# SHEETZ - ELIZABETHTOWN, PA (VETERANS DRIVE)

# LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE THIS PLAN, BEARING LCPC FILE NO. WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON \_ REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEES. PLANNING COMMISSION FINAL PLAN APPROVAL CERTIFICATE , 20\_\_\_, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND SIGNATURE OF THE CHAIRMAN AND VICE CHAIRMAN OR THEIR DESIGNEES CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION COMMONWEALTH OF PENNSYLVANIA COUNTY OF LANCASTER \_\_\_\_, 20\_\_\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICERS, PERSONALLY APPEARED WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION. THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES, THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE - (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION"). OWNER SIGNATURE CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION GIUSEPPE & VITA FERRARELLI

ON THIS, THE \_\_\_\_\_DAY OF \_\_\_\_\_, 20 \_\_\_\_, BEFORE ME, THE UNDERSIGNED

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE

THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY

RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE

**ELIZABETHTOWN REGIONAL SEWER AUTHORITY CERTIFICATE** 

THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY HEREBY CERTIFIES THAT: (A) THIS PLAN HAS BEEN APPROVED FOR, OR RESERVED CAPACITY FOR:  $\underline{10}$ 

ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIRES THE SAME TO BE

COMMONWEALTH OF PENNSYLVANIA

OFFICERS, PERSONALLY APPEARED \_\_\_\_

HEREBY DEDICATED TO THE PUBLIC USE.

EQUIVALENT DWELLING UNITS;

### SITE / ZONING DATA 1.892 AC. (NET) RESTAURANT PROPOSED LAND USE: CONVENIENCE STORE/RETAIL WITH FUELING STATION PUBLIC - ELIZABETHTOWN REGIONAL SEWER AUTHORITY PUBLIC - ELIZABETHTOWN AREA WATER AUTHORITY WATER: PROPOSED LOTS: PROPOSED UNITS OF OCCUPANCY: 1 UNIT OF OCCUPANCY 0.065 BUILDING FLOOR AREA PER SF OF THE GROSS SITE AREA PROPOSED DENSITY (NONRESIDENTIAL): FUELING STATION ACCESSORY TO CONVENIENCE STORE (SECTION 135-268) SPECIAL EXCEPTIONS: LOT AREA: 413 FT. LOT DEPTH: 125 FT. MIN. (PER 135-145.D) 167 FT. FRONT YARD: STORE: 35 FT. MIN. 35 FT. PARKING: 15 FT. MIN. 15 FT. DUMPSTER: NOT ALLOWED N/A STORE: 25 FT. MIN. PARKING: 15 FT. MIN. 15 FT. DUMPSTER: 10 FT. MIN. 10 FT. STORE: 15 FT. MIN. 15 FT. SIDE YARD: PARKING: 10 FT. MIN. 10 FT. DUMPSTER: 10 FT. MIN. 10 FT. BUILDING HEIGHT: 40 FT. MAX. < 40 FT. ACCESSORY: 20 FT. MAX. **BUILDING COVERAGE:** 60.7% (57,372 SF) IMPERVIOUS COVERAGE 65% MAX. 55.3% (52,285 SF) ONE PARKING SPACE PER 200 SF OF GROSS FLOOR AREA PLUS ONE SPACE FOR EACH EMPLOYEE ON LARGEST SHIFT

# TOTAL SPACES REQUIRED = 38 TOTAL SPACES PROVIDED = 41 FUELING STATION: 12 SPACES IN PROPOSED OFF-STREET LOADING AREAS WILL NOT INTERFERE WITH THE FREE MOVEMENT OF VEHICLES AND PEDESTRIANS OVER A PUBLIC STREET, THROUGH INTERNAL PARKING AREAS, WALKWAYS, ACCESS DRIVES AND DRIVEWAYS. UNLESS OTHERWISE INDICATED, OFF-STREET LOADING AREAS SHALL BE

# PLACED IN A SIDE OR REAR YARD, EVERY LOADING SPACE SHALL BE CONNECTED TO A STREET BY MEANS OF AN ACCESS DRIVE. THE ACCESS DRIVE SHALL BE AT LEAST 24 FEET WIDE FOR TWO-WAY MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATE

### 20 , THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FIL , BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113. STORMWATER MANAGEMENT.

\* SIGNATURES OF THE CHAIRMAN AND VICE CHAIRMAN OR THEIR DESIGNEES OWNER STORMWATER MANAGEMENT ACKNOWLEDGMENT THE STORMWATER MANAGEMENT FACILITIES ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE

STORMWATER MANAGEMENT PLAN CERTIFICATION I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN

(B) THE AUTHORITY ENGINEER HAS APPROVED THE PROPOSED DESIGN AND CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT. (C) A SEWER EXTENSION / DEVELOPMENT AGREEMENT HAS BEEN EXECUTED; AND (D) SUFFICIENT FINANCIAL SECURITY HAS BEEN PROVIDED TO THE AUTHORITY TO FULLY COVER THE COSTS FOR CAPACITY AND INSTALLATION OF THE PLANNED

OFF-STREET LOADING:

ALTERNATE AUTHORIZED OFFICIAL'S SIGNATURE **ELIZABETHTOWN AREA WATER AUTHORITY CERTIFICATE** 

OWNER SIGNATURE

BOARD CHAIRMAN'S SIGNATURE

THE ELIZABETHTOWN AREA WATER AUTHORITY HEREBY CERTIFIES THAT: (A) THIS PLAN HAS BEEN APPROVED FOR, OR RESERVED CAPACITY FOR: 12.5 EQUIVALENT DWELLING UNITS;

(B) THE AUTHORITY ENGINEER HAS APPROVED THE PROPOSED DESIGN AND (C) A WATER EXTENSION / DEVELOPMENT AGREEMENT HAS BEEN EXECUTED; AND

(D) SUFFICIENT FINANCIAL SECURITY HAS BEEN PROVIDED TO THE AUTHORITY TO FULLY COVER THE COSTS FOR CAPACITY AND INSTALLATION OF THE PLANNED

ALTERNATE AUTHORIZED OFFICIAL'S SIGNATURE

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

**CERTIFICATE OF ACCURACY - SURVEY** 

SURVEYOR'S SIGNATURE

**CERTIFICATE OF ACCURACY - PLAN** 

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

ELIZABETHTOWN, PA 17022 **EQUITABLE OWNER** 

SHEETZ, INC.

**OWNER OF RECORD** 

GIUSEPPE & VITA FERRARELLI

999 NORTHFIELD DRIVE

5700 SIXTH AVE. ALTOONA, PA 16602 LANCASTER COUNTY CODE

DISTRICT 460 **SOURCE OF TITLE** 

TAX MAP NO.: 460-79623-0-0000 DEED REF.: 6008865 SUBDIVISION PLAN BOOK 2011-0142-J 2013-0128-J 50 VETERANS DRIVE

**SURVEY INFORMATION** 

BOUNDARY AND TOPOGRAPHY PROVIDED BY: 250 SOUTH SPRUCE STREET LITITZ, PA 17543 (717)-626-0028 DATE: 5-20-24 JOB NO.: 24125

**WETLANDS INFORMATION** WETLANDS DELINEATION PROVIDED BY: VORTEX ENVIRONMENTAL, INC. 2819-I WILLOW STREET PINK NORTH WILLOW STREET, PA 17584

(717)-509-2789

**GEOLOGIC INFORMATION** GEOLOGY STUDY PROVIDED BY: ECS MID-ATLANTIC LLC 52-6 GRUMBACHER ROAD (717)-767-4788

JOB NO.: 18:6313-A TRAFFIC INFORMATION

DATE: 10-28-2024

TRAFFIC STUDY PROVIDED BY: 2 EAST MARKET STREET, SUITE 2 YORK, PA 17401-1206 (717)-846-4660 DATE: SEPTEMBER 2024 JOB NO.: 228.032.24

# REOUESTED WAIVERS AND MODIFICATIONS

THE FOLLOWING MODIFICATIONS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE REQUESTED:

1. SECTION 119-52.K.4 - TANGENTIAL ARC OF LESS THAN 25' FOR ACCESS DRIVES INTERSECTING WITH A STREET

2. SECTION 119-52.S.3.D - ACCESS DRIVE SEPARATION WITHIN 200' OF THE INTERSECTION OF TWO STREETS

3. SECTION 119-53.B.4.A- SIDEWALK CONSTRUCTION STANDARDS \_\_\_\_\_ DATE:\_\_\_\_

5. SECTION 119-53.C.2- VERTICAL CURB DIMENSIONS

4. SECTION 119-53.B.10- GRASS PLANTING STRIP

THE FOLLOWING WAIVERS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE REQUESTED:

1. SECTION 119-25.C.2 - PRELIMINARY PLAN

2. SECTION 119-52.J.3.A - IMPROVEMENTS OF EXISTING STREETS AND INTERSECTIONS, CURBING OF EXISTING STREETS

3. SECTION 119-53.B.1 - SIDEWALKS ALONG EXISTING STREETS

THE FOLLOWING MODIFICATIONS OF THE MOUNT JOY TOWNSHIP STORMWATER

1. SECTION 113-32.2.C - LOADING RATIOS ACTION:\_\_\_\_\_ DATE:\_\_\_\_

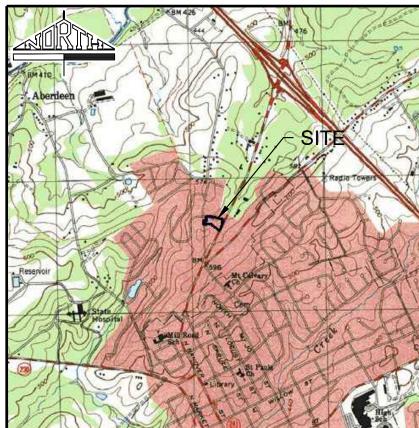
2. SECTION 113-37.C - CONVEYANCE PIPE DIAMETER WITHIN VEHICULAR ACTION: DATE:

3. SECTION 113-42.D - PLAN SCALE

# PRIOR ZONING DECISIONS

SPECIAL EXCEPTION - SECTION 135-143.D VEHICULAR FUELING STATIONS WITHIN THE MU MIXED-USE ZONE APPROVAL DATE NOVEMBER 6, 2024

VARIANCE - SECTION 135-383.B(7) 1-YEAR EXTENSION OF SPECIAL EXCEPTION USE APPROVAL APPROVAL DATE NOVEMBER 6, 2024



**LOCATION MAP** 

### PRIOR PLANS OF RECORD

DOCUMENT NUMBER 5844369-J PREPARED BY DC GOHN ASSOCIATES, INC. RECORDED MARCH 3, 2010

> LOT LINE CHANGE PLAN FOR VITA DOCUMENT NUMBER J-2011-0142 PREPARED BY DC GOHN ASSOCIATES, INC. RECORDED JUNE 2, 2011

FINAL LAND DEVELOPMENT PLAN FOR VITA, INC. DOCUMENT NUMBER J-2013-0128 PREPARED BY DC GOHN ASSOCIATES, INC RECORDED JUNE 7, 2013

FINAL SUBDIVISION PLAN FOR COMEDRES, LLC

TRANSPORTATION RESOURCE GROUP, INC.

**EROSION AND SEDIMENT CONTROL PLAN RGS ASSOCIATES** 

11/22/2024 LAST REVISED: 1/10/2025

LIGHTING PLAN **RED LEONARD ASSOCIATES, INC.** 

LAST REVISED: 1/16/2025

**DRAWING INDEX** 

EXISTING CONDITIONS-DEMOLITION PLAN

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

LAND DEVELOPMENT PLAN

EASEMENT PLAN LD-6 GRADING PLAN LD-7 UTILITY PLAN LD-8 LANDSCAPE DETAILS LD-9 LANDSCAPE PLAN

LD-10 SEWER & ACCESS DRIVE PROFILES

LD-17 WATER & MATERIALS DETAILS

SW-22 PCSM OVERALL GRADING PLAN

SW-20 PCSM OVERALL EXISTING SITE PLAN

SW-29 PRE-DEVELOPMENT DRAINAGE AREA MAP

SW-30 POST-DEVELOPMENT DRAINAGE AREA MAP

SW-31 POST-DEVELOPMENT SUB DRAINAGE AREA MAP

\* ALL PLAN SHEETS TO BE RECORDED

HOP PLAN,

LD-2 GENERAL NOTES

LD-4 LAYOUT PLAN

ID-11 SITE DETAILS LD-12 SITE DETAILS LD-13 SITE DETAILS

LD-14 SITE DETAILS LD-15 SITE DETAILS LD-16 SEWER DETAILS

SW-18 COVER SHEET

SW-19 GENERAL NOTES

SW-21 PCSM EXISTING PLAN

SW-23 PCSM GRADING PLAN

SW-32 OFFSITE DISCHARGE MAP

SW-24 STORM PROFILES

SW-25 PCSM DETAILS

SW-26 PCSM DETAILS

SW-27 PCSM DETAILS

SW-28 PCSM DETAILS

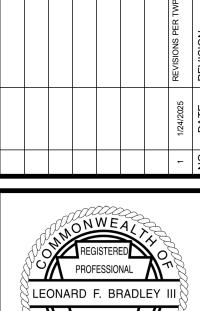
# **SITE FEATURE LEGEND**

	EXISTING FE	<u>ATURES</u>	PROPOSED FEATURES	
	454 — — — — — —	GRADE CONTOUR	454	GRADE CONTOUR
	455 — — — — —	GRADE INDEX CONTOUR	455	GRADE INDEX CONTOUR
x (4	428.17)	SPOT ELEVATION	X 496.70	SPOT ELEVATION
+	•	BENCHMARK	X BC 496.70	SPOT ELEVATION- BOTTOM OF CURB
	0	IRON PIN	X TC 496.70	SPOT ELEVATION- TOP OF CURB
		BOUNDARY LINE	X BW 496.70	SPOT ELEVATION- BOTTOM OF WALL
		ADJOINER	X TW 496.70	SPOT ELEVATION- TOP OF WALL
		RIGHT-OF-WAY LINE	X HP 496.70	SPOT ELEVATION- HIGH POINT
		LEGAL RIGHT-OF-WAY LINE	X LP 496.70	SPOT ELEVATION- LOW POINT
		CENTERLINE	0	IRON PIN
		EASEMENT LINE	•	MONUMENT
		ZONING BOUNDARY		SETBACK LINE
		BUILDING		CLEAR SIGHT TRIANGLE
		EDGE OF PAVEMENT		SAFE SIGHT STOPPING DISTANCE
		CURB		EASEMENT LINE
		WALL		ZONING
-	<del>- o -</del>	SIGN		BUILDING
0 0 0 0 0	0 0 0 0 0 0	GUIDERAIL	▼	DOOR LOCATION
		EDGE OF WETLANDS		EDGE OF PAVEMENT
		TREELINE		CURB
-	🖶 TP-1	TEST PIT LOCATION	<sup>19</sup> 44 的表现基础的现在分词 2015 2015 2016 2016 2016 2016 2016 2016 2016 2016	SIDEWALK - CONCRETE
	·	SOILS	<u> </u>	GUIDERAIL
UTV	UTV	UNDERGROUND CABLE-TV-SATELLITE		TREE PROTECTION FENCE
OE	OE	OVERHEAD ELECTRIC	o	CHAINLINK FENCE
——— UE ———	UE	UNDERGROUND ELECTRIC		BLOCK WALL
G	G	GAS	-	SIGN
	ф	OVERHEAD LIGHT FIXTURE	~~~~~~	TREELINE
	$\triangle$	SPOT LIGHT FIXTURE	UE UE	UNDERGROUND ELECTRIC
	Ø	UTILITY POLE	G G	GAS
s	<b>-</b>	GRAVITY SEWER LINE & MANHOLE	<b>-</b>	OVERHEAD LIGHT FIXTURE
s	-ss	SEWER LATERAL	,	UTILITY POLE
	<u> </u>	STORM DRAIN PIPE, ENDWALL, MANHOLE, & INLET	sss	SEWER LATERAL
		ROOF DRAIN	EW-A	STORM DRAIN PIPE, ENDWALL
	w	WATER MAIN, VALVE & HYDRANT	STRUCTURE TYPE	MANHOLE, & INLET
		LIMIT OF SURVEY	SYSTEM ID. ———————————————————————————————————	
		LIMIT OF DEMOLITION		STORMWATER INFILTRATION
				ROOF DRAIN
			ww	WATER LATERAL

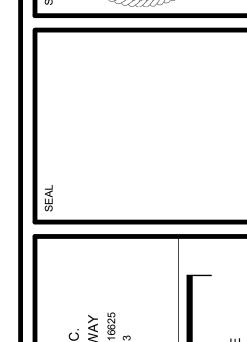
# **CERTIFICATION OF CARBONATE GEOLOGY**

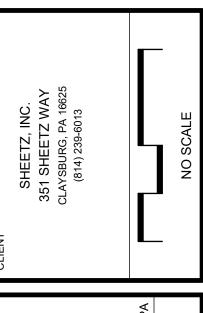
CERTIFY THAT THE PROPOSED STORM WATER MANAGEMENT BASIN IS NOT UNDERLAIN BY CARBONATE GEOLOGY.

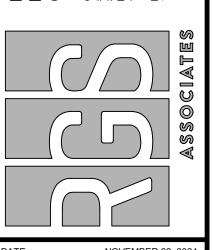
GEOLOGIST'S SIGNATURE











PROJECT NO : CHRIS VENARCHICA MANAGER: SHEET NO. LD-1 of 32

- 2. BENCHMARK #2 IS LOCATED: MAG NAIL IN COUNTRY MEADOWS RESTAURANT PARKING LOT, 22.60' SOUTHWEST OF AN INLET ELEV. 572.87' (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988 3. BENCHMARK #3 IS LOCATED: CAPPED REBAR ON THE SOUTH SIDE OF VETERANS DRIVE, ELEV.
- 568.39' (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988 4. BOUNDARY AND TOPOGRAPHICAL INFORMATION PROVIDED BY TRIMBLE SURVEYORS PROJECT NAME: 50 VETERANS DRIVE, PROJECT NO.: 24125, DATED: 05/21/24.
- 5. THIS PROPERTY WAS SURVEYED USING THE CURRENT DEED OR DEEDS OF RECORDS AND WITH THE BENEFIT OF A "TITLE SEARCH." THE TITLE SEARCH WAS ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-1204768-PITT, COMMITMENT DATE: JANUARY 11,
- 6. PERMANENT MONUMENTS AND LOT MARKERS SHALL BE SET UPON COMPLETION OF FINAL
- GRADING AT THE LOCATIONS TO BE SHOWN ON THE FINAL PLAN. 5. HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) PENNSYLVANIA STATE PLANE
- COORDINATES (SOUTH ZONE). 6. ANY ALTERATIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF RGS ASSOCIATES, INC.

### **CONTRACTOR NOTES** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE

- MUNICIPALITY RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED
- EXISTING VEGETATION AND/OR OTHER SITE FEATURES WHICH ARE TO REMAIN. 3. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE
- DIRECTED BY THE OWNER'S REPRESENTATIVE. 4. PRIOR TO BUILDING STAKEOUT, CONTRACTOR SHALL VERIFY DIMENSIONS SET FORTH ON LATEST ARCHITECTURAL PLANS. THE CONTRACTOR SHALL REVIEW ALL DOOR LOCATIONS AND POINTS-OF-ACCESS TO BUILDINGS SHOWN ON THIS PLAN AND CONFIRM THAT THE DOOR LOCATIONS MATCH THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO THE INSTALLATION OF CURB, SIDEWALK AND HANDICAP RAMPS. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE SITE PLAN AND ARCHITECTURAL DRAWINGS, RGS ASSOCIATES SHALL BE
- CONTACTED IMMEDIATELY. 5. ALL HANDICAP-ACCESSIBLE RAMPS, SIDEWALKS, AND PARKING SPACES MUST MEET ALL APPLICABLE ADA REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ADA COMPLIANCE PRIOR TO PLACEMENT OF PAVING OR CONCRETE
- 6. ALL CONSTRUCTION TO CONFORM TO THE MUNICIPAL AND PENNDOT STANDARDS AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING AND SHORING, IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. MAINTENANCE AND PROTECTION OF TRAFFIC ON EXISTING ROADS NEIGHBORING THE PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL MEP PLANS
- AND PROCEDURES SHALL BE IN ACCORDANCE WITH MUNICIPAL AND/OR PENNDOT STANDARDS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO RGS ASSOCIATES, INC. PRIOR TO CONSTRUCTION.
- 9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE RECORDS, AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION.
- 10. DIMENSIONS AND GEOMETRY SHOWN ON THIS PLAN SHALL BE VERIFIED DURING STAKE-OUT CALCULATIONS AND FIELD STAKE-OUT. 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON
- THESE PLANS, AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ALSO A MINIMUM SLOPE ON ALL UNPAVED AREAS. 12. CONTRACTOR SHALL SEQUENCE THE RELOCATION OF TELECOMM/ELECTRIC SERVICES TO MINIMIZE SERVICE INTERRUPTIONS TO EXISTING BUILDINGS. THE CONTRACTOR SHALL NOTIFY
- ALL POTENTIALLY IMPACTED PROPERTIES PRIOR TO CONSTRUCTION. 13. CROSSWALKS SHALL BE APPLIED ONTO THE FINAL WEARING COURSE AND SHALL BE PAINTED
- WITH TYPE I WHITE PAINT CONFORMING TO SECTION 962 OF PENNDOT PUBLICATION 408. 14. THE CONTRACTOR SHALL REFER TO PENNDOT PUBLICATION 111 FOR PAVEMENT MARKINGS AND SIGNAGE STANDARDS, UNLESS OTHERWISE REQUIRED BY THE MUNICIPALITY.
- 15. ANY PROPOSED SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE.
- 16. CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. RGS ASSOCIATES, INC. MAKES NO GUARANTEE THAT THE EXISTING UTILITIES ARE EXACTLY AS
- 17. CONTRACTOR SHALL VERIFY THE FINAL EARTHWORK QUANTITIES TO THEIR SATISFACTION PRIOR TO THE COMMENCEMENT OF SITE WORK. RGS MAKES NO GUARANTEE THAT IN-SITU SOILS WILL BE SUITABLE FOR STRUCTURAL FILL, OR THAT THE EARTHWORK WILL BALANCE. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.
- 18. ALL DIMENSIONS IN AREAS OF PROPOSED CURBING ARE FROM FACE OF CURB TO FACE OF CURB 19. IN THE CASE OF DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON
- THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN. 20. FAILURE TO SPECIFICALLY IDENTIFY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM
- 21. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS. 22. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY APPURTENANCES AS NECESSARY TO
- MATCH PROPOSED GRADES, UNLESS OTHERWISE NOTED. 23. CURB AND PAVEMENT SHALL BE INSTALLED IN A MANNER AS TO ENSURE POSITIVE DRAINAGE IN ALL ARFAS
- 24. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH HORIZONTALLY AND VERTICALLY FROM THE EXISTING TO PROPOSED PAVING SECTIONS. 25. ALL UNSUITABLE MATERIAL WITHIN STRUCTURAL FILL AREAS MUST BE REMOVED AND REPLACED
- WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND/OR 26. GEOTECHNICAL RECOMMENDATIONS PRESENTED IN THE REPORT ENTITLED, "GEOTECHNICAL ENGINEERING REPORT FOR STORMWATER MANAGEMENT, SHEETZ ELIZABETHTOWN SWM",
- PREPARED BY ECS MID-ATLANTIC, LLC , SHALL BE STRICTLY FOLLOWED. ANY DEVIATION MUST BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. 27. WHERE IT IS NECESSARY TO CONNECT TO, OR EXTEND TO, EXISTING PAVING, SAW CUT THE
- EXISTING EDGE OF PAVEMENT AND MILL AND OVERLAY AT THE POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE. 28. MODULAR BLOCK RETAINING WALLS SHOWN ON THESE PLANS ARE FOR ILLUSTRATIVE PURPOSES
- ONLY. STRUCTURAL COMPUTATIONS, DESIGN, CONSTRUCTION SPECIFICATIONS, AND APPLICABLE BUILDING PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE LAYOUT AND GRADING OF THE RETAINING WALLS ASSUMES NO STORM RUNOFF OVER THE TOP OF THE WALL. IF SITE CONDITIONS ARE NOT AS ASSUMED, CONTACT THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OF THE RETAINING WALL.
- 29. A GEOTECHNICAL ENGINEER OR OTHER TECHNICAL PROFESSIONAL SHALL BE PRESENT DURING THE CONSTRUCTION OF SLOPES EXCEEDING 3:1 FILL OR 2:1 CUT.
- 30. ALL ITEMS WHICH ARE REFERENCED AND NOT SPECIFICALLY DETAILED SHALL BE SELECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. 31. A LICENSED PROFESSIONAL GEOLOGIST/GEOTECHNICAL ENGINEER, RGS ASSOCIATES AND THE MUNICIPALITY SHALL BE CONTACTED UPON THE DISCOVERY OF ANY SINKHOLES OR CARBONATE
- GEOLOGY FORMATIONS DURING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES. IF A SINKHOLE IS ENCOUNTERED WITHIN OR IMMEDIATELY ADJACENT TO THE PROPOSED STORMWATER MANAGEMENT FACILITIES, PRIOR TO OR DURING CONSTRUCTION, THE SINKHOLE SHOULD BE PROMPTLY REPAIRED UNDER THE DIRECTION OF A QUALIFIED GEOLOGIST OR GEOTECHNICAL ENGINEER. 32. THE CONTRACTOR SHALL VERIFY THAT THE SUBGRADE IS PREPARED IN ACCORDANCE WITH THE
- PROJECT'S GEO-TECHNICAL RECOMMENDATIONS. 33. THE CONTRACTOR SHALL VERIFY SUBSURFACE CONDITIONS TO HIS SATISFACTION PRIOR TO PLACEMENT OF CONCRETE OR ASPHALT, RGS ASSOCIATES MAKES NO GUARANTEE, WRITTEN OR
- IMPLIED, THAT THE SUBGRADE IS SUITABLE FOR DEVELOPMENT. RGS ASSOCIATES RECOMMENDS THAT ALL SUBGRADES BE INSPECTED BY A LICENSED PROFESSIONAL GEO-TECHNICAL ENGINEER PRIOR TO PLACEMENT OF PAVEMENTS. 34. THE ASPHALT PAVEMENT SECTIONS SHOWN ON THE PLANS MEET OR EXCEED THE MUNICIPAL STANDARDS. IT IS ASSUMED THAT THE SUBGRADE, MATERIALS, CONDITIONS AND
- CONSTRUCTION METHODS ARE IN ACCORDANCE WITH ALL MUNICIPAL AND/OR PENNDOT CONSTRUCTION STANDARDS. 35. THE ASPHALT PAVEMENT SECTIONS SHOWN ON THE PLANS MAY-NOT BE DESIGNED FOR CERTAIN LEVELS OF CONSTRUCTION RELATED TRAFFIC/EQUIPMENT. ADDITIONAL DEPTH OF STONE AND/OR ASPHALT BASE MAY BE REQUIRED TO SUPPORT CONSTRUCTION ACTIVITIES. THE
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ANALYSIS, MODIFICATIONS AND/OR REPAIRS FOR SUCH CHANGES AND ACTIVITIES. 36. RGS HAS NOT PROVIDED ANY STRUCTURAL DESIGN OF THE PAVEMENT CROSS SECTION OR DETERMINATION OF THE IN-SITU MATERIAL'S SUITABILITY AS A ROAD BASE. SUCH TESTING AND ANALYSIS IS THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION BEFORE THE PLACEMENT OF THE PAVING SECTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE

ANY REOUIRED STRUCTURAL TESTING OR CERTIFICATION FOR THE INSTALLED PAVEMENT TO THE

- OWNER AND/OR MUNICIPAL REPRESENTATIVE. 37. AT ALL TIMES DURING AND AFTER CONSTRUCTION, THE SUBBASE AND BASE OF THE PAVING SECTION SHALL BE FREE DRAINING. THE CONTRACTOR SHALL INSTALL UNDER DRAINS, IN ACCORDANCE WITH RC-30M, AT ALL LOCATIONS WHERE THE PAVEMENT BASE IS NOT FREE DRAINING OR SUSCEPTIBLE TO FREEZE/THAW DAMAGE. WATER SHALL NOT BE IMPOUNDED ADJACENT TO PAVEMENT.
- 38. THE CONTRACTOR MAY NOT BEGIN CONSTRUCTION UNTIL ALL REQUIRED PERMITS HAVE BEEN ISSUED BY THE CONSERVATION DISTRICT OR PA DEP. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY WITH RGS ASSOCIATES, PRIOR TO BEGINNING CONSTRUCTION, THAT THE MOST CURRENT APPROVED PLANS ARE BEING UTILIZED.
- 39. TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT

### **SHEETZ SPECIFIC NOTES**

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR VERIFYING ALL LOCAL AND STATE PERMITS
- REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER
- 4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT
- SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- 6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS
- WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES. UTILITY CONTACTS ARE LISTED ON THE SHEET LD-2,
- 9. EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO THE E&S PLAN FOR DETAILS.
- 10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY SHEETZ IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- 11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER. 12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING

DEMOLITION EQUIPMENT AROUND UTILITIES. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 &

- 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE
- CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS,
- PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE. IF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE. ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH VEGETATION. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED
- TO THE OWNER UPON COMPLETION OF THE PROJECT. API AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, SODDED, MULCHED AND/OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC PRIOR TO
- INITIATION OF ANY EARTHWORK ACTIVITY. 10. ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS ON THE PROJECT SURVEY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR AT GROUNDBREAKING. 11. ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS NOTED OTHERWISE.
- 12. CONTRACTOR SHALL REFERENCE DETAILED BUILDING PLANS FOR EXACT BUILDING DIMENSIONS, ELEVATIONS, AND UTILITY CONNECTION POINTS. 13. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT
- 14. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY
- ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- ALL ANSLES ARE 90 DEGREES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C, ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE SHEETZ MAIN FREESTANDING SIGN WITH THE HEETZ CONSTRUCTION MANAGER. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY SHEETZ REPRESENTATIVE AND DESIGN ENGINEER OF AN DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AT THE PROJECT SITE.
- SEE DETAIL SHEETS FOR ADDITIONAL CONSTRUCTION INFORMATION. 10. CONTRACTOR SHALL NEATLY SAW-CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEET EXISTING PAVEMENT AND CONCRETE. STORMWATER MANAGEMENT NOTES
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP. THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS,
- PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- CONTRACTOR SHALL COORDINATE FUEL ISLAND CANOPY DRAINS CONNECTION TO THE MAIN COLLECTOR PIPE WITH THE SHEETZ CONSTRUCTION MANAGER AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTOR PIPE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER PIPE, MANHOLES, AND INLETS TO THE SHEETZ CONSTRUCTION MANAGER FOR APPROVAL. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED
- TO THE OWNER UPON COMPLETION OF THE PROJECT. ALL STORM PIPE SHALL BE AS SPECIFIED. ALL JOINTS SHALL BE WATERTIGHT. ALL STORM STRUCTURES DIRECTLY DOWN GRADIENT OF THE FUEL PUMP PAD OR UNDERGROUND STORAGE
- TANKS SHALL HAVE A SUMP AND BMP FEATURE (FOR EXAMPLE 'SNOUT') INSTALLED ON THE OUTFLOW PIPE. 10. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. 11. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT
- INFORMATION. **UTILITY NOTES** ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE
- CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE
- PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES
- AND UNDERGROUND STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING,
- TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITY CONSTRUCTION UNLESS OTHERWISE COORDINATED REFOREHAND WITH SHEETZ. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO

THE SHEETZ PROJECT STRUCTURES.

- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED
- TO THE OWNER UPON COMPLETION OF THE PROJECT. 10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET LD-2 11. CONDUIT LOCATIONS TO FREESTANDING SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ
- CONSTRUCTION MANAGER. 12. CONTRACTOR SHALL COORDINATE AND VERIFY WITH SHEETZ CONSTRUCTION MANAGER ON LOCATION AND SIZE OF THE STORE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER.
- ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED. 13. CONTRACTOR SHALL COORDINATE WITH SHEETZ CONSTRUCTION MANAGER AND SHEETZ IT DEPARTMENT ON THE CONDUIT ROLLTE TO STORE FOR TELE/COMMUNICATION SERVICES 14. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED
- STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. 15. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION

### **UTILITY NOTES**

- A. GENERAL NOTES SANITARY SEWER
- MINIMUM OF 3'-6"' OF COVER IS REQUIRED OVER ALL SEWER LINES. THE SEWER LATERAL SHALL BE CONSTRUCTED TO THE LINE AND GRADE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" PER THE AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN FIELD RECORDS OF THE
- INFORMATION TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS. A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN ALL WATER AND SEWER CROSSINGS. IF THIS CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASEMENT SHALL BE PROVIDED.

LOCATION AND DEPTH OF ALL SANITARY SEWER LATERAL LOCATIONS, AND SHALL PROVIDE THIS

- SANITARY SEWER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY 95% STANDARD PROCTOR FILL COMPACTION IS REQUIRED FOR ALL SANITARY SEWER FACILITIES
- LOCATED IN FILL MATERIAL. TESTING MUST BE IN ACCORDANCE WITH THE APPROPRIATE AASHTO AND ASTM STANDARDS. ALL CLEANOUTS & SANITARY MANHOLES LOCATED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING TOPS.
- . A MINIMUM OF 0.1 FEET OF FALL SHALL BE PROVIDED THROUGH ALL SANITARY SEWER 8. ALL SANITARY SEWERS SHALL BE CONSTRUCTED FROM DUCTILE IRON UNLESS OTHERWISE NOTED ON THE PLANS. IN AREAS WHERE COVER EXCEEDS 15 FEET, SDR-21 PVC SHALL BE USED
- FOR BOTH MAINS AND LATERALS. 9. SANITARY SEWER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY AND/OR 18 INCHES VERTICALLY FROM ALL OTHER UTILITIES. WHEN THESE CLEARANCES ARE NOT FEASIBLE, CONCRETE ENCASEMENT OF THE SEWER MAIN IS REQUIRED. SANITARY SEWERS SHALL BE
- INSTALLED BELOW WATER FACILITIES. 10. THE AUTHORITY SHOULD BE NOTIFIED 48 HOURS IN ADVANCE TO COORDINATE THE INSPECTION OF THE NEW LATERAL TO THE EXISTING MAIN.
- CONTRACTOR SHALL INSTALL A COMPLETE WATER SYSTEM TO INCLUDE THE SERVICE LATERAL (EXACT LOCATION AND SIZE TO BE DETERMINED BY MEP) IN CONFORMANCE WITH THE

SPECIFICATIONS AND DETAILS OF THE MUNICIPAL AUTHORITY.

DEP REGULATIONS RELATED TO HORIZONTAL AND VERTICAL SEPARATION

- THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND "RECORD DRAWINGS" PER AUTHORITY REQUIREMENTS . ALL WATER MAINS SHALL COMPLY WITH THE ELIZABETHTOWN AREA WATER AUTHORITY DESIGN AND CONSTRUCTION MANUAL SPECIFICATIONS UNLESS SPECIFIC WAIVERS HAVE BEEN GRANTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS
- FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION. 95% FILL COMPACTION IS REQUIRED FOR ALL WATER DISTRIBUTION FACILITIES LOCATED IN FILL MATERIAL. THE CONSTRUCTION OF WATER AND SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH PA
- ALL WATER APPURTENANCES SHALL BE SET TO FINISHED GRADE, UNLESS OTHERWISE NOTED. IF A FIRE DEPARTMENT CONNECTION (FDC) IS REQUIRED FOR ANY BUILDING. THE FDC SHALL BE PLACED WITHIN A DISTANCE AS DETERMINED BY LOCAL, STATE AND FEDERAL REGULATIONS, PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODE, AS REVISED, IN COORDINATION WITH MUNICIPAL STAFF AND THE LOCAL FIRE DEPARTMENT. THE FIRE HYDRANT LOCATION(S) DEPICTED ON THE PLANS HAVE BEEN PLACED WITH THE BEST AVAILABLE INFORMATION AVAILABLE AT THIS TIME. HOWEVER, RELOCATION OR ADDITIONS OF THE FDC MAY CAUSE THE
- NEED TO RELOCATE FIRE HYDRANTS. CUT, OR REMOVE ANY TREE, SHRUBBERY, FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT COULD REASONABLY INTERFERE WITH THE EFFICIENT, PROPER, AND SAFE ACCESS AND MAINTENANCE TO THE EASEMENT OR STRUCTURES THAT EXIST AT THE TIME OF THIS PLAN/AGREEMENT APPROVAL, AND EAWA SHALL HAVE NOT OBLIGATION TO CORRECT, REPLACE, REPLANT, RESTORE SUCH MATERIAL OR BE FINANCIALLY RESPONSIBLE FOR SAME.
- THE EQUITABLE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES TO ENSURE THEY ARE KEPT IN DESIGN CONDITION. THE STORMWATER COLLECTION AND CONVEYANCE SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH DESIGN STANDARDS AND SPECIFICATIONS IN PLACE AT THE TIME OF PLAN APPROVALS. RGS ASSUMES NO RESPONSIBILITY FOR CHANGES IN SPECIFICATIONS THAT MAY OCCUR AFTER PLAN APPROVAL THAT WOULD REQUIRE ALTERNATE MATERIALS OR INSTALLATION
- OWNER/DEVELOPER AND RGS ASSOCIATES OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO THE START OF CONSTRUCTION. B. CONSTRUCTION OF STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY AND COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS.

REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL CURRENT STANDARDS AND NOTIFY THE

- 4. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MATERIAL SPECIFICATIONS, UNLESS OTHERWISE NOTED. EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONS OF THE FACILITY OR EASEMENT IN ANY WAY THE MUNICIPALITY WILL HAVE THE RIGHT TO ACCESS THROUGH EASEMENTS.
- WHERE ANY PART OF THE PROPOSED STORM DRAIN SYSTEM IS TO BE CONSTRUCTED WITHIN A FILL SECTION, THE CONTRACTOR SHALL COMPACT ALL SELECT FILL MATERIAL TO 95% OF ASTM D-698 (AASHTO T-99) WITH A MOISTURE CONTENT ± 3% OF OPTIMUM UP TO THE PIPE BEDDING. REFER TO THE "STORMWATER MANAGEMENT CONSTRUCTION SPECIFICATIONS" FOR A
- DESCRIPTION OF SELECT FILL MATERIAL. 8. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR SLCPP/HDPEP PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- STORMDRAIN PIPES SHALL BE ADS (N-12) HDPE PIPE WITH ADS PRO-LINK ULTRA (IN-LINE BELL) PIPE JOINTS (FOR SOIL TIGHT CONNECTIONS) AND/OR ADS PRO-LINK WT (FOR WATER TIGHT CONNECTIONS). REFER TO PLAN AND PROFILES FOR MATERIALS USED 2. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HDPE
- PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.

# ALL PROPOSED UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE. THE EXISTING UTILITIES SHOWN HAVE BEEN DETERMINED AND REFERENCED BASED UPON INFORMATION RECEIVED FROM THE UTILITY COMPANIES, SURVEYORS, VISITS TO THE SITE AND GENERAL BEST INFORMATION, TO THE BEST OF RGS ASSOCIATES' KNOWLEDGE, AT THE TIME OF DESIGN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 A MINIMUM OF 3 DAYS PRIOR TO EXCAVATING OR WITH CAREFUL EXPLORATORY WORK, AT THE CONTRACTOR'S RISK, PRIOR TO CONSTRUCTION FOR THOSE PRIVATE LINES WHICH ARE NOT ABLE TO BE LOCATED THROUGH THE ONE CALL PROCESS. IT MAY BECOME NECESSARY TO ADJUST THE PROPOSED UTILITY LOCATION IN THE FIELD TO RESOLVE ANY

UTILITY CROSSING CONFLICTS WHICH MAY OCCUR. RGS ASSOCIATES SHALL BE NOTIFIED

IMMEDIATELY IF ANY SUCH CONFLICTS ARE ENCOUNTERED. 4. ALL UTILITY ELEVATIONS ARE AT THE INVERT UNLESS OTHERWISE NOTED.

# **CONSTRUCTION SEQUENCE SCHEDULE**

UNDERGROUND UTILITY LINE PROTECTION ACT

IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 73 P.S. 176, AS AMENDED BY PA ACT 287 OF 1974, AS AMENDED, RGS ASSOCIATES, INC. HAS PERFORMED T FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN:

COMPLETED. IF SUCH INFORMATION WAS OBTAINED MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, RGS HAS STATED IN THE REQUEST THAT WORK IS PRELIMINARY. 2. PURSUANT TO 73 P.S. 176(3), RGS ASSOCIATES, INC. HAS SHOWN, UPON THESE DRAWINGS, THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY 73 P.S. 176(2), THE NAME OF THE

1. PURSUANT TO 73 P.S. 176(2), RGS ASSOCIATES, INC. HAS REQUESTED LINE AND

FACILITY INFORMATION FROM THE ONE CALL SYSTEM NOT LESS THAN TEN (10) NOR

MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE

FACILITY OWNER AND THE FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND

3. PURSUANT TO 73 P.S. 176(5), RGS ASSOCIATES, INC. HAS CALLED THE ONE CALL SYSTEM AND SHOWN AS PROOF, THE SERIAL NUMBER OF ONE CALL NOTICE AND THE TOLL-FREE NUMBER OF THE ONE CALL SYSTEM ON THE DRAWINGS NEAR THE SERIAL

4. IF, PURSUANT TO THE REQUIREMENTS OF 73 P.S. 176(2), RGS ASSOCIATES, INC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM MORE

THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, RGS HAS INDICATED THAT THE REQUEST IS PRELIMINARY AND THE SERIAL NUMBER OF SAID REQUEST IS SHOWN ON THE DRAWINGS HEREIN. RGS ASSOCIATES, INC. DOES NOT REPRESENT, WARRANT, ASSURE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO THE ONE CALL SYSTEM REQUEST AND AS REFLECTED ON THESE DRAWINGS IS ACCURATE OR CORRECT. FURTHERMORE, RGS ASSOCIATES, INC. INCLUDES THE INFORMATION ONLY PURSUANT TO THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION ACT, AS AMENDED.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (PRELIMINARY): \_\_\_\_\_ DATE: \_\_\_\_\_ BY: \_\_\_\_

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (SURVEY): 20240821542

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (FINAL):

SYSTEM. INC

DATE: <u>3-27-2024</u> BY: <u>JAB</u>

ELEPHONE NUMBER

PENNSYLVANIA LAW REOUIRES (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING **1-800-242-1776** DAYS IN DESIGN STAGE - STOP CALL

### **WETLAND NOTES**

1. WETLANDS DELINEATED ON THE PLANS SHALL BE KEPT FREE OF STRUCTURES, FILL AND OTHER ENCROACHMENTS NO DISTURBANCE SHALL OCCUR WITHIN THE BOUNDARY OF THE WETLANDS 2. IN JUNE OF 2024 A PRELIMINARY WETLANDS INVESTIGATION WAS COMPLETED TO DETERMINE THE EXTENT OF WETLANDS PRESENT ON THE SITE WAS CONDUCTED BY VORTEX ENVIRONMENTAL INC. THERE IS ONE (1) "WATERS OF THE UNITED STATES AND COMMONWEALTH" EXISTING WITHIN THE 2.171 ACRE PROJECT SITE, INCLUDING THE SMALL EMERGENT WETLAND AREA (WETLAND 1) IN THE NORTHEASTERN CORNER OF THE PROJECT SITE.

## **EROSION AND SEDIMENT CONTROL NOTES**

- THE MEASURES REQUIRED IN THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN SHALL APPLY AS IF SHOWN ON THIS PLAN. THESE MEASURES SHALL BE COMPLETED AND IN SERVICE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR CONSTRUCTION, PER THE SEQUENCE OF CONSTRUCTION OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL
- SOIL TYPES PRESENT ON THE SITE, PER THE SOIL SURVEY OF LANCASTER COUNTY, PENNSYLVANIA ARE AS FOLLOWS:

<u>SYMBOL</u>	<u>NAME</u>	<u>SLOPE</u>	HYDRO GROUP
UbB	UNGERS EXTREMELY STONY LOAM	3-8%	В
UbD	UNGERS EXTREMELY STONY LOAM	8-25%	В
Hg	HOLLY SILT LOAM	0-3%	B/D

### PADOT/STREET NOTES

- 1. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE STREET OR DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT, AND THE PLANNING COMMISSION'S
- APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH PERMIT CAN BE ACQUIRED. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT DEEDS TO LOTS WHICH CONTAIN CLEAR SIGHT TRIANGLES AND LINE OF SIGHT EASEMENTS SHALL PROVIDE THAT NO STRUCTURE, PLANTINGS, OR GRADING SHALL BE ERECTED, INSTALLED, OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WILL OBSCURE THE VISION OF MOTORISTS.
- DESIGN AND PLACEMENT OF TRAFFIC SIGNS SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN PADOT PUBLICATION 236, HANDBOOK OF APPROVED SIGNS, AND PADOT PUBLICATION 201, ENGINEERING AND TRAFFIC STUDIES.
- . THE FINISHED FLOOR ELEVATIONS (FFE) SHOWN ON THE PLAN REPRESENT THE ELEVATION OF THE FIRST FLOOR INSIDE THE BUILDING. 2. THE CONTRACTOR AND/OR BUILDER SHALL CONFIRM ALL ELEVATION RELATIONSHIPS PRIOR TO
- CONSTRUCTION. ANY DISCREPANCIES SHALL BE SUBMITTED TO RGS ASSOCIATES IMMEDIATELY. 3. ALL FINISHED FLOOR ELEVATIONS MUST BE SET A MINIMUM OF TWO (2) FEET ABOVE THE 100 YEAR WATER SURFACE ELEVATION OF ANY ADJACENT STORMWATER FACILITY.

### MUNICIPAL SPECIFIC NOTES

THE REQUIRED TIMEFRAME.

- LIGHTING SHALL BE PROVIDED IN CONFORMANCE WITH SECTION 135-298, OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE AND SECTION 119-52.0 OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. ALL NONRESIDENTIAL SITE LIGHT SOURCES, AND RESIDENTIAL LIGHT SOURCES HIGHER THAN 12 FEET, SHALL BE DIRECTED AWAY FROM PUBLIC STREETS AND PRIVATE PROPERTIES. THE LAMPS SHALL BE SHIELDED IN AMANNER SO THAT THEY ARE NOT VISIBLE FROM THE ADJOINING PROPERTY. SENSOR-CONTROLLED LAMPS EXCEEDING 2,000 LUMENS
- (150-WATTS INCANDESCENT) SHALL HAVE CUTOFF-TYPE LUMINAIRES. ALL APPLICABLE PERMITS FOR UNDERGROUND STORAGE OF FUEL SHALL BE OBTAINED THE MUNICIPALITY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE, AND NO ALTERATION TO SWALES, OR BASINS, OR PLACEMENT OF
- STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS. . LOT PINS AND MONUMENTS SHOWN ON THIS PLAN WHICH HAVE NOT BEEN INDICATED TO BE FOUND SHALL BE SET AT THE FINAL GRADE AS INDICATED ON THIS PLAN BY A PROFESSIONAL, REGISTERED SURVEYOR, LOT PINS SHALL BE IRON PINS OR STEEL REBARS AT LEAST 30 INCHES LONG AND NOT LESS THAN 5/8 OF AN INCH IN DIAMETER. MONUMENTS ALONG STREET RIGHT-OF-WAYS SHALL BE CONCRETE OR STONE WITH A FLAT TOP HAVING A MINIMUM WIDTH OR DIAMETER OF FOUR INCHES AND A MINIMUM LENGTH OF 30 INCHES. CONCRETE MONUMENTS SHALL BE MARKED WITH A THREE-FOURTHS-INCH COPPER OR BRASS DOWEL OR DRILL HOLE; STONE MONUMENTS SHALL BE
- MARKED ON THE TOP WITH A DRILL HOLE. THE ACCESS DRIVES SHOWN ON THE PLAN ARE NOT OFFERED FOR DEDICATION TO THE
- TOWNSHIP.THE OWNER ASSUMES ALL RESPONSIBILITY FOR ITS MAINTENANCE AND REPAIR. NO STRUCTURES, LANDSCAPING OR GRADING MAY BE CONSTRUCTED, INSTALLED OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF MOTORISTS.

. THE UNDERDRAIN SHALL ONLY BE MADE OPERATIONAL IF THE BASIN IS NOT DEWATERING WITHIN

THE TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSE OF INSPECTING ALL STORMWATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES. 9. UPON COMPLETION OF HE PLAN IMPROVEMENTS AND PRIOR TO THE RELEASE OF FINANCIAL SECURITY,

SHALL SUBMIT THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS.

10. FOLLOWING THE APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER, THE APPLICANT

THE APPLICANT SHALL SUBMIT AN AS-BUILT PLAN TO THE TOWNSHIP.

### LIMITING ZONE REMEDIATION NOTES THE CONTRACTOR SHALL PROBE THE VIRGIN SOIL BENEATH THE EXCAVATED BOTTOM OF EACH OF THE SUB-SURFACE STORMWATER MANAGEMENT FACILITIES TO VERIFY THAT A MINIMUM OF 24

ADJACENT BUILDINGS.

ADDRESS: 235 ERSA DRIVE

CONTACT: STEVEN RETTEW

STEVE@ERSAPA.COM

**GEOTECHNICAL NOTES** 

TOWNSHIP FOR APPROVAL

IF REDOXIMORPHIC FEATURES (SOIL MOTTLING AND COLORATION PATTERNS FORMED BY THE

REDUCTION OF IRON AND/OR MANGANESE FROM SATURATED CONDITIONS IN THE SOIL) ARE

ASSOCIATED WITH A HISTORIC CONDITION (ASSOCIATED WITH FILL, PREVIOUS SITE

1.3. RETAIN ECS AND CIVIL ENGINEER TO EVALUATE ALTERNATE DESIGN CONCEPTS. ALTERNATE

2.1. DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING THE HIGH INFILTRATION RATES

2.2. OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A

2.3. IF EXCESSIVE RATES ARE ASSOCIATED WITH WEATHERED OR BROKEN ROCK, THE ROCK

2.4. REPLACE THE EXCAVATED MATERIAL WITH FINER GRAINED MATERIALS APPROVED BY ECS.

SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE

2.6. IF MATERIAL REPLACEMENT IS REQUIRED IN STRUCTURAL AREAS (EX: BELOW-GRADE SWM

FACILITIES IN PAVED AREAS), MATERIAL PLACEMENT SPECIFICATIONS, INCLUDING

MATERIALS TYPE, MIX RATIO, COMPACTIVE EFFORT AND REQUIRED DENSITY SHOULD BE

DETERMINED BY ECS. TECHNICAL RECOMMENDATIONS SHOULD BE SEALED BY ECS AND

IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY LOW (LESS THAN 0.1 IN/HR):

3.2. OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A

3.3. IF BEDROCK IS ENCOUNTERED, THE ROCK SHOULD BE REMOVED TO A MINIMUM DEPTH OF 2

3.4. REPLACE THE EXCAVATED MATERIAL WITH MORE COARSELY GRAINED MATERIALS APPROVED

BY ECS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE

MATERIALS AVAILABLE TO THE CONTRACTOR, AND SUBJECT TO TESTING AND APPROVAL OF

FEET BELOW THE BOTTOM OF BASIN AND SHOULD BE EXAMINED BY ECS, PRIOR TO

3.5. SUITABLE SOIL MIXTURES MAY CONSIST OF MATERIALS BLENDED BY VOLUME RATIOS AS

DURING EXCAVATION OF THE BASIN, THE MATERIALS AT THE BOTTOM OF BASIN SHOULD BE VERIFIED

TO BE CONSISTENT WITH THOSE ENCOUNTERED IN THE EXPLORATION. PROPER PERFORMANCE OF

INFILTRATION FACILITIES WILL BE INFLUENCED BY THE VARIABILITY IN THE SUBSURFACE. IT WILL BE

IMPORTANT THAT CONSTRUCTION EQUIPMENT DOES NOT TRAFFIC ON THE MATERIALS AT THE

INFILTRATION BED ELEVATION, AND THAT HAND PROBING ON AN APPROXIMATELY 25 FOOT GRID OR

ISOLATED TEST PITS BE PROVIDED TO EVALUATE PROPER OFFSET DISTANCES FROM BEDROCK

WE RECOMMEND SWM FACILITIES BE LOCATED A MINIMUM OF 25 FEET FROM ADJACENT BUILDINGS.

TAKEN FROM EDGE OF SWM FACILITY TO OUTSIDE OF FOOTING. THE ALLOWABLE BUFFER DISTANCE

IS HIGHLY DEPENDENT ON SITE CONSTRAINTS INCLUDING BUT NOT LIMITED TO, FOUNDATION TYPE,

SUBGRADE SOILS, GEOLOGY, STRUCTURAL LOADING, FOUNDATION BEARING ELEVATION, INVERT

ELEVATION, AND GROUNDWATER. IF SITE CONSTRAINTS PROHIBIT THIS RECOMMENDATION, THE

FACILITY MAY BE LOCATED CLOSER TO A BUILDING SUBJECT TO THE REVIEW AND APPROVAL OF ECS.

IT IS IMPORTANT TO NOTE THAT THE CLOSE PROXIMITY OF BUILDINGS WILL GENERALLY NOT

NEGATIVELY IMPACT THE FUNCTIONALITY OF THE STORMWATER FACILITIES, BUT WATER

INFILTRATION AND A REDUCED BUFFER MAY NEGATIVELY AFFECT THE BEARING CAPACITY OF

3.6. MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.

IT IS RECOMMENDED THAT VERIFICATION OF THE SUBGRADE CONDITIONS AT THE TIME OF

CONSTRUCTION BE CONDUCTED BY AN AUTHORIZED ECS REPRESENTATIVE.

THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY

3.1. DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING THE LOW INFILTRATION RATES

TESTING, OR OTHER SUITABLE METHODS AS DETERMINED BY THE ECS.

MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST.

2.5. MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.

MATERIALS AVAILABLE TO THE CONTRACTOR GENERALLY CONFORMING TO THE TABLE

DESIGNS PROPOSED BY THE PROFESSIONAL SHOULD BE SEALED AND SUBMITTED TO THE

IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY HIGH (GREATER THAN 6 INCHES

THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY

SURFACE SHOULD BE EXAMINED BY ECS. PRIOR TO REPLACEMENT OF SUITABLE MATERIAL

BELOW, WITH FIELD INFILTRATION RATES POST PLACEMENT DETERMINED AND APPROVED BY

CONDITION, OR NATURAL COLORATION) OR ARE ASSOCIATED WITH CONDITIONS THAT

ELEVATION OF THE SWM FEATURE AND DETERMINE IF THE SIZE AND ELEVATION OF THE SWM

1.1. A QUALIFIED PROFESSIONAL SHOULD DETERMINE IF THE FEATURES OBSERVED ARE

COULD PRESENTLY OCCUR (SEASONAL VARIATIONS IN THE WATER TABLE).

1.2. EVALUATE THE ELEVATION OF THE FEATURES RELATIVE TO THE PROPOSED DESIGN

FEATURE CAN BE ADJUSTED TO ALLEVIATE THE CONFLICT.

TESTING, OR OTHER SUITABLE METHODS AS DETERMINED BY ECS.

MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST

PER HOUR) AND CATION EXCHANGE CAPACITY IS KNOWN

SUBMITTED TO THE TOWNSHIP FOR APPROVAL.

REPLACEMENT OF SUITABLE MATERIAL.

DETERMINED BY ECS.

4. CONSTRUCTION RECOMMENDATIONS

A. GENERAL RECOMMENDATIONS

- INCHES IS PROVIDED TO THE LIMITING ZONE IN ACCORDANCE WITH APPENDIX C OF THE PA DEP STORMWATER BEST MANAGEMENT PRACTICES MANUAL. 2. IF A DEPTH OF 24 INCHES TO THE EXISTING BEDROCK IS NOT NATURALLY POSSIBLE, THE CONTRACTOR SHALL REMEDIATE THE MANTLE BELOW THE FACILITY IN ACCORDANCE WITH THE
- FOLLOW PROCEDURE: a. UNDER THE DIRECTION OF THE PROJECT GEO-TECHNICAL ENGINEER, THE CONTRACTOR SHALL OVER EXCAVATE THE BOTTOM OF THE FACILITY AN ADDITIONAL 24 INCHES. b. THE CONTRACTOR SHALL REMOVE ANY BEDROCK ENCOUNTERED WITHIN THE 24 INCHES. c. UNDER THE SUPERVISION AND DIRECTION OF THE PROJECT GEO-TECHNICAL ENGINEER. THE
- DEPTH OF 24 INCHES. 3. THE COMPOSITION, COMPACTION AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE

COMPANY:	LUMEN/CENTURYLINK	COMPANY:	FIRST ENERGY PENELEC
ADDRESS:	200 TECHNOLOGY DRIVE	ADDRESS:	21 S MAIN STREET
	PITTSBURGH, PA 15219		AKRON, OH 44308
CONTACT:	DAN SHENTO	CONTACT:	CARA WARREN
EMAIL:	DAN.SHENTO@LUMEN.COM	EMAIL:	CARAWARREN@FIRSTENERGYCORP.COM
COMPANY:	COMCAST	COMPANY:	MOUNT JOY TOWNSHIP LANCASTER CO
ADDRESS:	339 BALTIMORE RD	ADDRESS:	8853 ELIZABETHTOWN ROAD
	SHIPPENSBURG, PA 17257		ELIZABETHTOWN, PA 17022
CONTACT:	WILLIAM MAYS	CONTACT:	KEN EBERSOLE
EMAIL:	WILLIAM_MAYS@CABLE.COMCAST.COM	EMAIL:	KEN@MTJOYTWP.ORG
COMPANY:	ELIZABETHTOWN AREA WATER AUTHORITY	COMPANY:	PPL ELECTRIC UTILITIES CORPORATION
ADDRESS:	211 W HUMMELSTOWN STREET	ADDRESS:	434 SUSQUEHANNA TRAIL
	ELIZABETHTOWN, PA 17022		NORTHUMBERLAND, PA 17857
CONTACT:	DEL BECKER	CONTACT:	DOUG HAUPT
		EMAIL:	DLHAUPT@PPLWEB.COM
COMPANY:	ELIZABETHTOWN REGIONAL SEWER AUTHORITY		

114. The Board hereby grants the Applicant's special exception application for

limits in Section 135-383.B(7), subject to the following reasonable conditions:

b. Applicant shall comply with all other provisions contained in Chapter 135 of the Code of Ordinances of Mounty Joy Township for which relief has not been requested or

c. Applicant and any representatives of Applicant shall comply with and adhere to the testimony and any evidence presented to the Board at the Hearing held on October 2, 2024, except to the extent modified by conditions imposed by the Board herein.

Decision made this 6th day of November, 2024.

TOWNSHIP OF MOUNT JOY

NOT FOR BID / NOT FOR CONSTRUCTION

CONTRACTOR SHALL CONSTRUCT A SOIL MANTLE BETWEEN THE REMAINING BEDROCK AND THE BOTTOM OF THE PROPOSED SUB-SURFACE STORMWATER MANAGEMENT FACILITY TO A

WITH THE RECOMMENDATIONS OF THE PROJECT GEO-TECHNICAL ENGINEER.

# **UTILITY LIST**

COUNTY COMPANY: UGI UTILITIES INC ELIZABETHTOWN, PA 17022 ADDRESS: 1301 AIP DRIVE

CONTACT: STEPHAN BATEMAN

EMAIL: SBATEMAN@UGI.COM

MIDDLETOWN, PA 17057

# SPECIAL EXCEPTION AND VARIANCE DECISION

the Proposed Use pursuant to Sections 135-143.D, and the request for a variance from the time

 a. Applicant shall apply for and gain approval of a Land Development Plan from the Mount Joy Township Planning Commission.

ZONING HEARING BOARD FOR THE

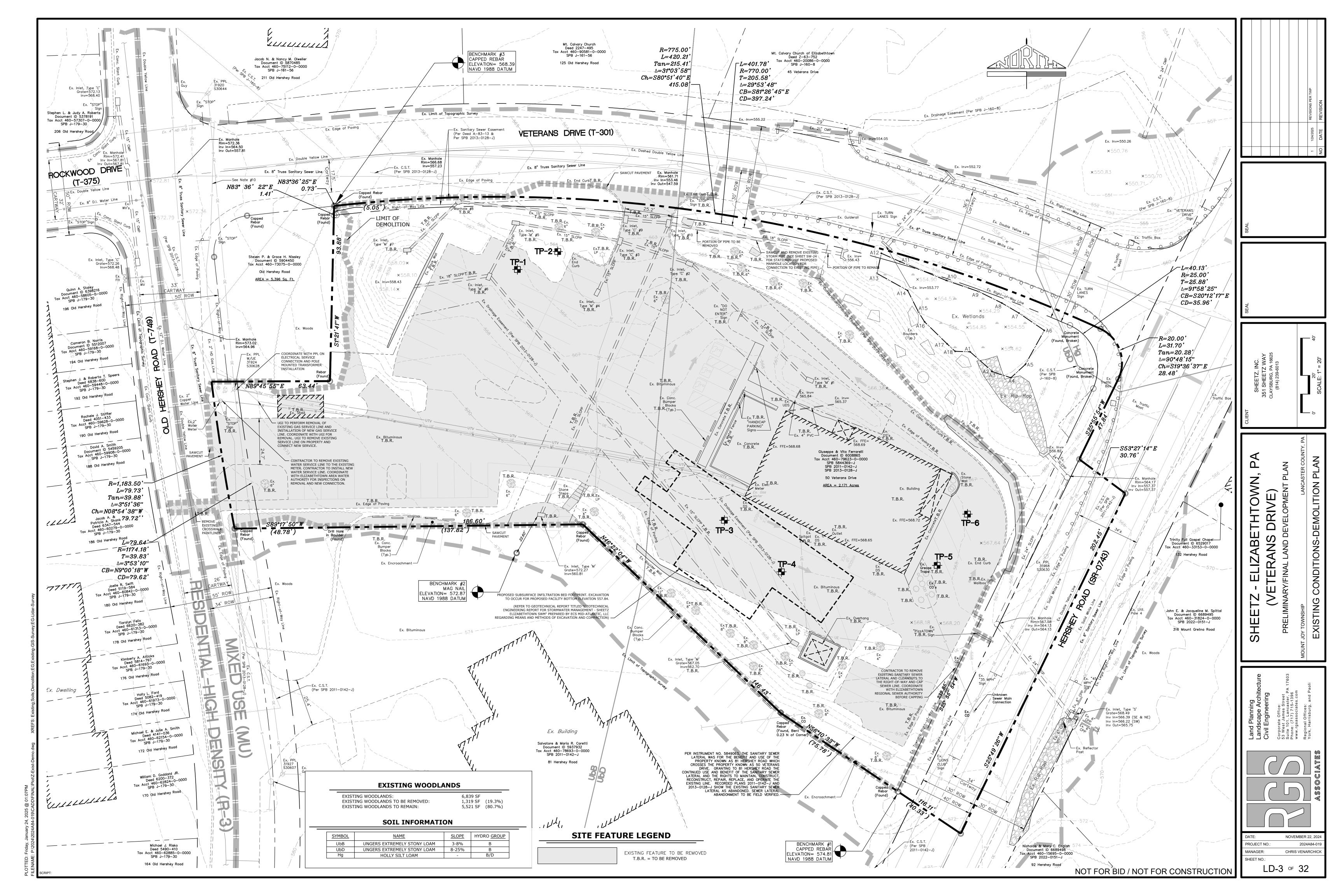
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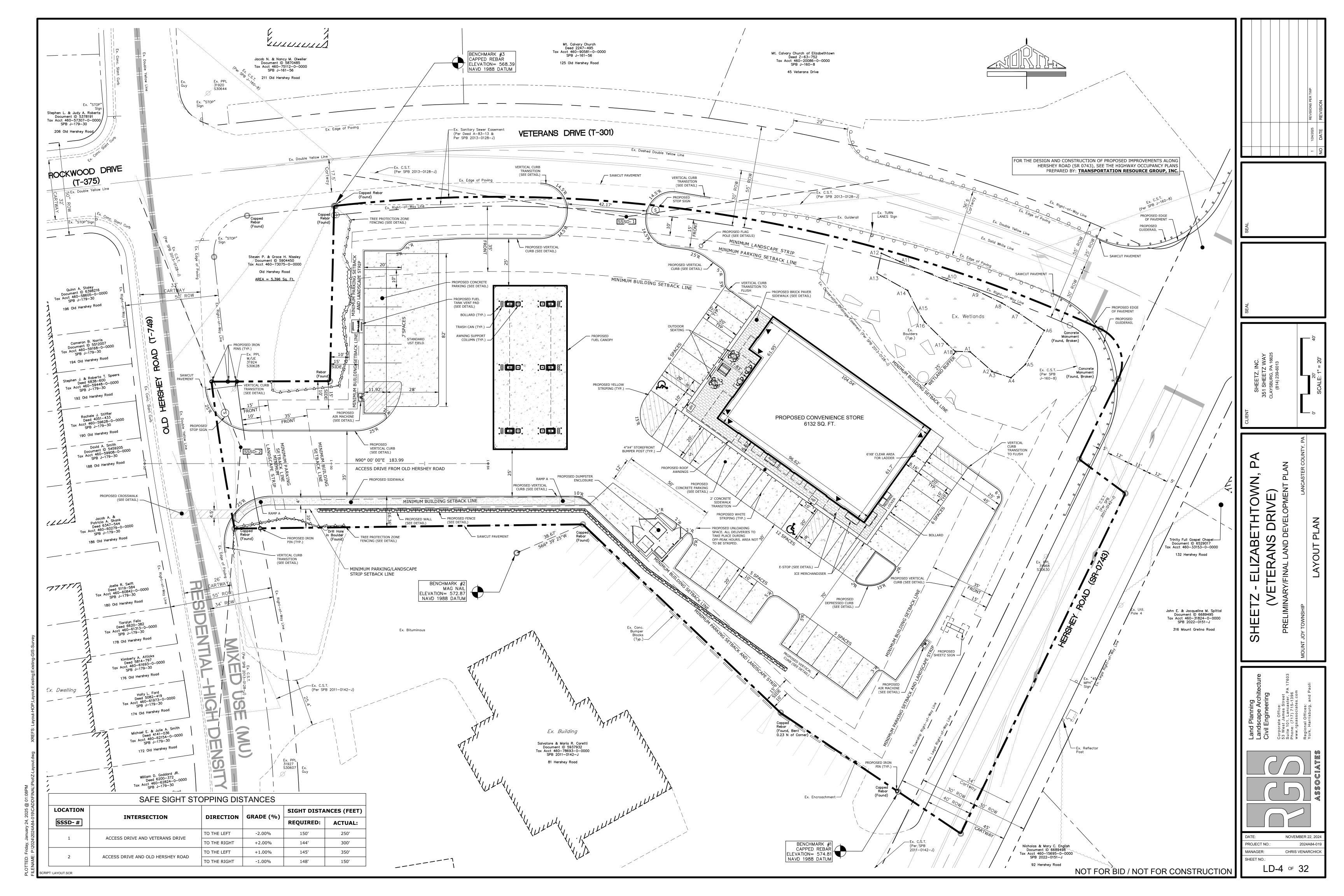
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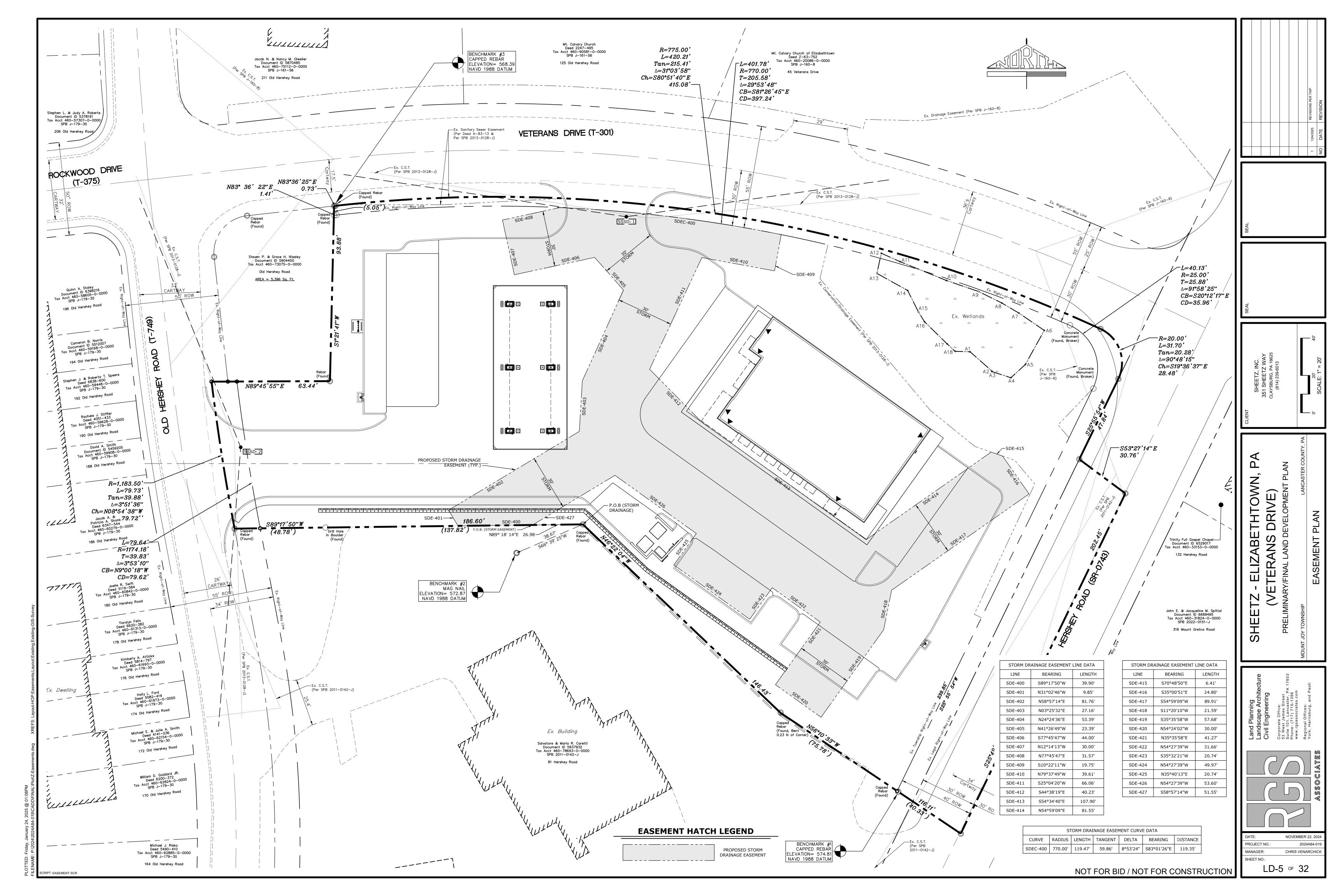
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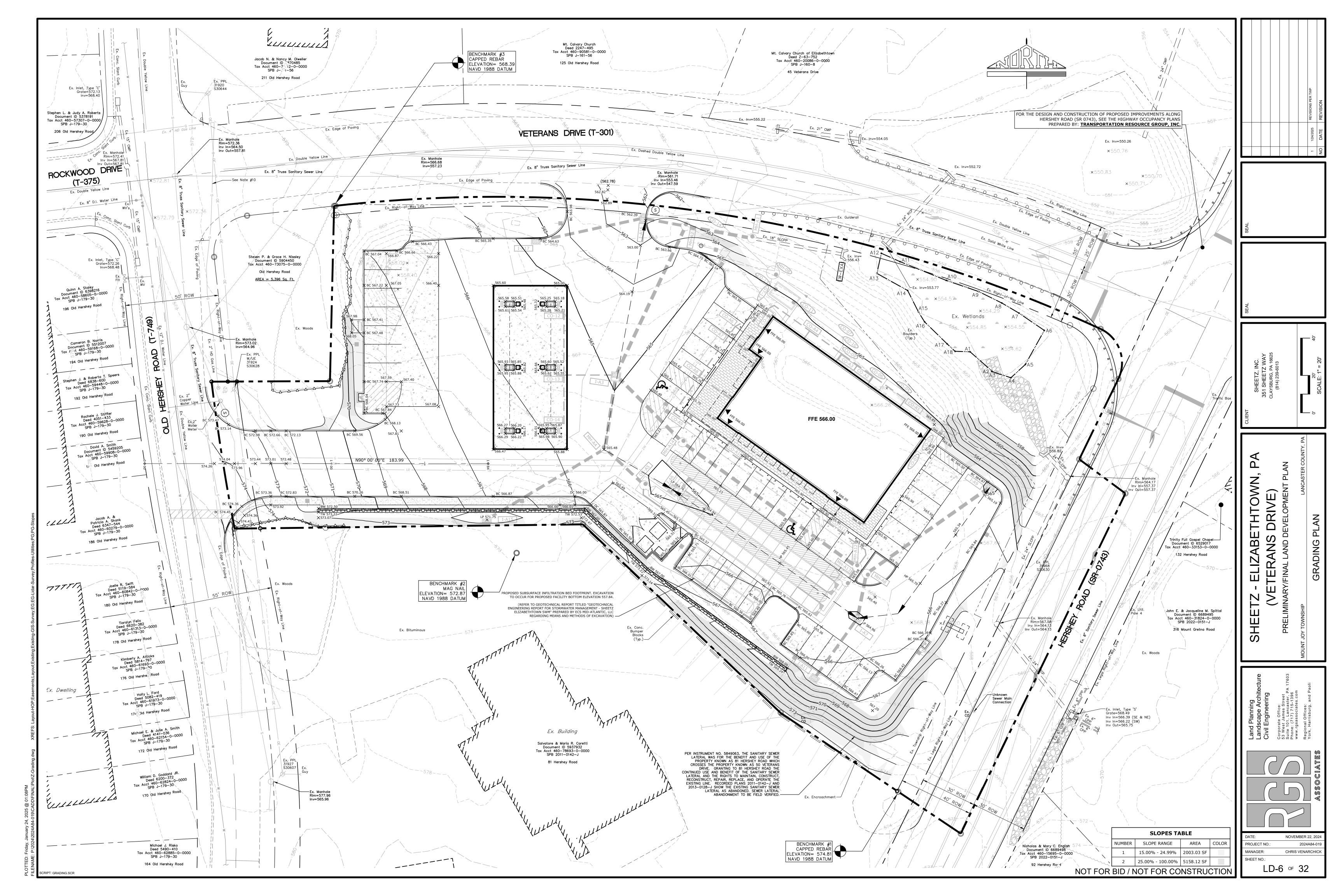
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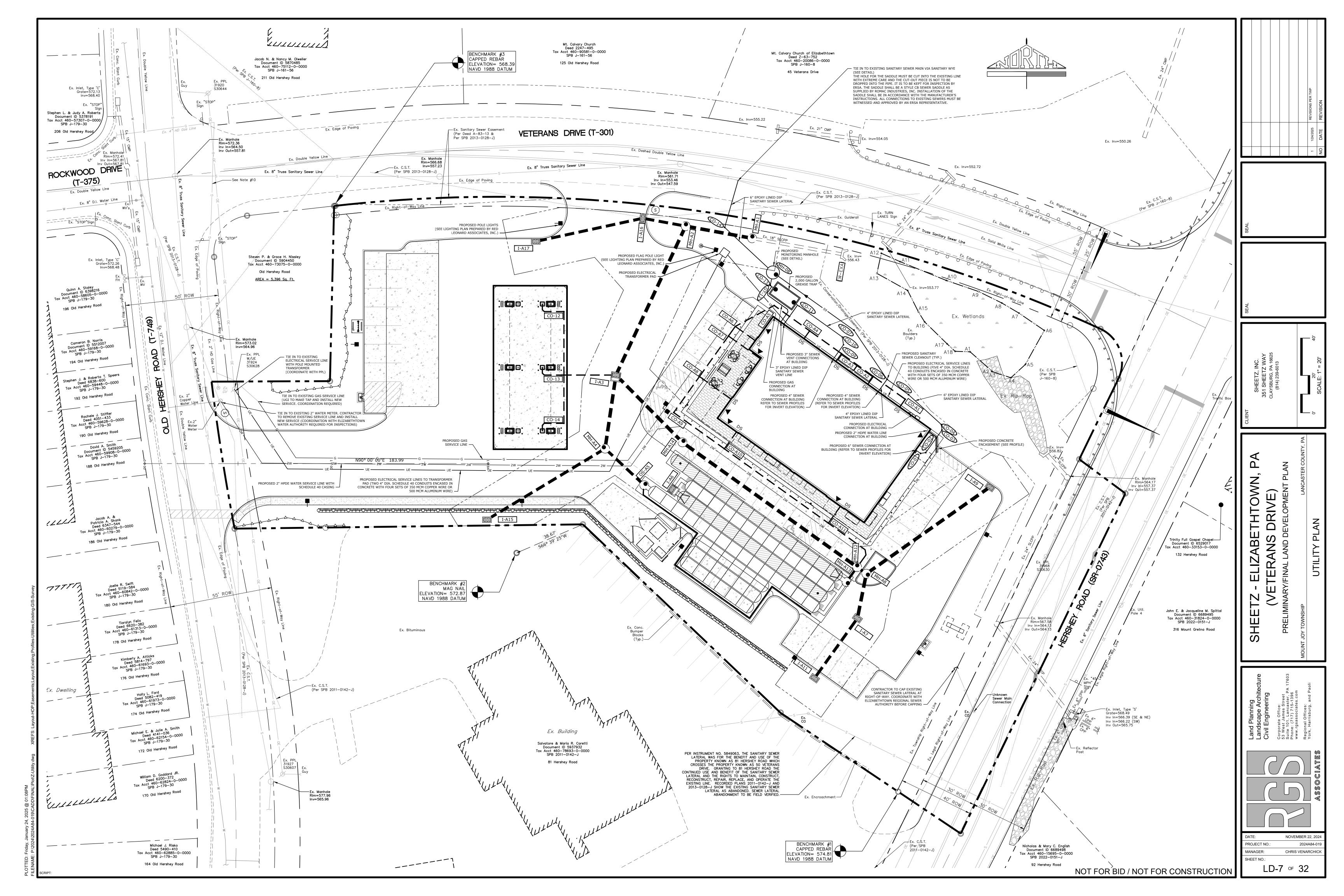
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LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.

ANY PLANTING, AND SHALL FIFLD-ADJUST THE LOCATIONS OF TREES AND SHRUBS, IF NECESSARY, TO AVOID ANY CONFLICT WITH THESE UTILITIES. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY PROPOSED DESIGN CHANGES.

2. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO

THIS PLAN IS FOR PLANTING INFORMATION ONLY. REFER TO GRADING, UTILITY, SITE LAYOUT AND SEDIMENT EROSION CONTROL PLANS FOR ALL RELATED INFORMATION.

4. ALL PLANTS AND SHRUBS SHALL BE AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE DETAILS AND COMMENTS NOTED ON THESE DRAWINGS. 5. ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OR REJECTION BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIALS INSTALLED WITHOUT PRIOR APPROVAL ARE SUBJECT TO REPLACEMENT BY THE CONTRACTOR AT

HIS/HER EXPENSE IF DETERMINED TO BE UNSATISFACTORY. REJECTED PLANT MATERIALS SHALL BE REMOVED IMMEDIATELY FROM THE PROJECT SITE. 6. PROPOSED LOCATIONS OF ALL NON-HERBACEOUS PLANT MATERIALS AND PLANTING BED OUTLINES SHALL BE STAKED AND OUTLINED IN THE FIELD BY THE CONTRACTOR FOR APPROVAL BY THE

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS, AND SHALL REPORT ANY IDENTIFIED DISCREPANCIES TO THE LANDSCAPE ARCHITECT IF SITE WORK HAS BEEN MODIFIED AND DIFFERS FROM INFORMATION SHOWN ON THE APPROVED PLANS, AND POTENTIAL CHANGES TO THE PLANTING DESIGN ARE NECESSARY, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS.

8. PROCEED WITH WORK ONLY WHEN PRESENT AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING WITHOUT EXCESSIVE SOIL COMPACTION AND/OR UNNECESSARY PLANT DAMAGE. 9. PLANT TREES, SHRUBS, AND OTHER PLANT MATERIALS AFTER FINISHED GRADES ARE ESTABLISHED,

AND BEFORE PLANTING ANY TURF AREAS UNLESS OTHERWISE INDICATED. 10. THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOIL IS PLACED OR PLANTING BEGINS TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE PLANTED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEOUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

 REMOVE ANY EXCESS SOIL FROM PLANT ROOT FLARES. IF PRESENT. 12. LANDSCAPE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN WORKING IN AREAS OF EXISTING VEGETATION THAT IS TO REMAIN AND TO BE PROTECTED. IF SUCH VEGETATION IS INJURED OR DESTROYED DURING CONSTRUCTION, IT SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH PLANTS OF A SIZE AND SPECIES AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SUCH REPLACEMENT SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

13. PLANT QUANTITIES NOTED ON THE PLANT LIST SHOULD MATCH THE PLANT SYMBOLS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLANT MATERIAL BASED UPON GRAPHIC SYMBOL OUANTITIES AND SHALL CONTACT THE LANDSCAPE ARCHITECT IF A DIFFERENCE IS FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE DRAWING SYMBOLS.

14. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. 15. THE TOP OF THE MAIN ROOT ORDER ROOT (FIRST LARGE SET OF ROOTS THAT DIVIDE FROM THE

ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL

TRUNK) SHALL BE PLANTED NO LOWER THAN ONE OR TWO INCHES INTO THE SOIL.

PLANTING SITE. 2. ALL PLANTS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY, AND VIGOROUS. THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT

3. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE 4. REQUIREMENTS FOR PLANT MEASUREMENTS, BRANCHING, GRADING, QUALITY, AND BALLING AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS AS RECOMMENDED BY THE AMERICAN

ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, AS AMENDED. DO NOT PRUNE TO ATTAIN REQUIRED SIZES. IF FORMAL PLANTING ARRANGEMENTS OR A CONSISTENT ORDER OF PLANTS IS INDICATED ON THE DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

6. ALL STREET TREES AND SCREENING PLANT MATERIALS SHALL BE INSTALLED DURING THE FIRST PLANTING SEASON FOLLOWING COMPLETION OF OTHER SITE WORK. 7. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS PRIOR TO THE BEGINNING OF THE GUARANTEE

PERIOD BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING, AND WEEDING TO KEEP THE COMPLETED WORK AND/OR UNCOMPLETED WORK IN A CLEAN AND NEAT CONDITION AT ALL TIMES.

ALL MATERIAL SHALL BE GUARANTEED BY INSTALLER FOR THE DURATION OF 18 MONTHS FOLLOWING THE DATE OF PLANTING, OR 12 MONTHS AFTER THE FINAL INSPECTION AND ACCEPTANCE OF WORK. WHICHEVER IS GREATER. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

NO MORE THAN 1/3 OF THE TREE OR SHRUB SHALL BE DAMAGED OR DEAD WITHOUT REPLACEMENT. REPLACEMENT PLANTS SHALL CONFORM TO ALL REQUIREMENTS OF THIS SECTION AND SHALL BE MAINTAINED AFTER REPLANTING FOR AN ADDITIONAL 18 MONTHS THE CONTRACTOR SHALL GUARANTEE THAT PLANTS SHALL BE IN VIGOROUS AND THRIVING

CONDITION AT THE END OF THE GUARANTEE PERIOD. SHOULD ANY PLANTS APPEAR TO BE IN POOR HEALTH OR LACK NORMAL GROWTH HABIT, AS DETERMINED BY THE LANDSCAPE ARCHITECT, THEY SHALL BE REMOVED AT ONCE AND REPLACED. DURING THE TIME BETWEEN THE INSTALLATION OF PLANTS AND THE BEGINNING OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SUPERINTENDENCE OF THE

PLANTINGS. SHOULD ANY PLANT BE STOLEN OR OTHERWISE REMOVED. ANY SUCH PLANT SHALL BE REPLACED BY THE CONTRACTOR. THE GUARANTEE PERIOD WILL BEGIN WHEN ALL PLANTS ARE NSTALLED AS SHOWN AND SPECIFIED IN THESE PLANS 5. WITHIN THE GUARANTEE PERIOD, THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY

MAINTENANCE PRACTICES BEING FOLLOWED OR OMITTED WHICH WOULD BE DETRIMENTAL TO THE HEALTHY VIGOROUS GROWING CONDITIONS OF PLANTS. 6. INSPECTION TO DETERMINE WORK COMPLETION FOR BEGINNING THE ONE-YEAR GUARANTEE PERIOD

WILL BE MADE BY THE OWNER AND LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH INSPECTION SUBMITTED BY THE CONTRACTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE AFTER INSPECTION, THE CONTRACTOR WILL BE NOTIFIED OF ANY DEFICIENCIES TO BE CORRECTED.

8. IF DEFICIENCIES ARE NOTED, A SECOND INSPECTION TO DETERMINE WORK COMPLETION FOR BEGINNING THE ONE-YEAR GUARANTEE PERIOD WILL BE MADE BY THE OWNER AND LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH INSPECTION SUBMITTED BY THE CONTRACTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE. . ONCE ANY AND ALL DEFICIENCIES ARE ADDRESSED, THE CONTRACTOR WILL BE NOTIFIED OF THE DATE THAT THE WORK HAS BEEN APPROVED FOR BEGINNING THE GUARANTEE PERIOD.

10. ONE-YEAR FROM THE FROM THE START OF THE PLANT GUARANTEE PERIOD, OR 18 MONTHS AFTER PLANTING, WHICHEVER IS GREATER, THE CONTRACTOR, OWNER AND LANDSCAPE ARCHITECT WILL INSPECT THE SITE TO LOCATE ANY PLANTS THAT ARE NOT IN A VIGOROUS AND THRIVING CONDITION, A SITE INSPECTION REPORT WILL BE ISSUED TO THE CONTRACTOR. THE CONTRACTOR WILL HAVE 30 DAYS TO REPLACE ANY PLANTS IDENTIFIED AS FAILING THE GUARANTEE STANDARD.

NOTES IN THIS SECTION APPLY TO ALL PLANTING AREAS.

PRIOR TO PLANTING, THE LANDSCAPE CONTRACTOR SHALL OBTAIN, AND FORWARD TO THE LANDSCAPE ARCHITECT, SOIL AGRONOMY TESTING REPORTS FROM AN APPROVED SOILS LABORATORY SUCH AS THE PENNSYLVANIA STATE UNIVERSITY'S AGRICULTURAL ANALYTICAL SERVICES LABORATORY. TESTS SHALL BE COMPLETED FOR EACH EXISTING SOIL TYPE AND FOR EACH BATCH OF IMPORTED TOPSOIL. TESTS TO INCLUDE SOIL FERTILITY, PARTICLE SIZE, SAND SEIVE ANALYSIS ORGANIC MATTER AND SOLUBLE SALTS. CONTRACTOR TO REQUEST SOIL AMENDMENT RECOMMENDATIONS FOR EACH CATEGORY OF TURF AND/OR LANDSCAPE PLANT TO BE INSTALLED IN

3. ALL SOIL AMENDMENTS SHALL BE INSTALLED PER THE SOIL AGRONOMY REPORT, AND SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.

4. PERENNIAL, ANNUAL AND BULB PLANTING AREAS SHALL HAVE AMENDED SOILS AS FOLLOWS FOR EACH 100 S.F. AREA:

6 CU. FT. OF CLEAN COMPOST

CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING PLANT ROOTS.

5-6 LBS. MILORGANITE OR EQUA 2-3 LBS. OF 0-20-20 FERTILIZER

5. AGRIFORM 20-10-5 PLANTING TABLETS OR EQUIVALENT SHALL BE USED FOR ALL TREE AND SHRUB PLANTINGS PER THE MANUFACTURER'S SPECIFICATIONS. TABLETS ARE NOT A REPLACEMENT FOR AMENDMENTS REQUIRED BY THE SOIL AGRONOMY TEST RESULTS.

6. APPLY AMENDMENTS ON-SITE, AND MIX SOIL TO FULLY ADDRESS ALL EXISTING SOIL DEFICIENCIES. DO NOT APPLY AMENDMENTS NOR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.

7. LANDSCAPE PLANTING AREAS SHALL BE FREE OF ANY DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE RUBBLE, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE TAR, ROOFING COMPOUND, ACID, AND STONES LARGER THAN 3" IN ANY DIRECTION. 8. TOPSOIL SHALL BE PLACED AT A MINIMUM DEPTH OF 6".

9. IN ALL PLANTING AREAS, IF INSUFFICIENT TOPSOIL IS PRESENT PRIOR TO PLANTING, THE SITE CONTRACTOR SHALL PROVIDE AND PLACE THE REQUIRED TOPSOIL AT THE LANDSCAPE CONTRACTOR'S REQUEST. THE TOPSOIL SHALL BE ROUGH GRADED BY THE SITE CONTRACTOR AND FINISH GRADED BY THE LANDSCAPE CONTRACTOR. 10. CONTRACTOR SHALL KILL OFF ANY EXISTING TURF AND UNWANTED VEGETATION WITHIN PROPOSED BED LIMITS. COMPLETE REMOVAL OF TURF BY MEANS OF A SOD CUTTER OR SCUFFING IS AN ACCEPTABLE ALTERNATIVE METHOD TO HERBICIDE APPLICATION. IF HERBICIDE IS NOT USED, THE

THE CONTRACTOR MAY APPLY A PRE-EMERGENT HERBICIDE PER THE MANUFACTURERS SPECIFICATIONS TO THE ENTIRE PLANTING BED FOR CONTROL OF WEED GERMINATION. 2. A LAYER OF 3" THICK DOUBLE SHREDDED HARDWOOD MULCH DYED BROWN OR BLACK SHALL BE APPLIED ACROSS THE ENTIRE PLANTING BED AREA UNLESS OTHERWISE INDICATED ON THE PLAN. MULCH SHALL NOT COVER THE CROWNS OF ANY HERBACEOUS PLANTS, NOR THE ROOT FLARES OF ANY WOODY PLANTS PLACE "DEWITT 15 YEAR WEED BARRIER" WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL

GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULING FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.

PLANTED BEDS AND AT EACH TREE RING.

TURFGRASS SOD SHALL COMPLY WITH 'SPECIFICATIONS FOR TURFGRASS SOD MATERIALS' IN TPI GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING. TURFGRASS SOD SHALL BE A VIABLE SOD OF UNIFORM DENSITY, COLOR, AND TEXTURE. IT SHALL BE STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT

RECOMMENDED TIME OF TURFGRASS SEEDING IS SEPTEMBER 1ST TO OCTOBER 15TH. WHERE SPRING SEEDINGS ARE NECESSARY, SEED NO LATER THAN APRIL 1ST FOR BEST RESULTS. SOW RECOMMENDED SEED MIXTURE ADAPTED TO USE IN CLIMATIC CONDITIONS OF THE SPECIFIC SITE AREA. . PRIOR TO SEEDING AND/OR SODDING, REMOVE ANY EXISTING VEGETATION FROM PROPOSED LAWN

EXCESS DEAD VEGETATION SHOULD BE TURNED UNDER, IF THE SITE IS NOT TOO WET FOR TILLING WITHOUT EXCESSIVE SOIL COMPACTION. . IF TOPSOIL HAS BEEN DEPLETED OR REMOVED IN THE AREA TO BE SEEDED OR SODDED, PROVIDE

SOIL AMENDMENTS PER THE SOIL AGRONOMY REPORT DIVIDE TOTAL SEED QUANTITY INTO TWO EQUAL LOTS, SOWING ONE LOT IN ONE DIRECTION, AND THE SECOND LOT AT RIGHT ANGLES TO THE FIRST WITH A MECHANICAL SEEDER OR SPREADER. EXTRA CARE SHALL BE TAKEN TO ELIMINATE DEPRESSIONS OR AIR POCKETS BY ROLLING OR TAMPING LAWN BASE BEFORE INSTALLATION. ALL SOD MUST BE DELIVERED AND INSTALLED WITHIN 36 HOURS OF BEING CUT. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE WITH STAGGERED JOINTS.

IMMEDIATELY AFTER INSTALLATION, THE SOD SHALL BE WATERED TO A DEPTH OF 4" INTO THE SOIL. 10. MULCHING WITH STRAW, HYDROMULCH, OR FIBER MATS IS RECOMMENDED TO PROTECT SEED FROM DRYING OUT OR WASHING AWAY. HEAVY MULCHES SHOULD BE REMOVED FROM THE AREA WITHIN A FEW DAYS AFTER SEED GERMINATION.

1. BOUNDARIES OF NEWLY SEEDED AREAS SHALL BE WELL DEFINED WITH SIGNS OR OTHER MARKERS TO DETER INTRUSION UNTIL LAWN AREAS ARE FULLY ESTABLISHED. 12 CONTRACTOR IS RESPONSIBLE FOR TURE MAINTENANCE LINTIL SATISFACTORY TURE IS ESTABLISHED AS DETERMINED BY THE LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND

INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION. a. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER

PROCESSES. REPLACE MATERIALS AND TURF DAMAGED OR LOST IN AREAS OF SUBSIDENCE. b. IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH AND ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.

c. APPLY TREATMENTS AS REQUIRED TO KEEP TURF AND SOIL FREE OF PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS.

13. WATERING: INSTALL AND MAINTAIN TEMPORARY PIPING, HOSES, AND TURF-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND TO KEEP TURF UNIFORMLY MOIST TO A DEPTH OF 4 INCHES. a, SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.

b. WATER TURF WITH FINE SPRAY AT A MINIMUM RATE OF 1 INCH PER WEEK UNLESS RAINFALL PRECIPITATION IS ADEQUATE.

14. MOW TURF AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIED HEIGHT WITHOUT CUTTING MORE THAN ONE-THIRD OF GRASS HEIGHT. REMOVE NO MORE THAN ONE-THIRD OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS

15. TURF POST-FERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY. USE FERTILIZER THAT PROVIDES ACTUAL NITROGEN OF AT LEAST 1 LB/1000 SQ. FT. TO TURF AREA.

16. SATISFACTORY TURF - TURF INSTALLATIONS SHALL MEET THE FOLLOWING CRITERIA AS DETERMINED BY LANDSCAPE ARCHITECT/ENGINEER: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 70 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5

17. CONTRACTOR TO USE SPECIFIED MATERIALS TO REESTABLISH TURF THAT DOES NOT COMPLY WITH REOUIREMENTS, AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.

### PLANT SCHEDULE

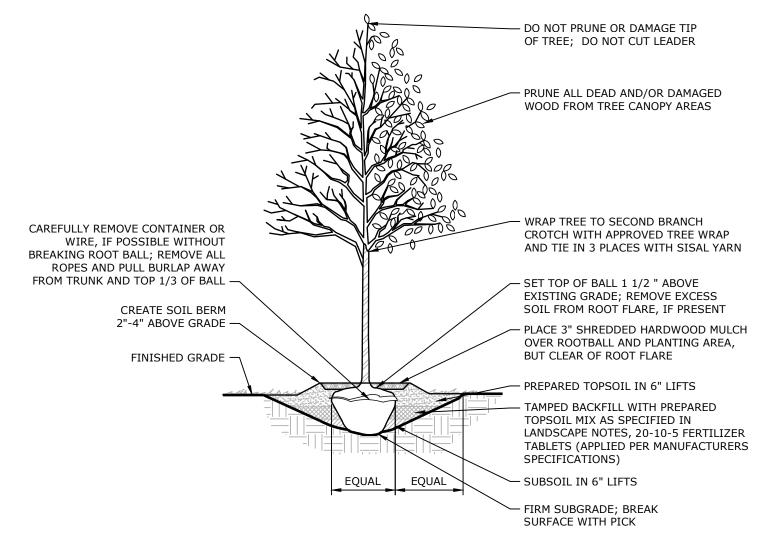
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES					
AL	5	Amelanchier laevis	Allegheny Serviceberry	2" - 2.5" Cal.	B&B
CC	5	Cercis canadensis 'Merlot'	Merlot Eastern Redbud	2" - 2.5" Cal.	B&B
GT	3	Gleditsia triacanthos inermis 'Impcole'	Imperial® Honey Locust	2" - 2.5" Cal.	B&B
MV	4	Magnolia virginiana	Sweetbay Magnolia	2" - 2.5" Cal.	B&B
ZS	3	Zelkova serrata	Japanese Zelkova	2" - 2.5" Cal.	B&B
SHRUB	S				
BM	6	Buxus microphylla 'Little Missy'	Little Missy Littleleaf Boxwood	1 gal.	Cont.
LMV	100	Liriope muscari 'Variegata'	Variegated Lilyturf	3.5"	Pot

Walker's Low Catmint

Otto Luyken English Laurel

Nepeta x 'Walker's Low'

Prunus laurocerasus 'Otto Luyken'



Pot

- REMOVE HERBACEOUS PLANT FROM

CONTAINER: PRUNE ALL DEAD STEMS.

DAMAGED RUNNERS, AND/OR SPENT

- PLACE 2" SHREDDED LEAF MULCH OR

SHREDDED HARDWOOD MULCH, AS

SPECIFIED, AFTER SOIL SETTLEMENT

AMENDED PLANTING SOIL, AS SPECIFIED

- CAREFULLY SEPARATE AND SPREAD ANY

\* SEE PLANT SCHEDULE FOR SPACING

NOT TO SCALE

BED DRAINAGE

POT-BOUND ROOTS

UNDISTURBED SOIL

REMOVE ALL CONSTRUCTION DEBRIS AND

STONES OVER 2" IN SIZE; ENSURE POSITIVE

SET TOP OF ROOT COVER (AS EXISTED IN

CONTAINER) FLUSH WITH FINISHED GRADE

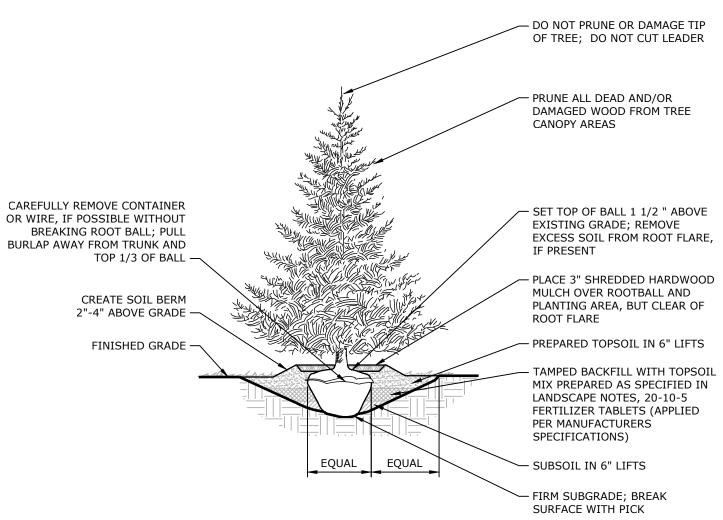
Cont.

I. ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE. 2. ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE

3. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE. 4. REOUIREMENTS FOR TREE MEASUREMENTS, BRANCHING, GRADING, OUALITY, BALLING, AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSIZ60, CURRENT EDITION, AS AMENDED. 5. SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

# TYPICAL DECIDUOUS TREE PLANTING

NOT TO SCALE

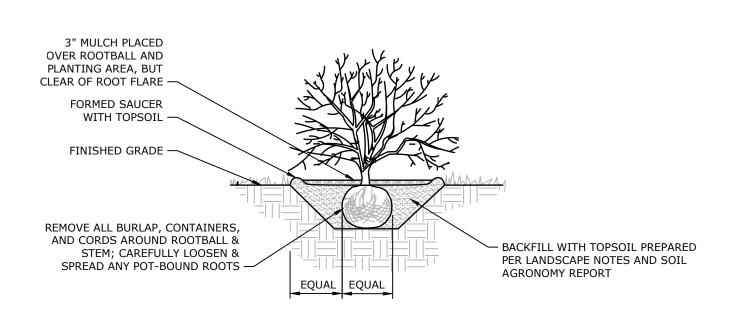


I. ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE. 2. ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE. 3. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE.

4. REQUIREMENTS FOR TREE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSIZ60, CURRENT EDITION, AS AMENDED. 5. SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

# TYPICAL EVERGREEN TREE PLANTING

NOT TO SCALE



TYPICAL HERBACEOUS PERENNIAL PLANTING

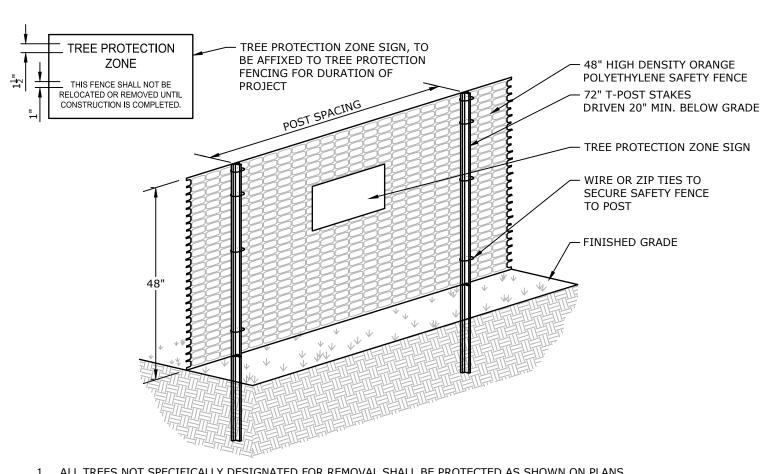
SET PLANTS AT SAME FINISHED GRADE AS GROWN IN THE NURSERY. ALL SHRUBS SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE. . ALL SHRUBS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE

FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE. 4. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE. 5. REQUIREMENTS FOR SHRUB MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING OF SHRUBS SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE

AMERICAN STANDARD FOR NURSERY STOCK, ANSIZ60, CURRENT EDITION, AS AMENDED. 5. SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

TYPICAL SHRUB PLANTING

NOT TO SCALE



1. ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON PLANS. . ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH ORANGE POLYETHYLENE SAFETY/CONSTRUCTION FENCE. INSTALL ORANGE CONSTRUCTION FENCE OUTSIDE THE TREE PROTECTION ZONE (TPZ) NOTED ON THE PLANS, SEE SHEET 3. ORANGE CONSTRUCTION FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.

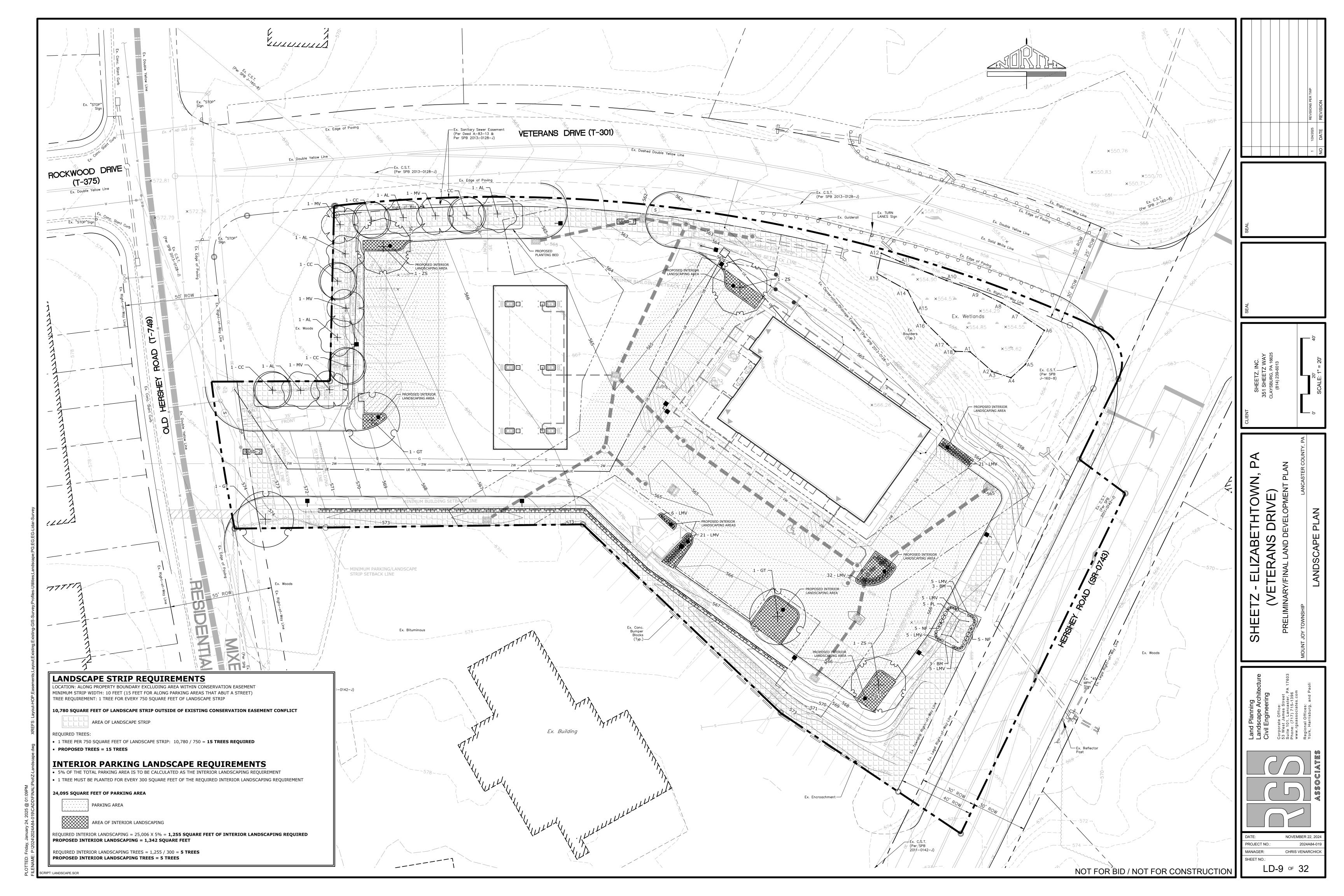
ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON THE PLAN. 4. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE OF THE PROTECTIVE

FENCING MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. 5. POST SPACING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

TREE PROTECTION ZONE (TPZ) FENCE DETAIL

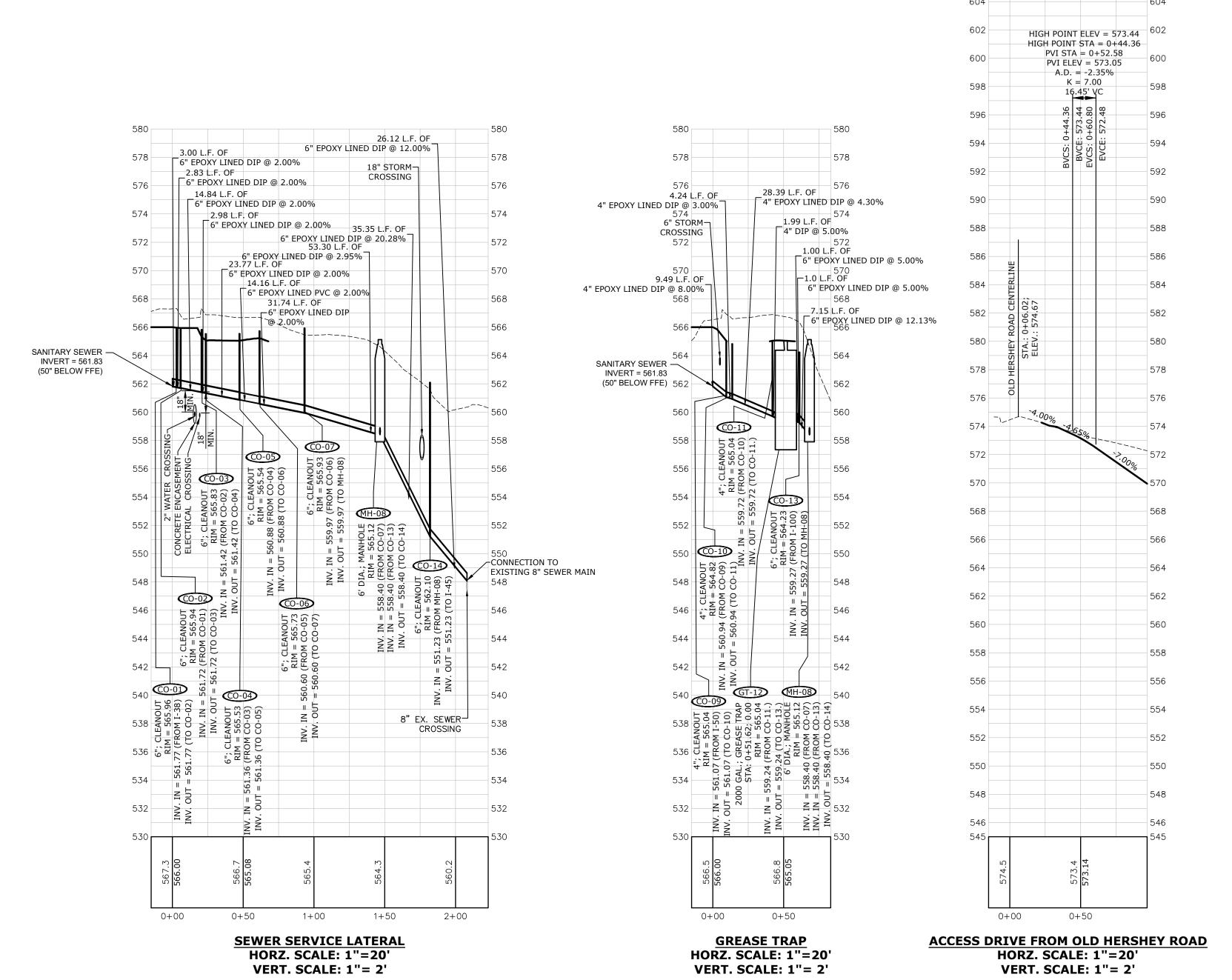
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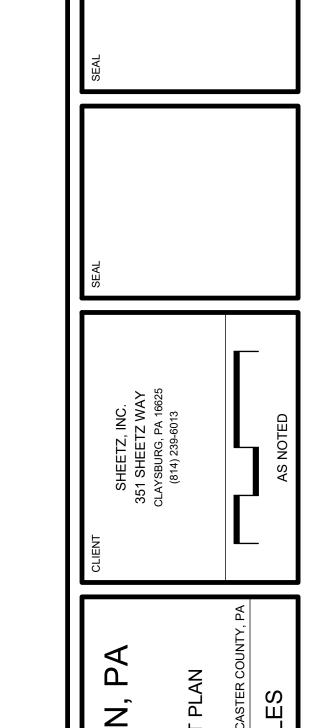
NOVEMBER 22, 20 PROJECT NO 2024A84-0 CHRIS VENARCHIO SHEET NO LD-8 of 32



**LEGEND** 

PROPOSED GRADE ————PROPOSED GRADE





SHEETZ - ELIZABETHTOWN
(VETERANS DRIVE)
PRELIMINARY/FINAL LAND DEVELOPMENT F

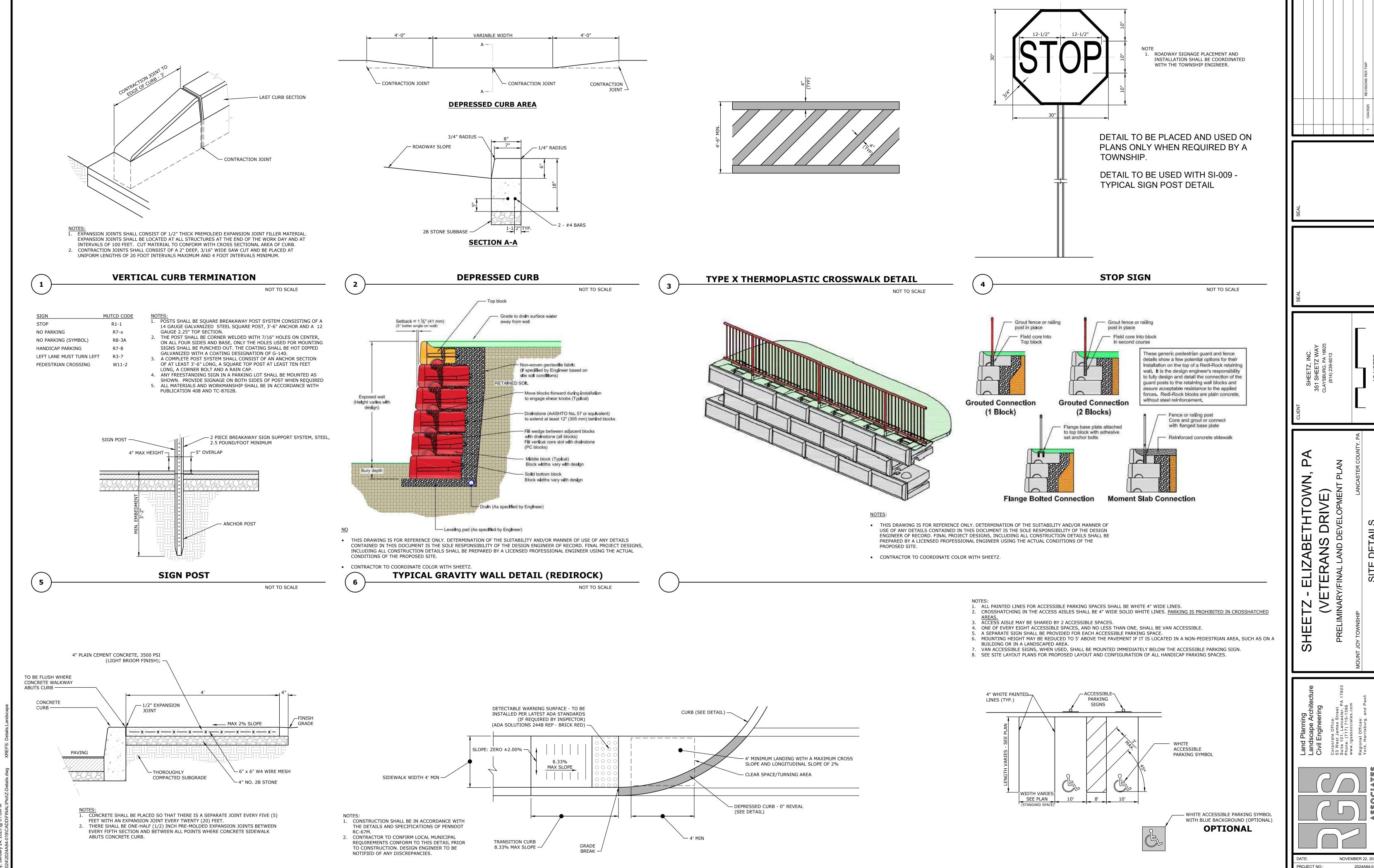
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NOVEMBER 22, 2024

DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VENARCHICK
SHEET NO.:

LD-10 OF 32



**CURB RAMP TYPE A** 

TYPICAL CONCRETE SIDEWALK SECTION WITH CURB

**ACCESSIBLE PARKING LAYOUT DETAIL** 

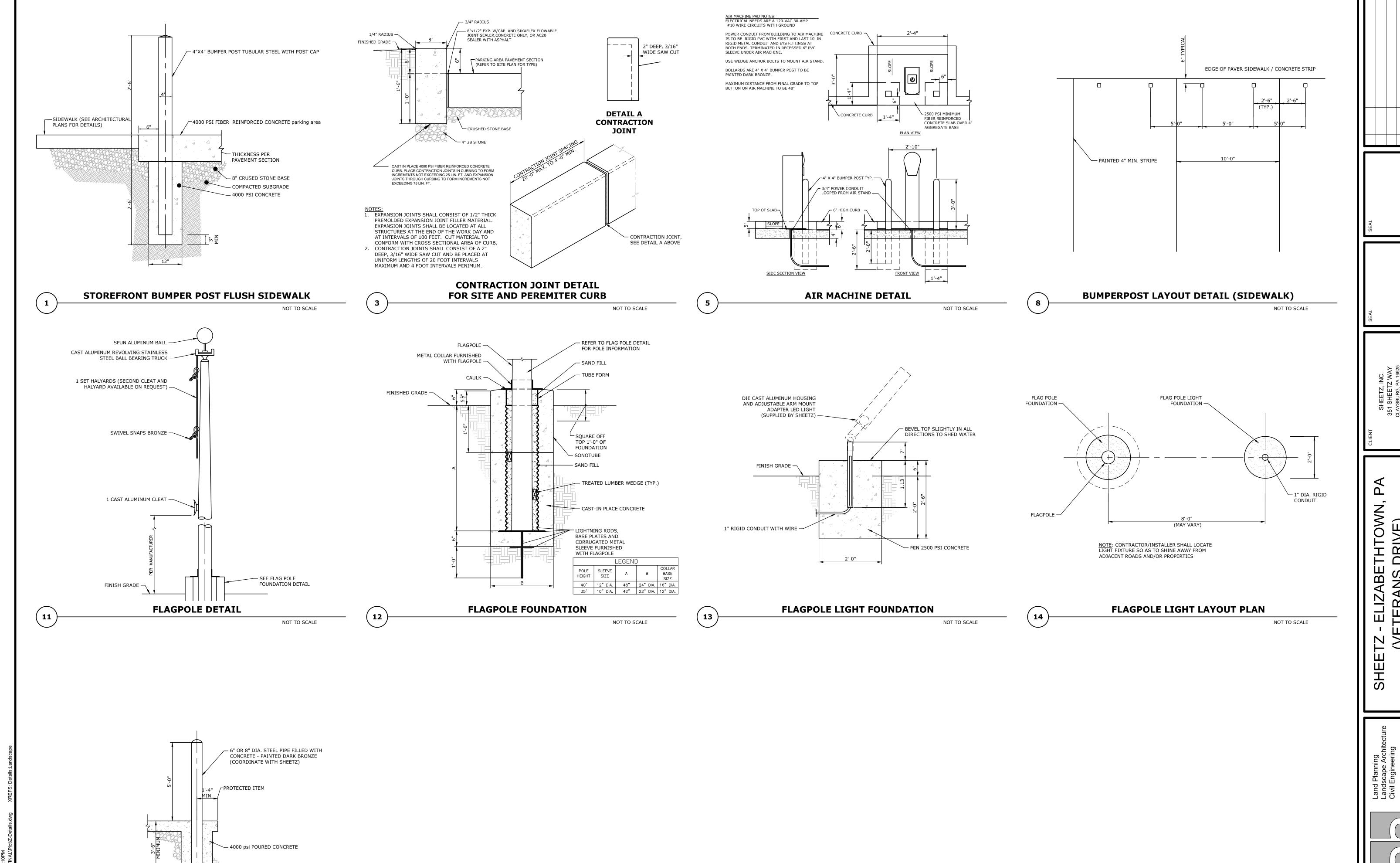
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CHRIS VENARCHIC

LD-11 of 32

SHEET NO.



**6" OR 8" PIPE BOLLARD DETAIL** 

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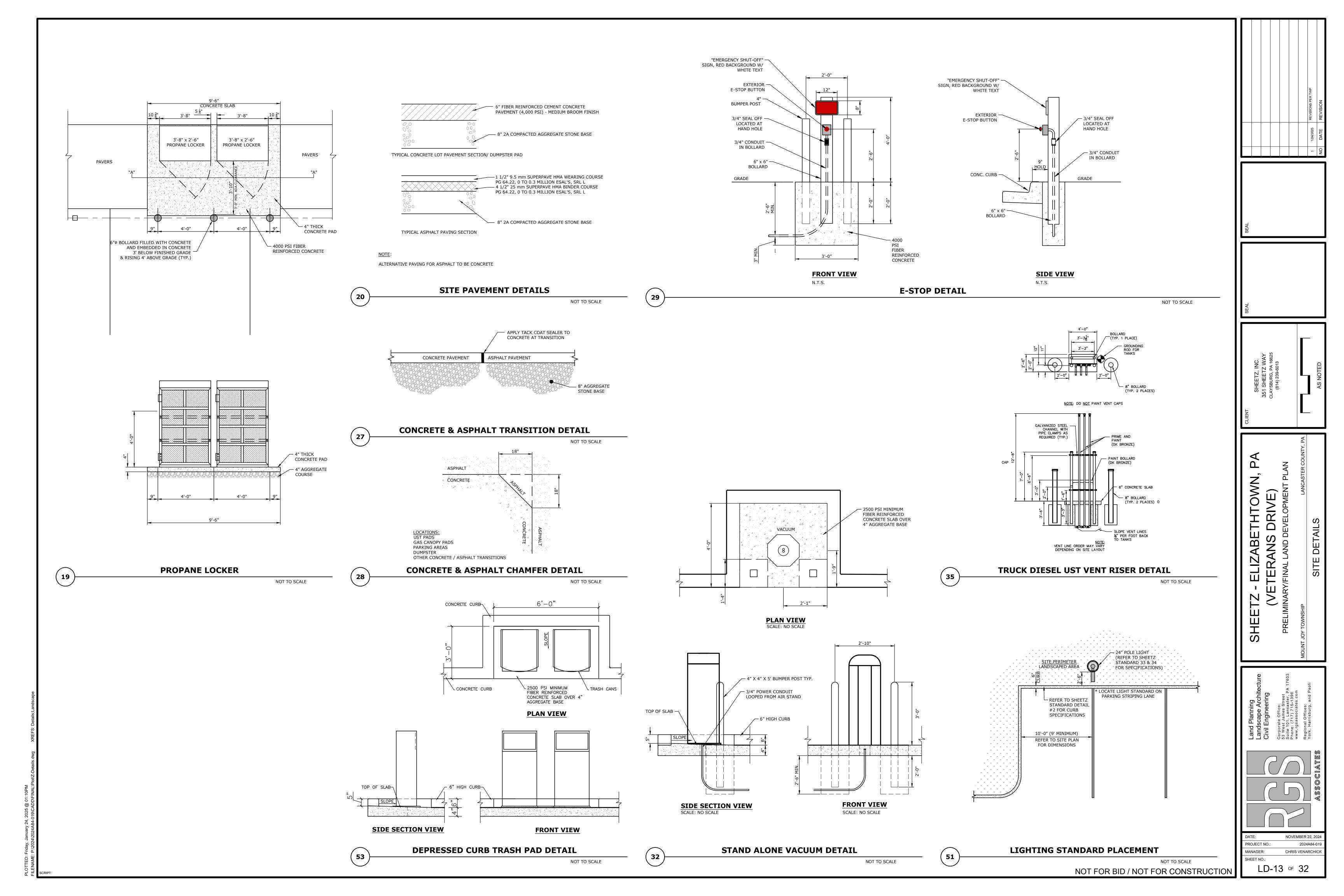
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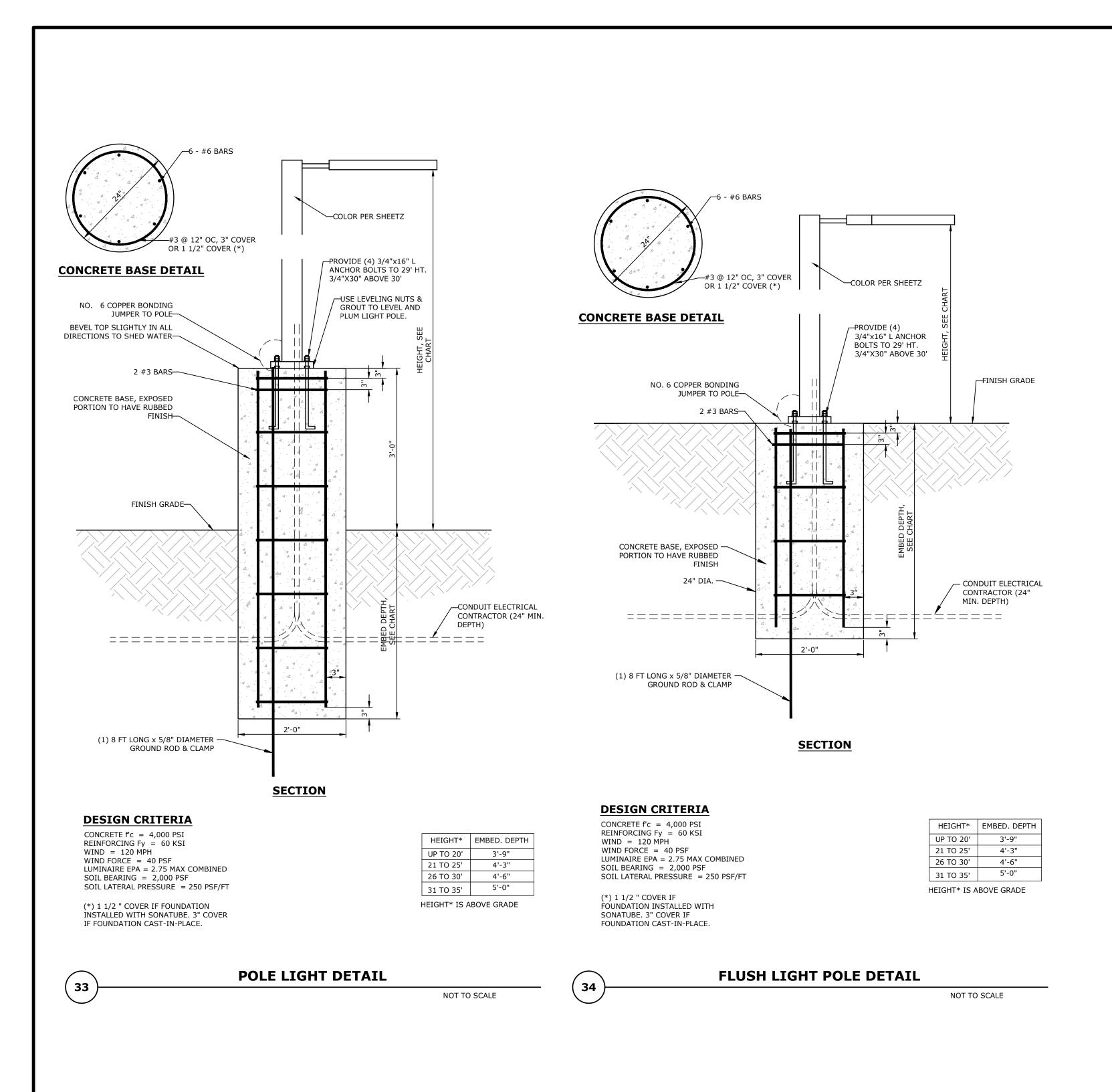
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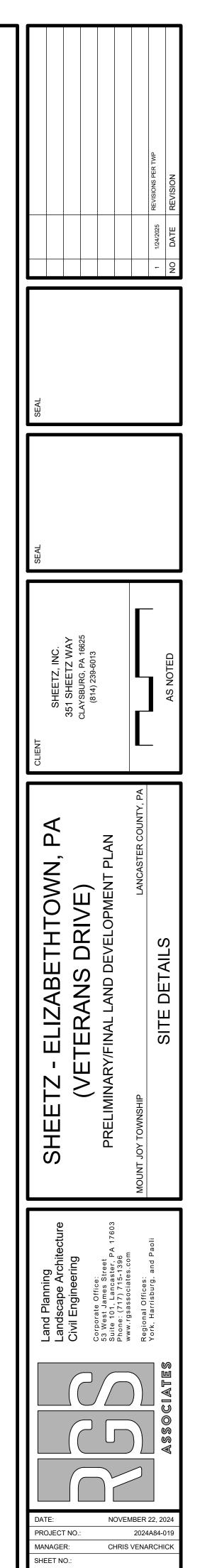
MANAGER:

2024A84-019

CHRIS VENARCHICA



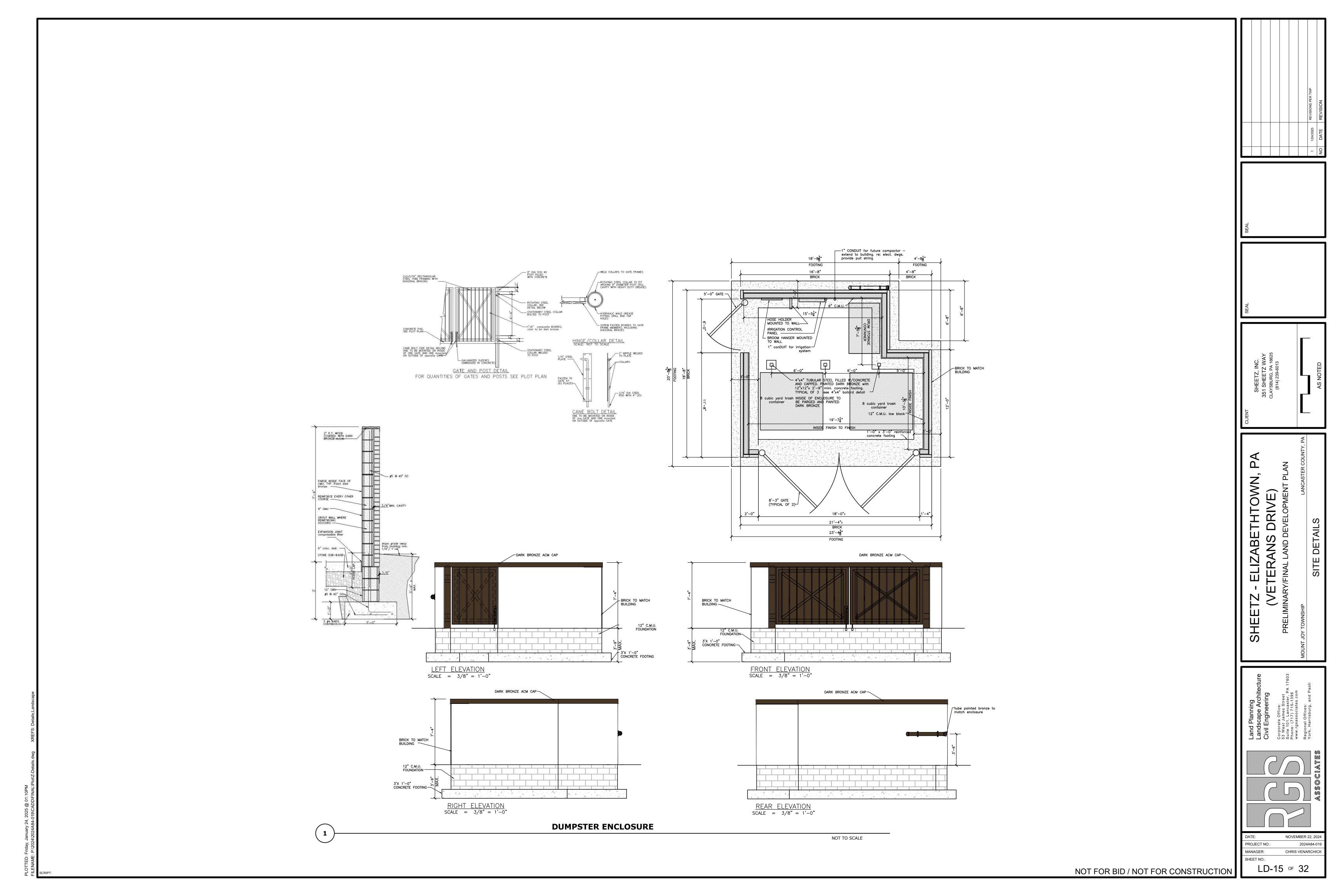


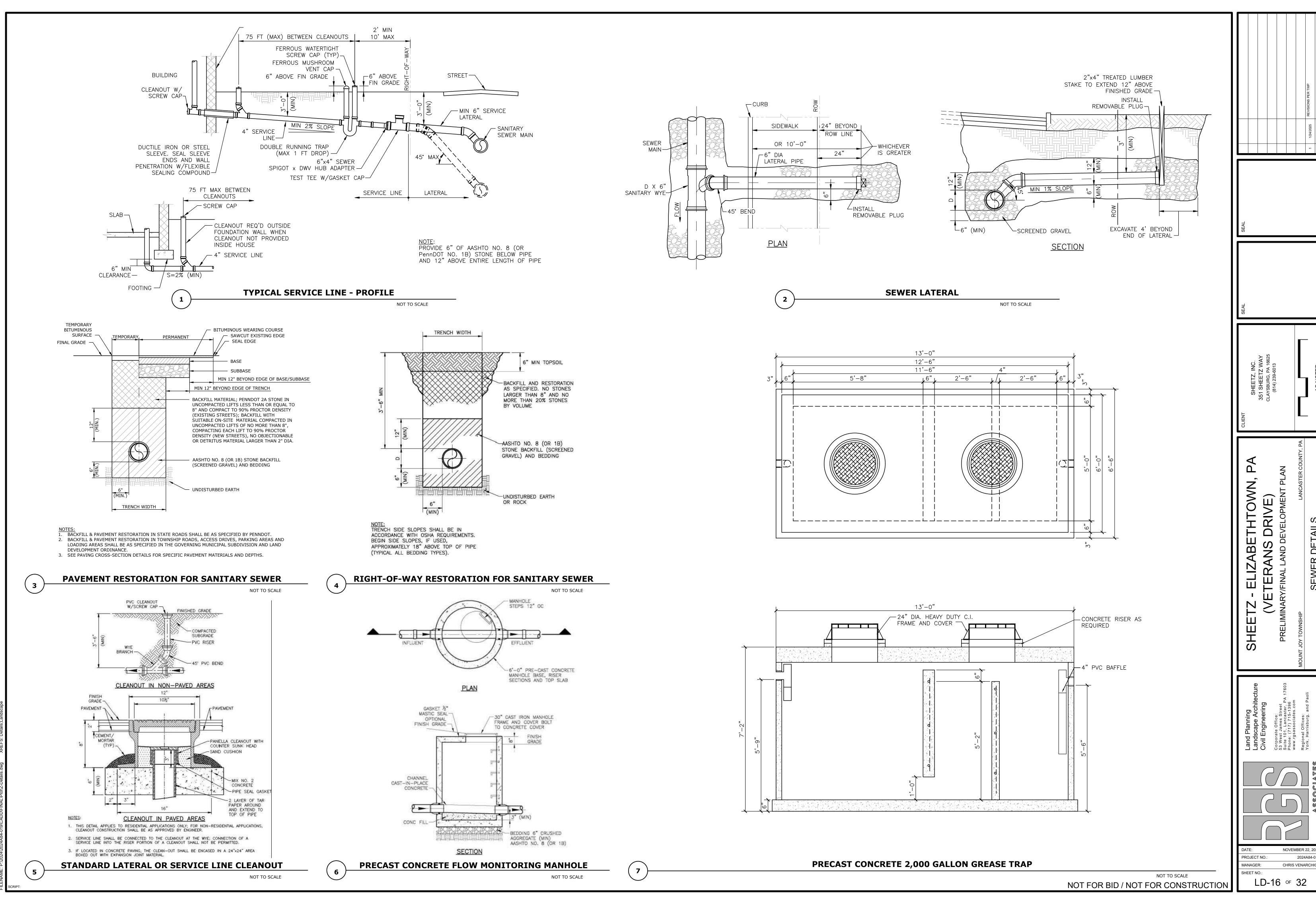


LD-14 of 32

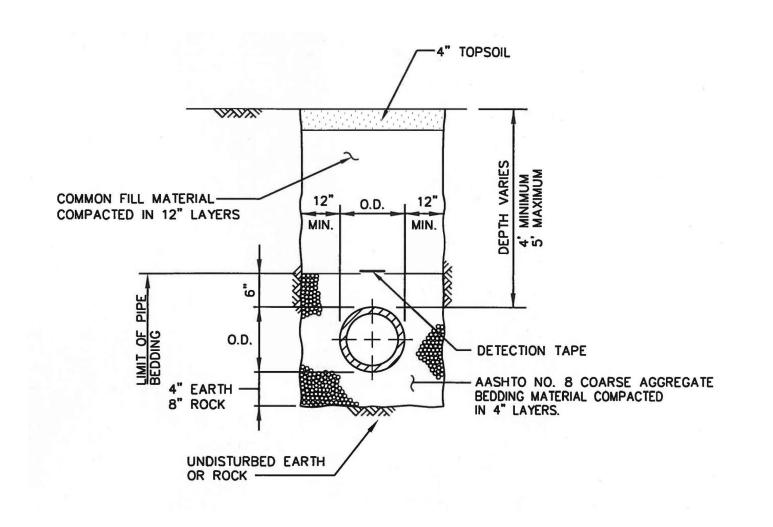
SCRIPT

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LOTTED: Friday, January 24, 2025 @ 01:10PM



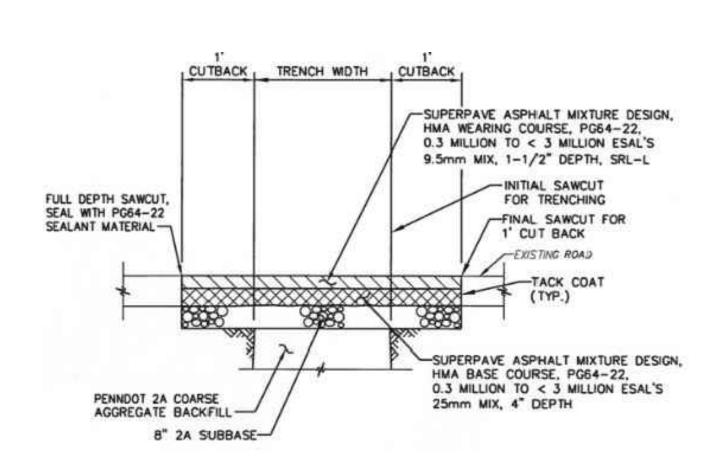
PENNDOT 2A STONE
BACKFILL MACHINE
TAMPED IN 8" LAYERS

MIN.

DETECTION TAPE

AASHTO NO. 8 COARSE AGGREGATE
BEDDING MATERIAL COMPACTED
IN 4" LAYERS.

UNDISTURBED EARTH
OR ROCK



WATERLINE TRENCH - UNPAVED AREAS

NOT TO SCALE

WATERLINE TRENCH - PAVED AREAS

NOT TO SCALE

( 3

PAVING RESTORATION

NOT TO SCALE

			SANITARY SEWER	
GRAVITY SEWER PIPE	EPOXY LINED DUCTILE IRON PIPE	DUCTILE IRON (LINED WITH PROTECTO 401 CERAMIC-FILLED AMINE CURED EPOXY BY INDURALL, SEWPERCOAT CALCIUM ALUMINATE MORTAR BY LAFARGE CALCIUM ALUMINATES, OR APPROVED EQUAL) AWWA C151 ASTM A746 ASTM F477 (GASKET) ASTM D3212 (INTEGRAL BELL JOINT)	REFER TO PROFILE	
			WATER	
WATER LATERAL	WHC	HDPE (LATERAL) SCHEDULE 40 PVC (CASING)	REFER TO DETAIL	
		SITE FEA	TURES AND LANDSCAPING	
TOPSOIL		ASTM D5268 - STANDARD SPECIFICATION FOR TOPSOIL ASTM D4972 - TEST METHOD OF pH FOR SOILS	SEE GRADATION OF ASTM STANDARD	TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT.
HARDWOOD MULCH		N/A	MAXIMUM 3" IN SIZE PIECES	DOUBLE SHREDDED HARDWOOD COLOR: BLACK OR BROWN FREE OF TRASH, DEBRIS AND OTHER NON-ORGANIC MATERIALS

MATERIAL SPECIFICATIONS

NOT TO SCALE

