architecture
Civil Engineering

Corporate Office:
53 West James Street
PA, 17103
Phone: (717) 715-1386
www.gsaassociates.com

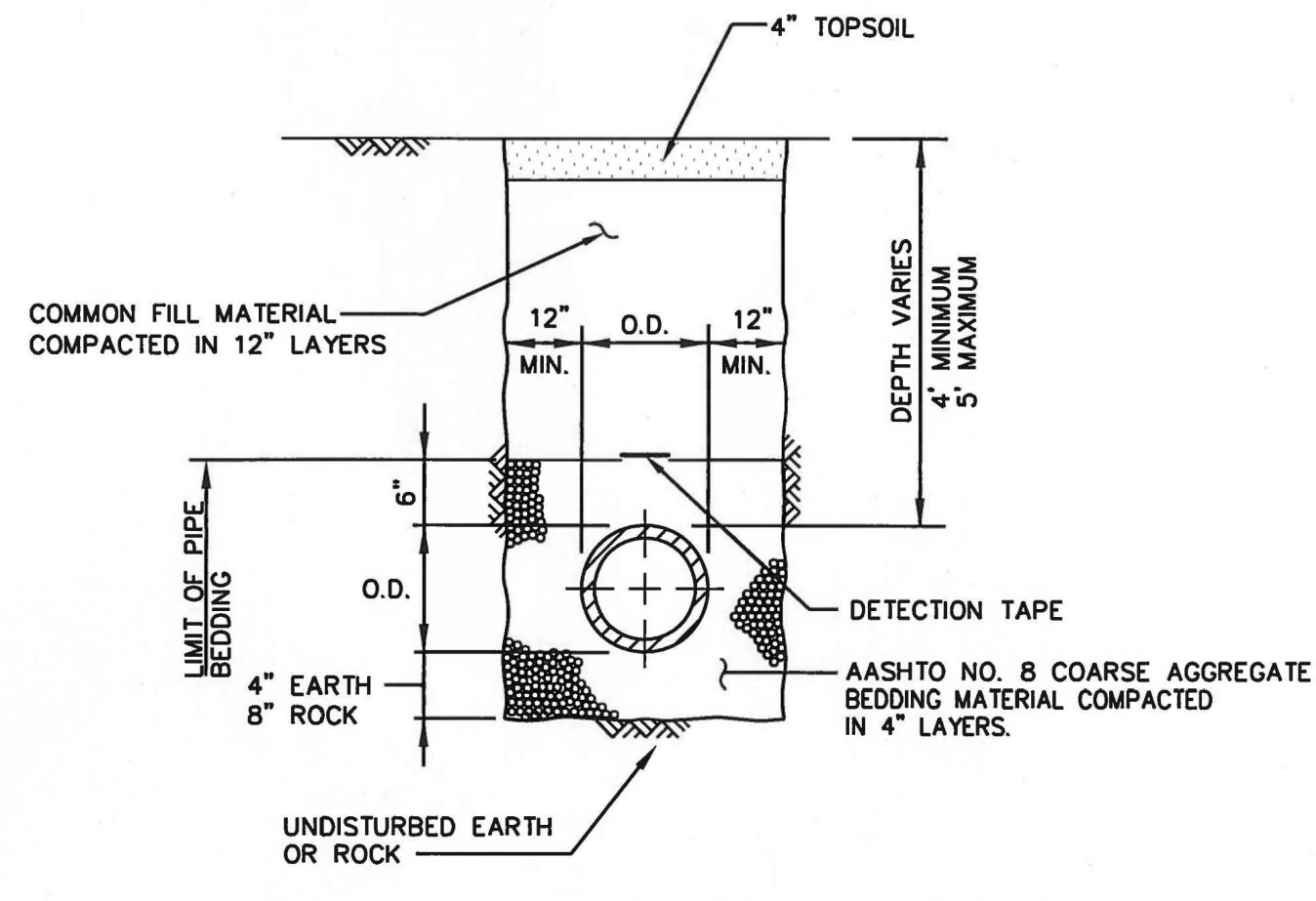
Regional Offices:
York, Harrisburg, and Pottsville

RS ASSOCIATES

DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VENARCHICK
SHEET NO.: LD-16 OF 32

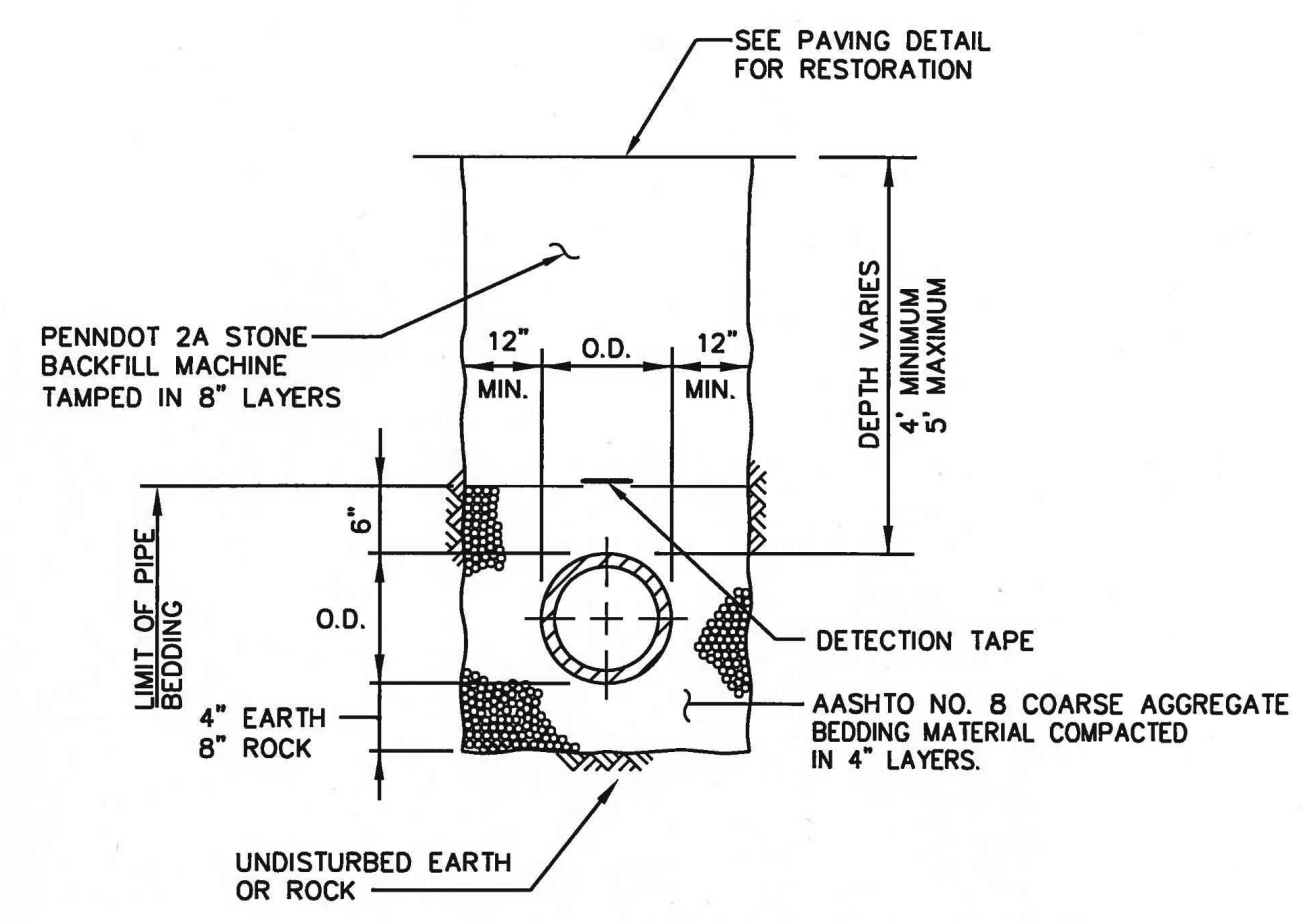
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PLOTTED: Friday, January 24, 2025 @ 01:10PM
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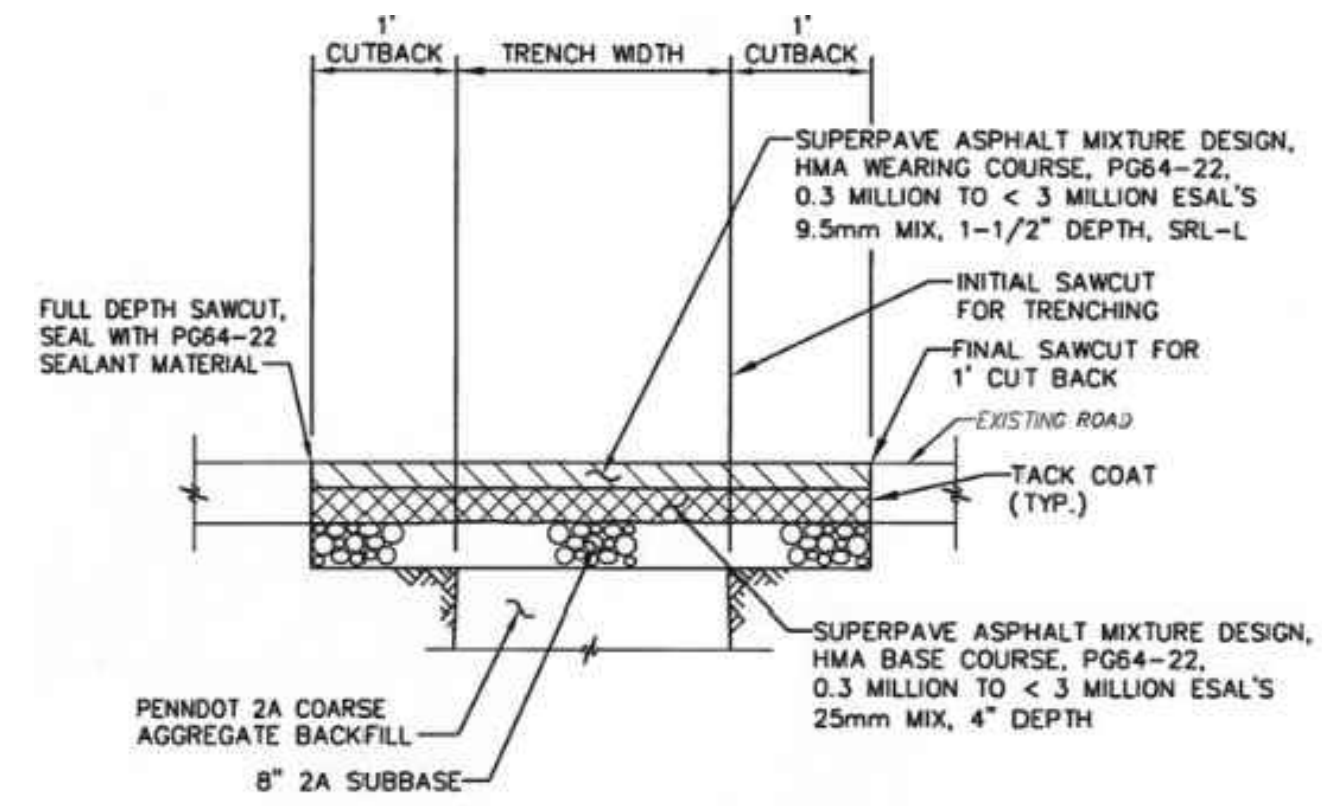
1 WATERLINE TRENCH - UNPAVED AREAS

NOT TO SCALE



2 WATERLINE TRENCH - PAVED AREAS

NOT TO SCALE



3 PAVING RESTORATION

NOT TO SCALE

4 MATERIAL SPECIFICATIONS

NOT TO SCALE

SANITARY SEWER			
GRAVITY SEWER PIPE	EPOXY LINED DUCTILE IRON PIPE	DUCTILE IRON (LINED WITH PROTECTO 401 CERAMIC-FILLED AMINE CURED EPOXY BY INDURALL, SEWPERCOAT CALCIUM ALUMINATE MORTAR BY LAFARGE CALCIUM ALUMINATES, OR APPROVED EQUAL) AWWA C151 ASTM A746 ASTM F477 (GASKET) ASTM D3212 (INTEGRAL BELL JOINT)	REFER TO PROFILE
WATER			
WATER LATERAL	WHC	HDPE (LATERAL) SCHEDULE 40 PVC (CASING)	REFER TO DETAIL
SITE FEATURES AND LANDSCAPING			
TOPSOIL		ASTM D5268 - STANDARD SPECIFICATION FOR TOPSOIL ASTM D4972 - TEST METHOD OF pH FOR SOILS	SEE GRADATION OF ASTM STANDARD
HARDWOOD MULCH		N/A	MAXIMUM 3" IN SIZE PIECES DOUBLE SHREDDED HARDWOOD COLOR: BLACK OR BROWN FREE OF TRASH, DEBRIS AND OTHER NON-ORGANIC MATERIALS

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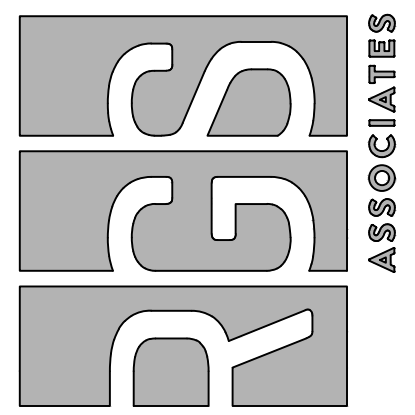
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CLAYSBURG, PA 16825
(814) 239-8013

SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA
WATER & MATERIALS DETAILS

Land Planning
Landscape Architecture
Civil Engineering
Corporate Office:
53 West James Street
York, PA 17403
Phone: (717) 745-1386
www.gsaassociates.com
Regional Offices:
York, Harrisburg, and Pott
dam



DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VENARCHICK
SHEET NO.: LD-17 OF 32