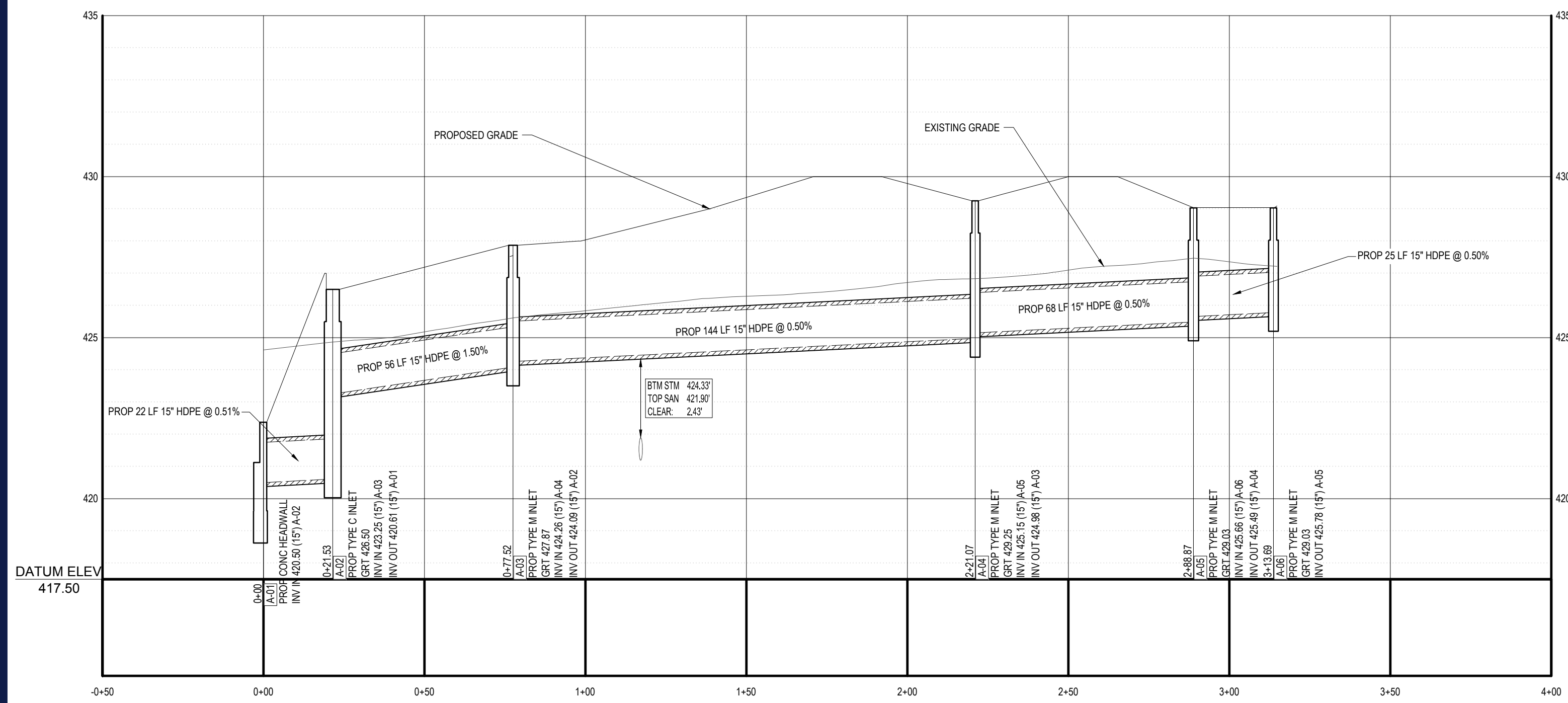
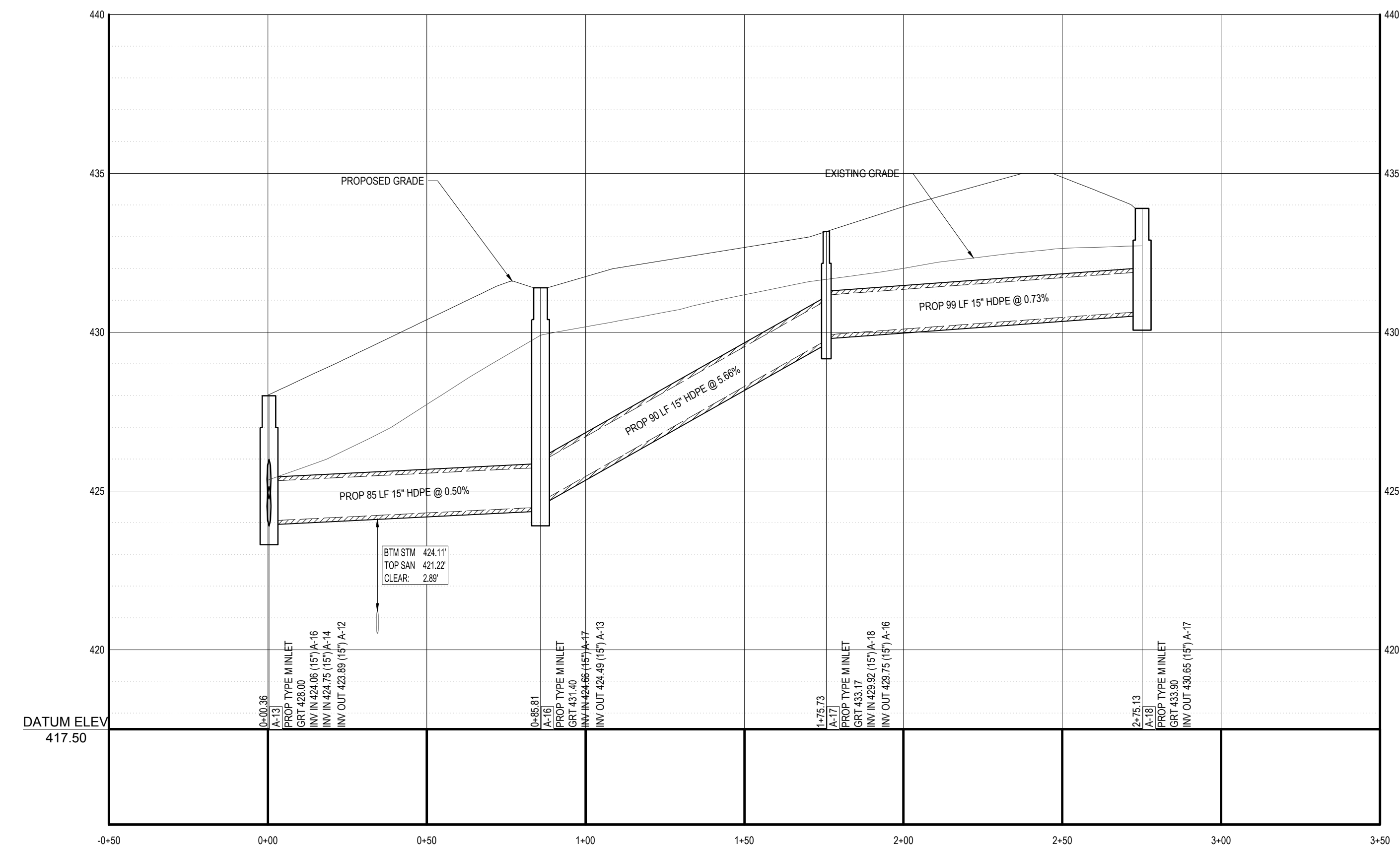


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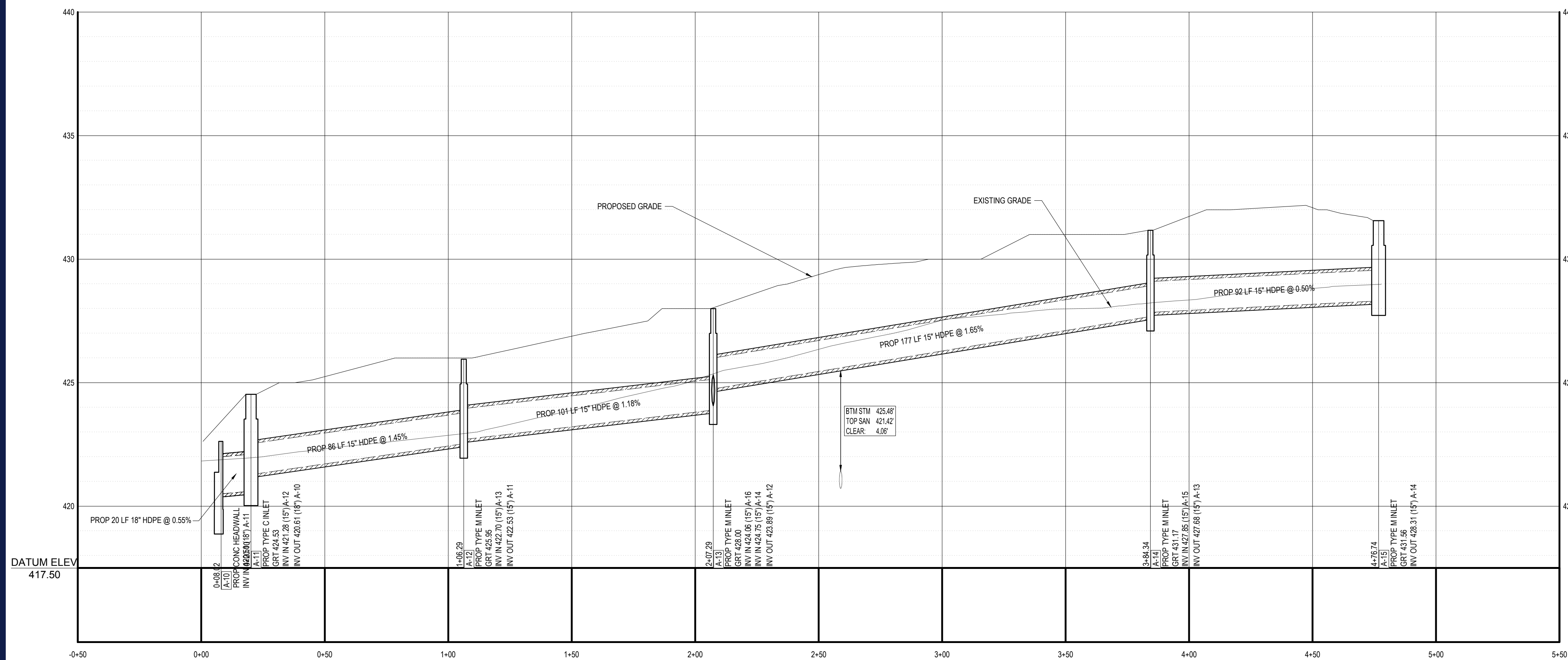
**PROPOSED STM PROFILE (A-01 TO A-06)**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



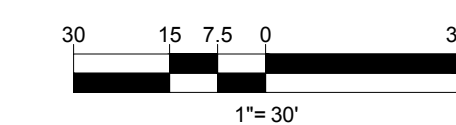
**PROPOSED STM PROFILE (A-13 TO A-18)**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



**PROPOSED STM PROFILE (A-10 TO A-15)**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



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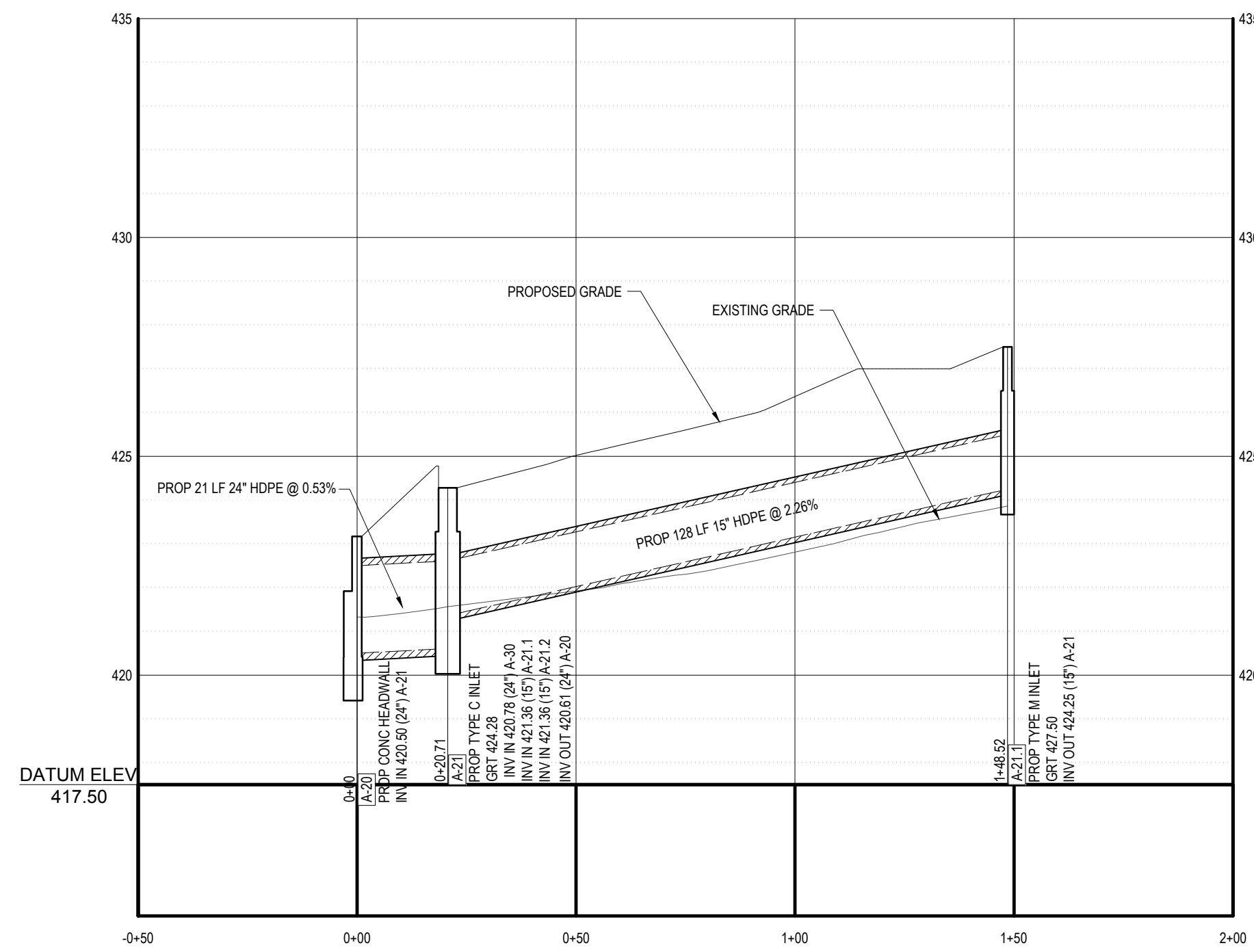
PROJECT No.: PAA240089.00-0B  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CIVIL-PROF

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR  
**PENNMARK ELIZABETH MT JOY, LLC**  
 PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
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 CHALFONT, PA 18914  
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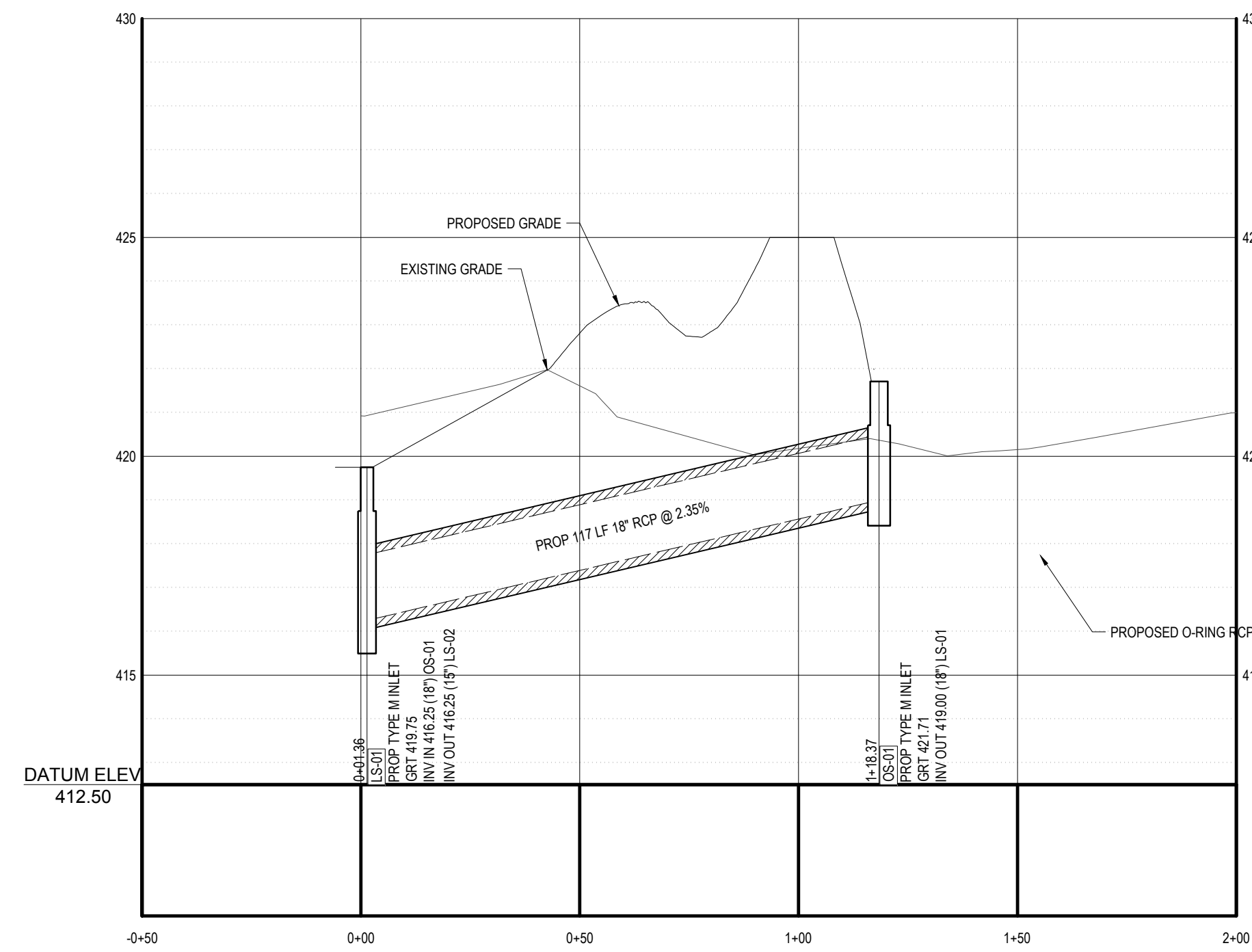
**J.P. ALEJNIKOV**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE006400

SHEET TITLE:  
**STORM PROFILES**  
 SHEET NUMBER:  
**C-601**  
 16 OF 40  
 ORG. DATE - 01/02/2025



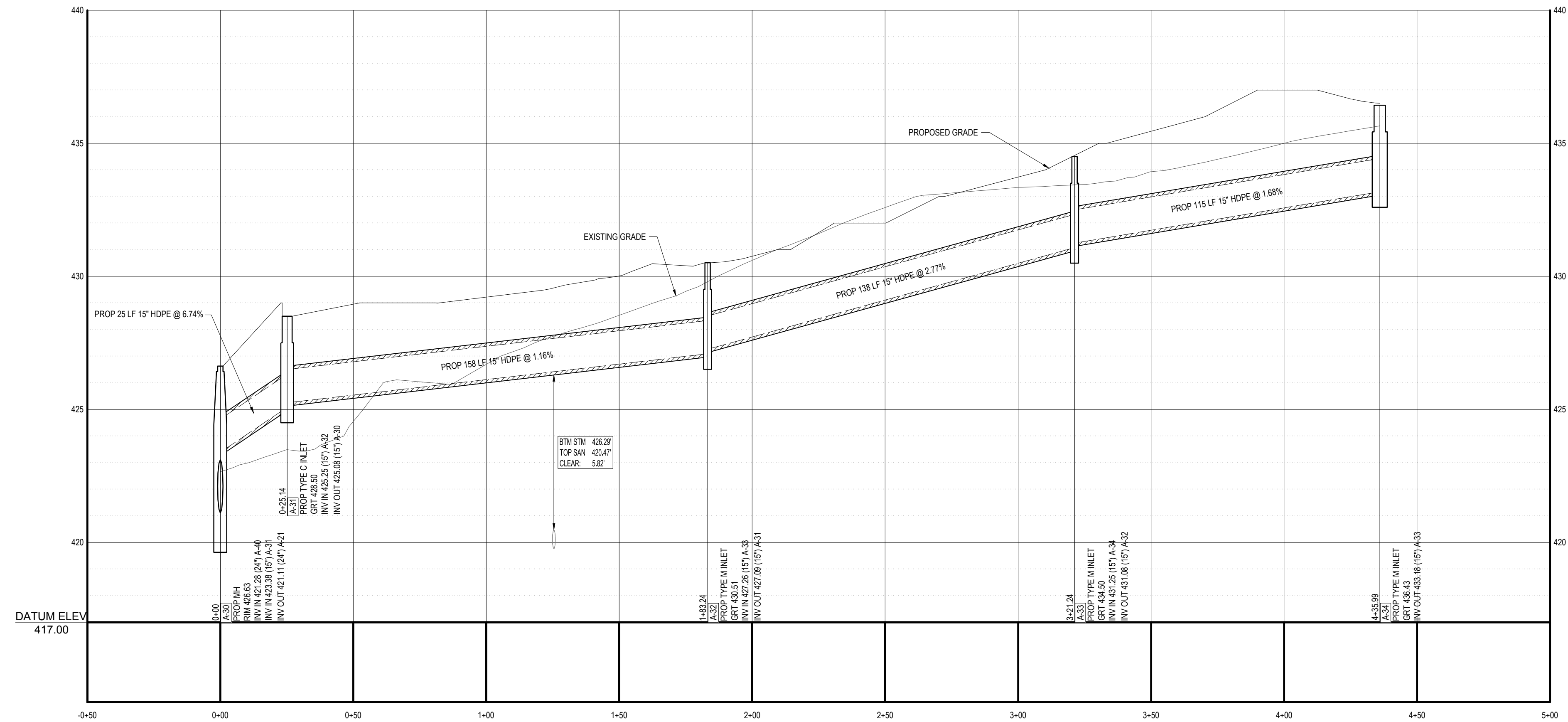
PROPOSED STM PROFILE (A-20 TO A-21.1)

SCALE: 1"=30' HORIZONTAL  
1"=3' VERTICAL



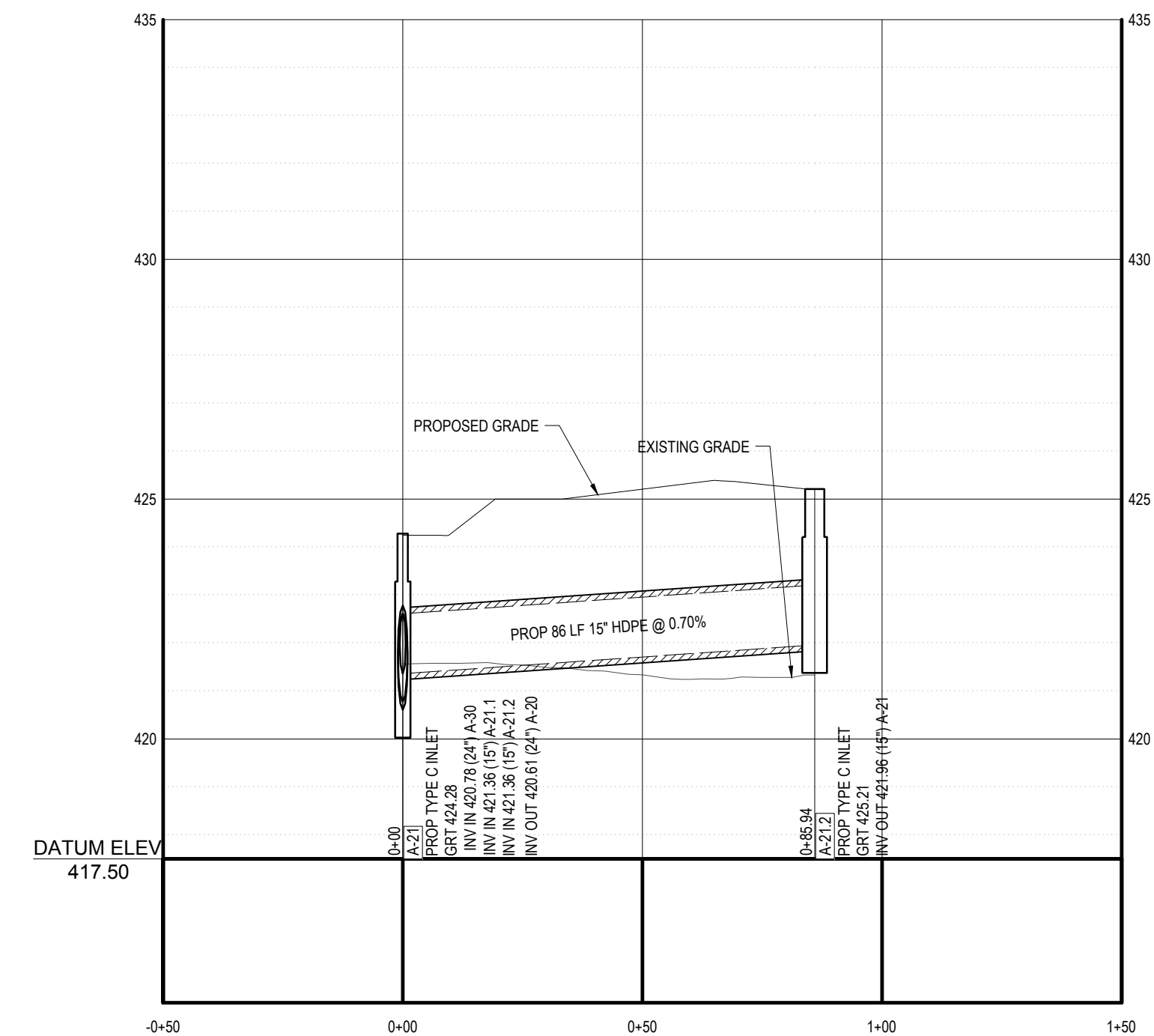
PROPOSED STM PROFILE (LS-02 TO OS-01)

SCALE: 1"=30' HORIZONTAL  
1"=3' VERTICAL



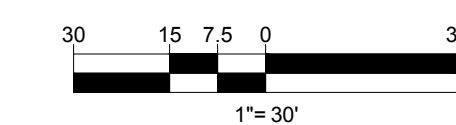
PROPOSED STM PROFILE (A-30 TO A-34)

SCALE: 1"=30' HORIZONTAL  
1"=3' VERTICAL



PROPOSED STM PROFILE (A-21 TO A-21.2)

SCALE: 1"=30' HORIZONTAL  
1"=3' VERTICAL



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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVL-PROF

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**PENNMARK ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
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SHEET TITLE:  
**STORM PROFILES**  
SHEET NUMBER:  
**C-602**  
17 OF 40  
ORG. DATE - 01/02/2025

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PROJECT No.: PAA240089.00-0B  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD LD.: P-CIVIL-PROF

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**

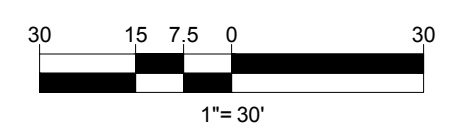
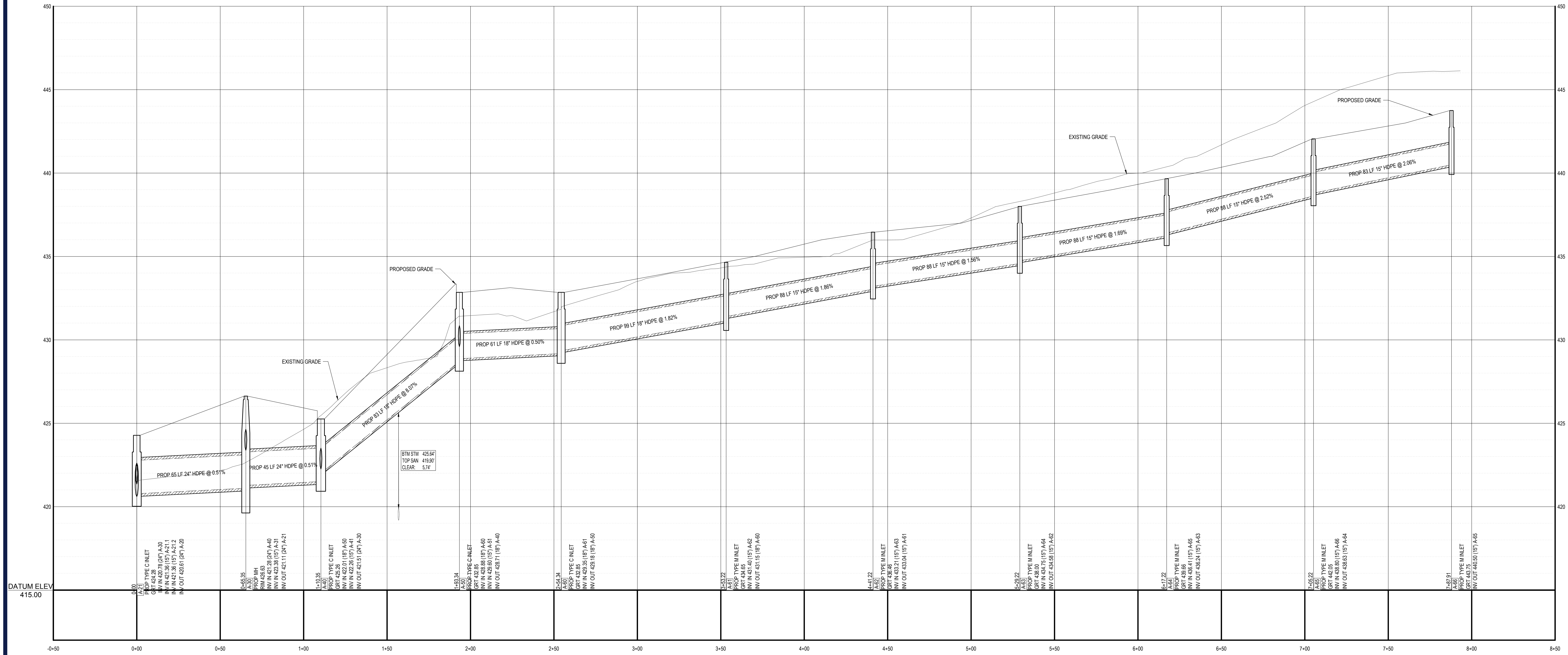
FOR  
**PENNMARK ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

SHEET TITLE:  
**STORM PROFILES**

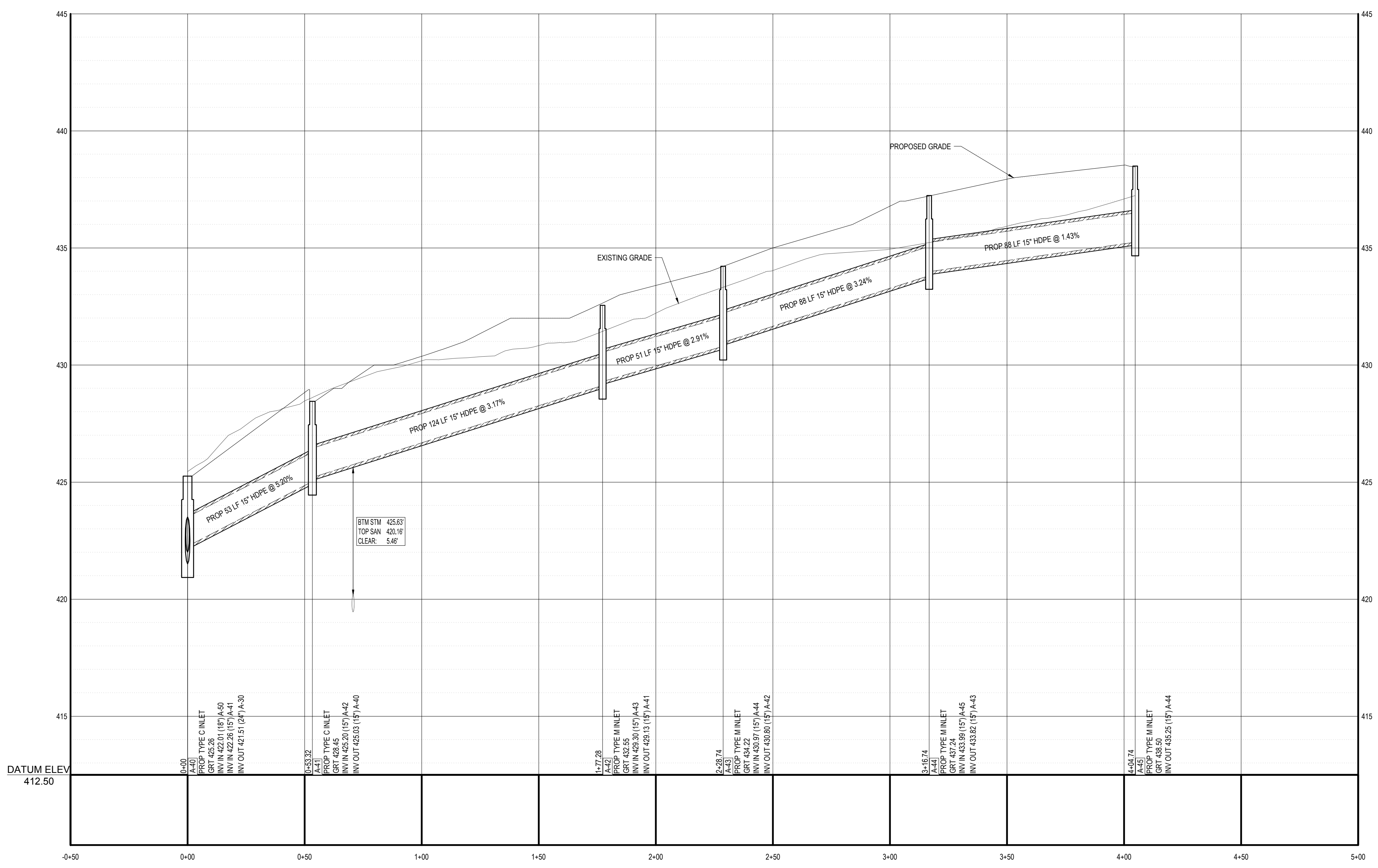
SHEET NUMBER:  
**C-603**  
18 OF 40

ORG. DATE - 01/02/2025

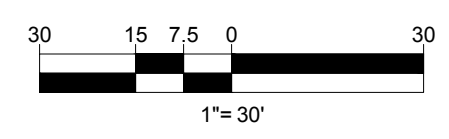


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 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES



**PROPOSED STM PROFILE (A-40 TO A-45)**  
 SCALE: 1" = 30' HORIZONTAL  
 1" = 3' VERTICAL



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PROJECT No.: PAA240089-00-08  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CIVIL-PROF

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR  
**PENNMARK ELIZABETH MT JOY, LLC**

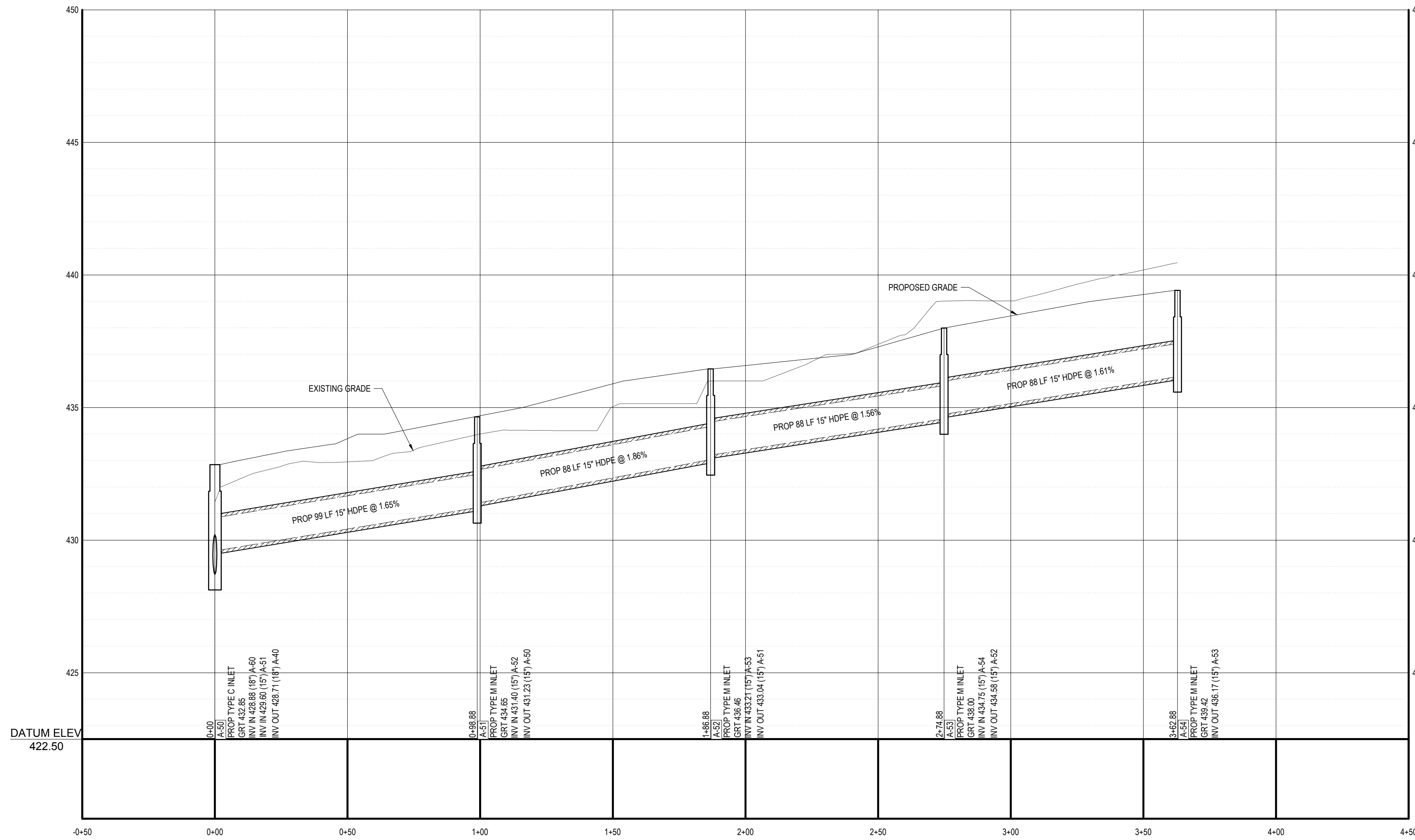
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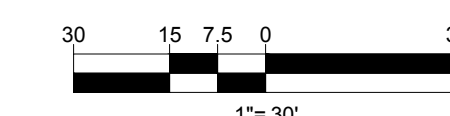
SHEET TITLE:  
**STORM PROFILES**  
 SHEET NUMBER:  
**C-604**  
 10 OF 40  
 ORG. DATE - 01/02/2025

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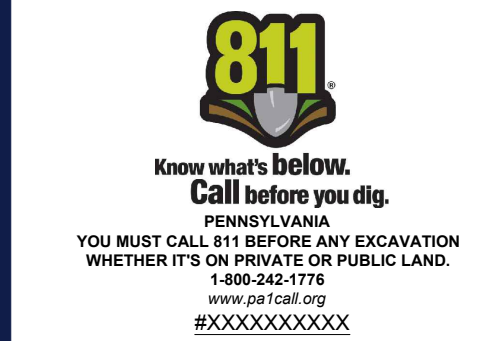
**PROPOSED STM PROFILE (A-50 TO A-54)**

SCALE: 1"= 30' HORIZONTAL  
1"= 3' VERTICAL



**REVISIONS**

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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVL-PROF

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**PENNMARK ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
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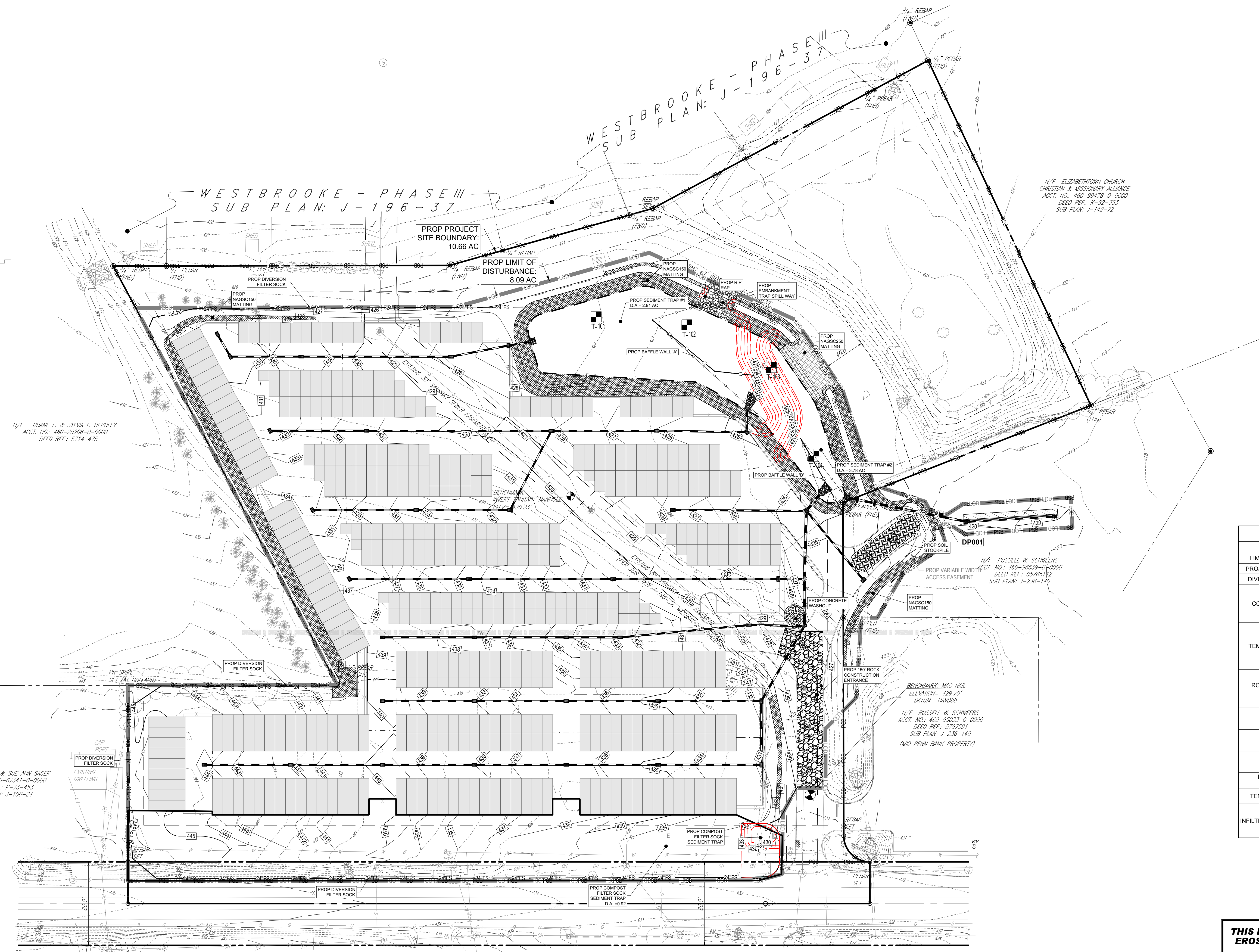
SHEET TITLE:

**STORM PROFILES**

SHEET NUMBER:  
**C-605**  
20 OF 40

ORG. DATE - 01/02/2025

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N/F DUANE L. & STIVA L. HERNLEY  
ACCT. NO.: 460-20206-0-0000  
DEED REF.: 5714-475

N/F WILLIAM C. & SUE ANN SAGER  
ACCT. NO.: 460-67341-0-0000  
DEED REF.: P-73-453  
SUB PLAN: J-106-24

WESTBROOKE - PHASE III  
SUB PLAN: J-196-37

WESTBROOKE - PHASE III  
SUB PLAN: J-196-37

PROP PROJECT  
SITE BOUNDARY:  
10.66 AC

PROP LIMIT OF  
DISTURBANCE:  
8.09 AC

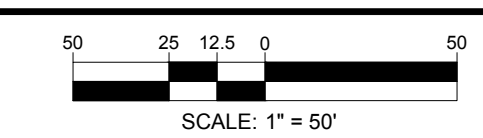
N/F ELIZABETHOWN CHURCH  
CHRISTIAN & MISSIONARY ALLIANCE  
ACCT. NO.: 460-99478-0-0000  
DEED REF.: K-92-353  
SUB PLAN: J-142-72

N/F RUSSELL W. SCHWEERS  
ACCT. NO.: 460-99619-0-0000  
DEED REF.: 05765112  
SUB PLAN: J-236-140

BENCHMARK: MAG NAIL  
ELEVATION= 429.70'  
DATUM= NAVD83  
N/F RUSSELL W. SCHWEERS  
ACCT. NO.: 460-99033-0-0000  
DEED REF.: 5797891  
SUB PLAN: J-236-140  
(MD PENN BANK PROPERTY)

LEGEND	
EROSION SEDIMENT	
LIMIT OF DISTURBANCE	LOD
PROJECT SITE BOUNDARY	PSB
DIVERSION FILTER SOCK	24FS
CONCRETE WASHOUT	
TEMPORARY STOCKPILE	
ROCK CONSTRUCTION ENTRANCE	
RIP RAP	
NAGSC150	
NAGSC250	
FILTER BAG INLET PROTECTION	
TEMPORARY CONTOUR	
INFILTRATION TEST LOCATION	

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PA 230 SOUTH MARKET STREET SR 0230  
SPEED LIMIT 45

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PROJECT No.: PAA240089.00-0B  
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CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVIL-LDVP

PROJECT:  
**PRELIMINARY LAND  
DEVELOPMENT  
PLANS**

FOR  
**PENNMARK  
ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
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**J.P. ALEJNIKOV**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE054400

SHEET TITLE:  
**OVERALL SOIL  
EROSION AND  
SEDIMENT  
CONTROL PLAN**

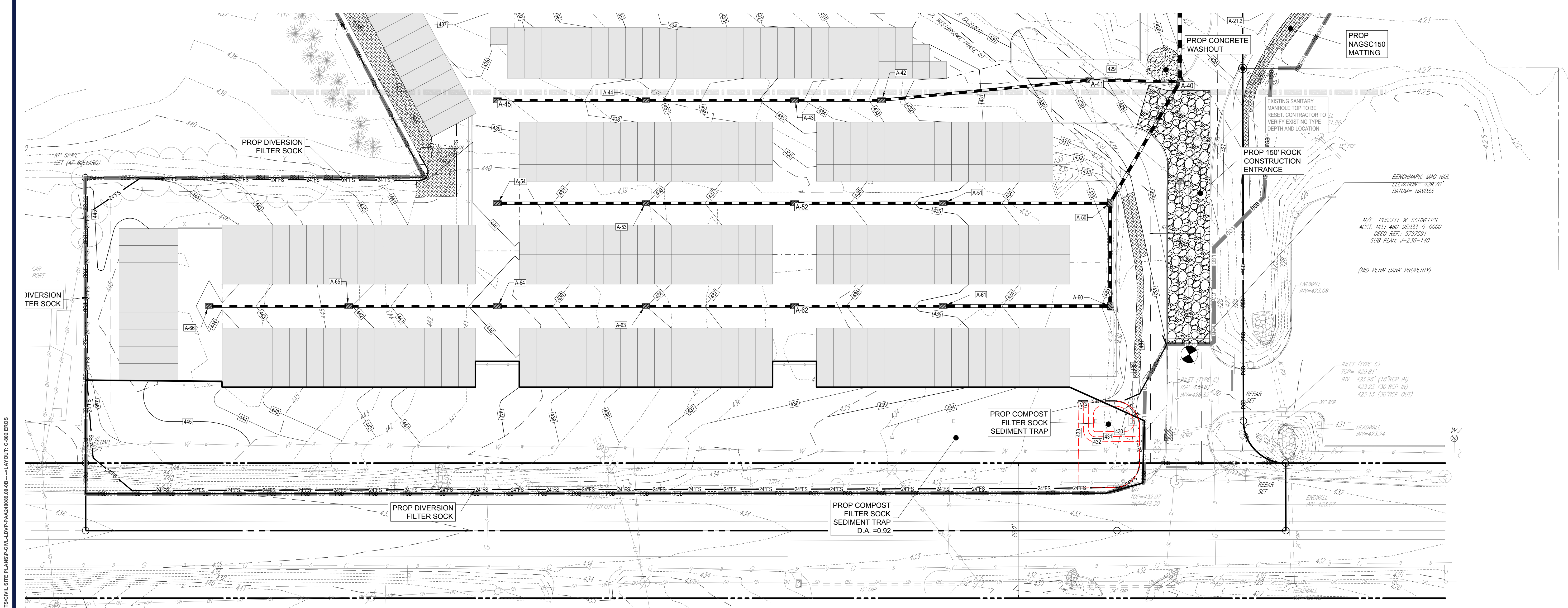
SHEET NUMBER:  
**C-801**  
21 OF 40

ORG. DATE - 01/02/2025



LEGEND	
EROSION SEDIMENT	
LIMIT OF DISTURBANCE	LOD
PROJECT SITE BOUNDARY	PSB
DIVERSION FILTER SOCK	24"FS
CONCRETE WASHOUT	(Symbol: Circle with stippled pattern)
TEMPORARY STOCKPILE	(Symbol: Square with cross-hatch pattern)
ROCK CONSTRUCTION ENTRANCE	(Symbol: Square with irregular rock pattern)
RIP RAP	(Symbol: Square with small circle pattern)
NAGSC150	(Symbol: Square with diagonal line pattern)
NAGSC250	(Symbol: Square with diagonal line pattern, denser)
FILTER BAG INLET PROTECTION	(Symbol: Square with diagonal line pattern, horizontal)
TEMPORARY CONTOUR	(Symbol: Dashed line)
INFILTRATION TEST LOCATION	(Symbol: Square with 'T-101')

**MATCHLINE - SHEET C-803**



**PA 230 SOUTH MARKET STREET SR 0230**

SPEED LIMIT 45

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PROJECT No.: PAA240089-00-0B  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CVIL-DVP

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR  
**PENNMARK ELIZABETH MT JOY, LLC**  
 PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
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**J.P. ALEJNIKOV**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
 SHEET NUMBER:  
**C-802**  
 22 OF 40  
 ORG. DATE - 01/02/2025

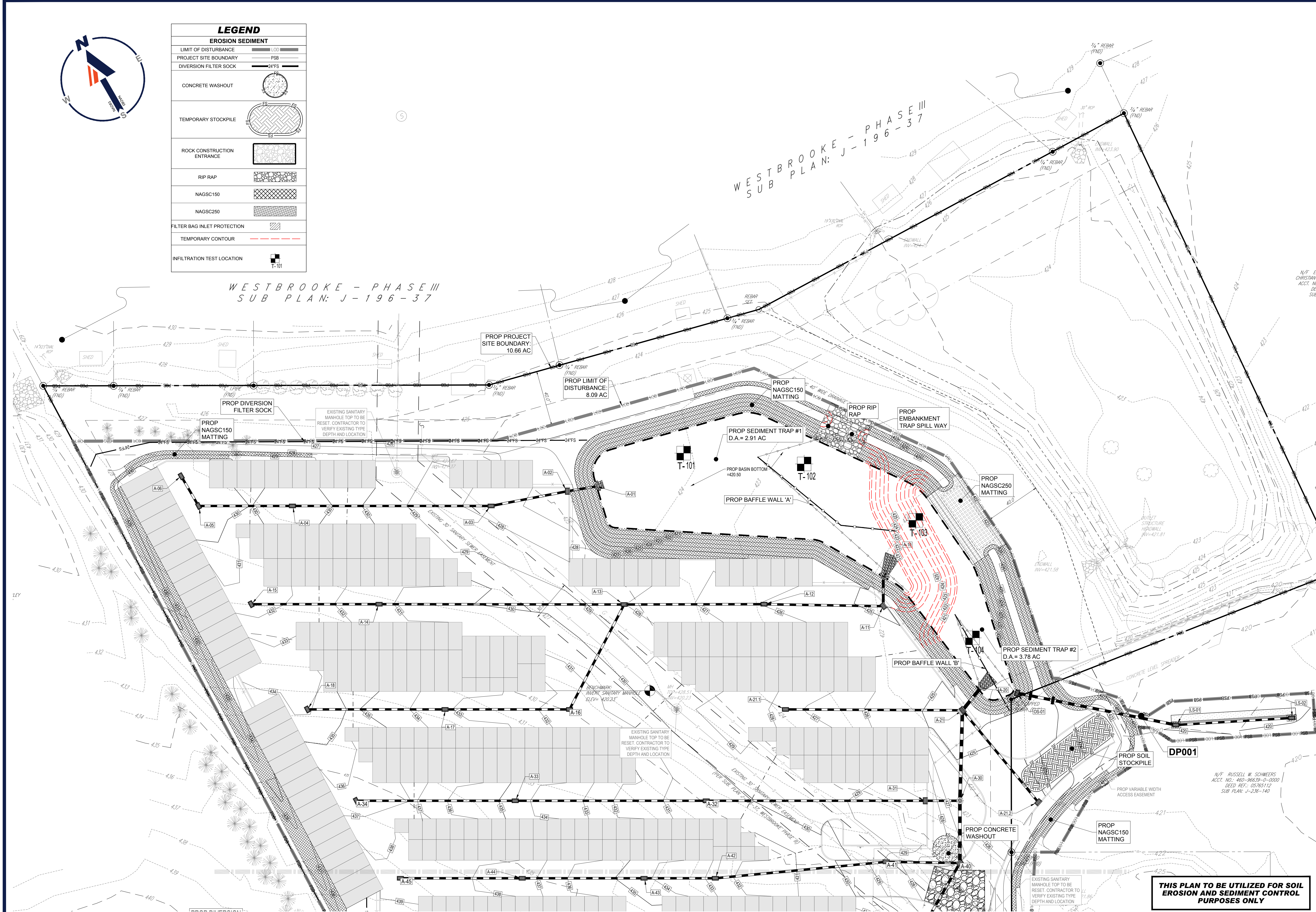
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LEGEND	
<b>EROSION SEDIMENT</b>	
LIMIT OF DISTURBANCE	LOD
PROJECT SITE BOUNDARY	PSB
DIVERSION FILTER SOCK	24FS
CONCRETE WASHOUT	
TEMPORARY STOCKPILE	
ROCK CONSTRUCTION ENTRANCE	
RIP RAP	
NAGSC150	
NAGSC250	
FILTER BAG INLET PROTECTION	
TEMPORARY CONTOUR	
INFILTRATION TEST LOCATION	T-101

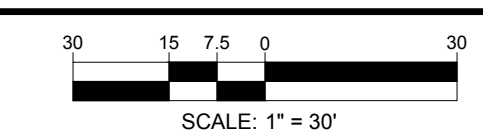
WESTBROOKE - PHASE III  
SUB PLAN: J-196-37

WESTBROOKE - PHASE III  
SUB PLAN: J-196-37



MATCHLINE - SHEET C-802

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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVIL-DVP

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**PENNMAR ELIZABETH MT JOY, LLC**  
PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
LANCASTER COUNTY  
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PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE005400

SHEET TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
SHEET NUMBER:  
**C-803**  
23 OF 40  
ORG. DATE - 01/02/2025

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PROJECT NO.:	PA240098-00-0B
DRAWN BY:	JHT/SWB
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DATE:	01/02/2025
CAD ID:	P-CIVL-CND5

**PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**PENNMAR**  
**ELIZABETH MT JOY, LLC**

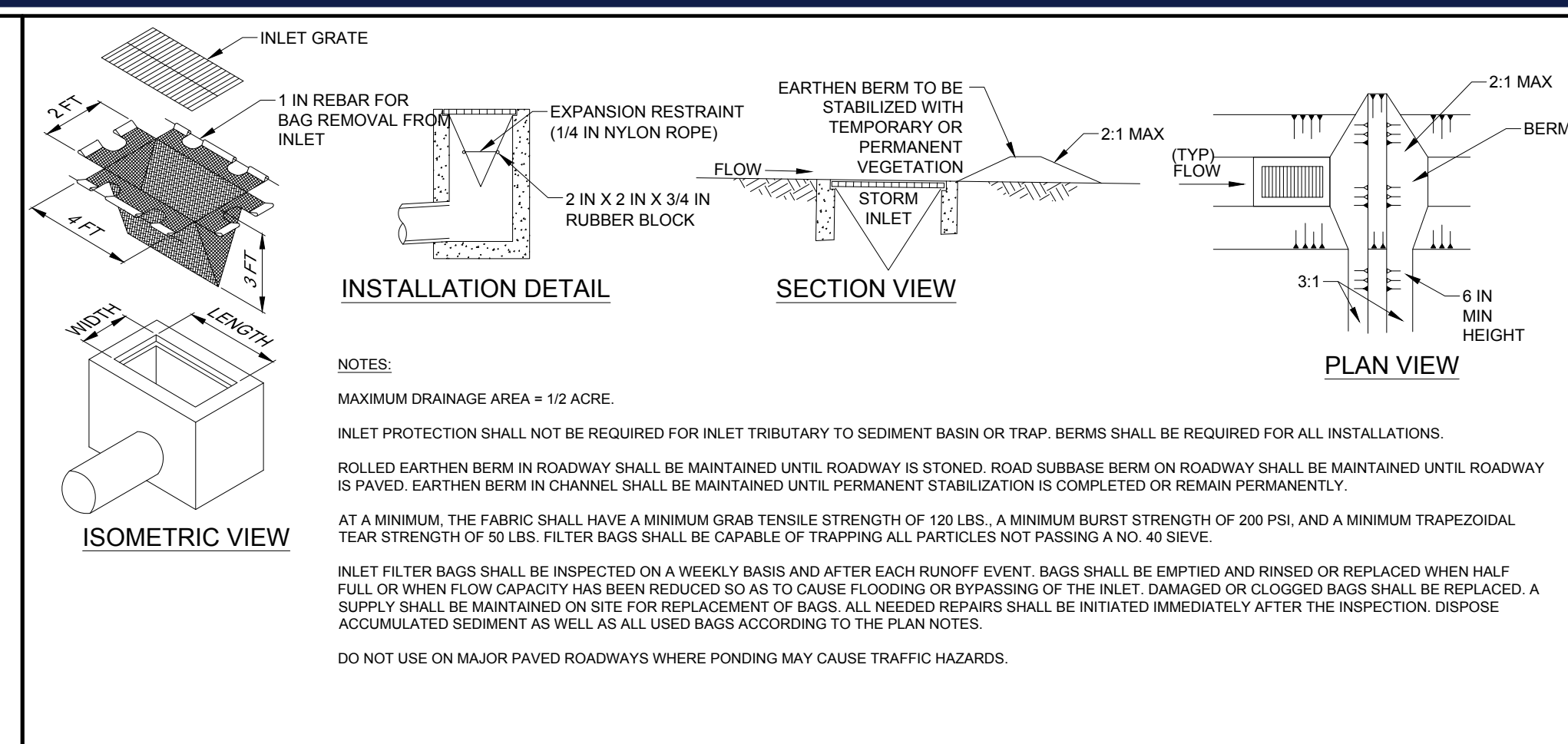
PROPOSED SELF STORAGE  
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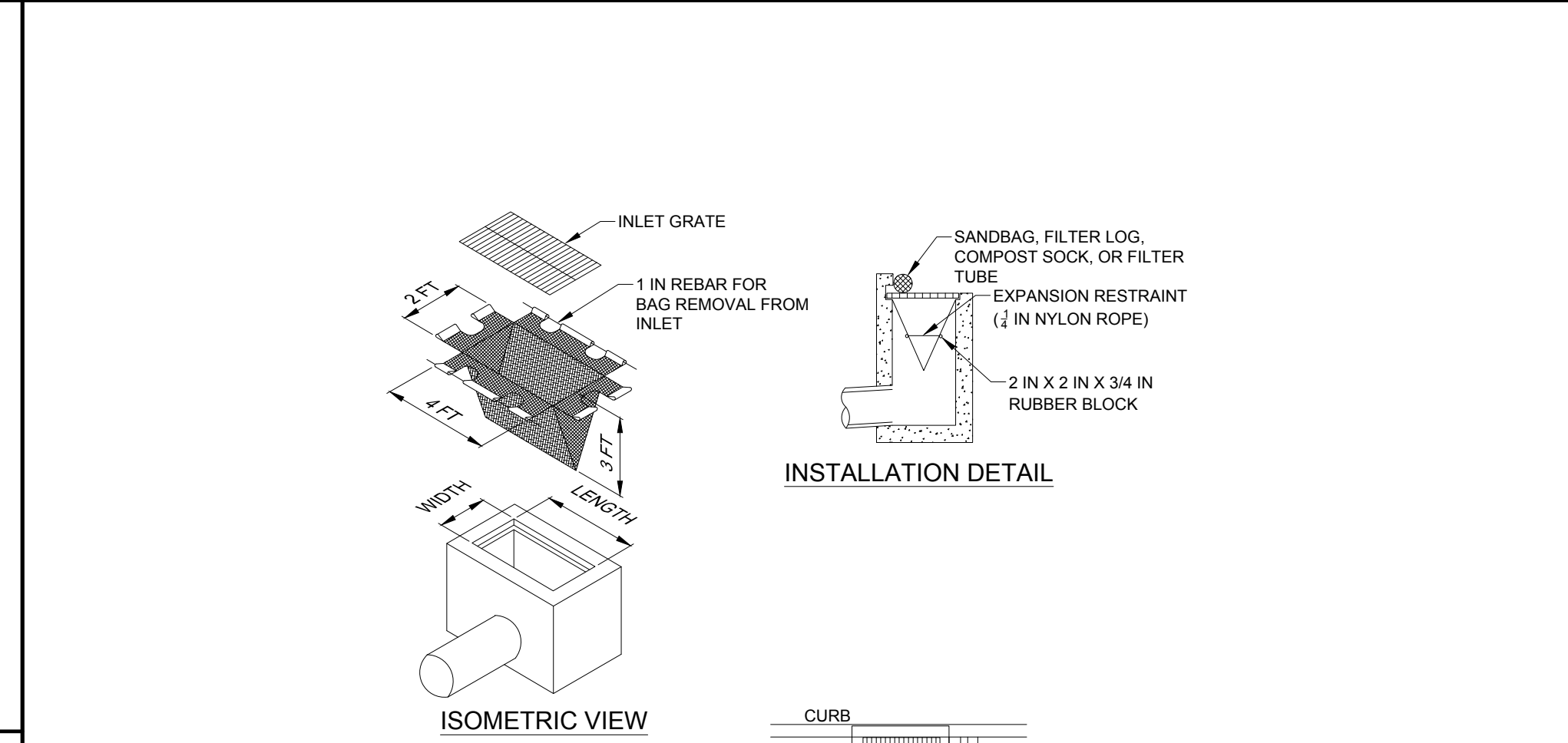
**J.P. ALEJNIKOV**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE058400

**SHEET TITLE**  
**EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

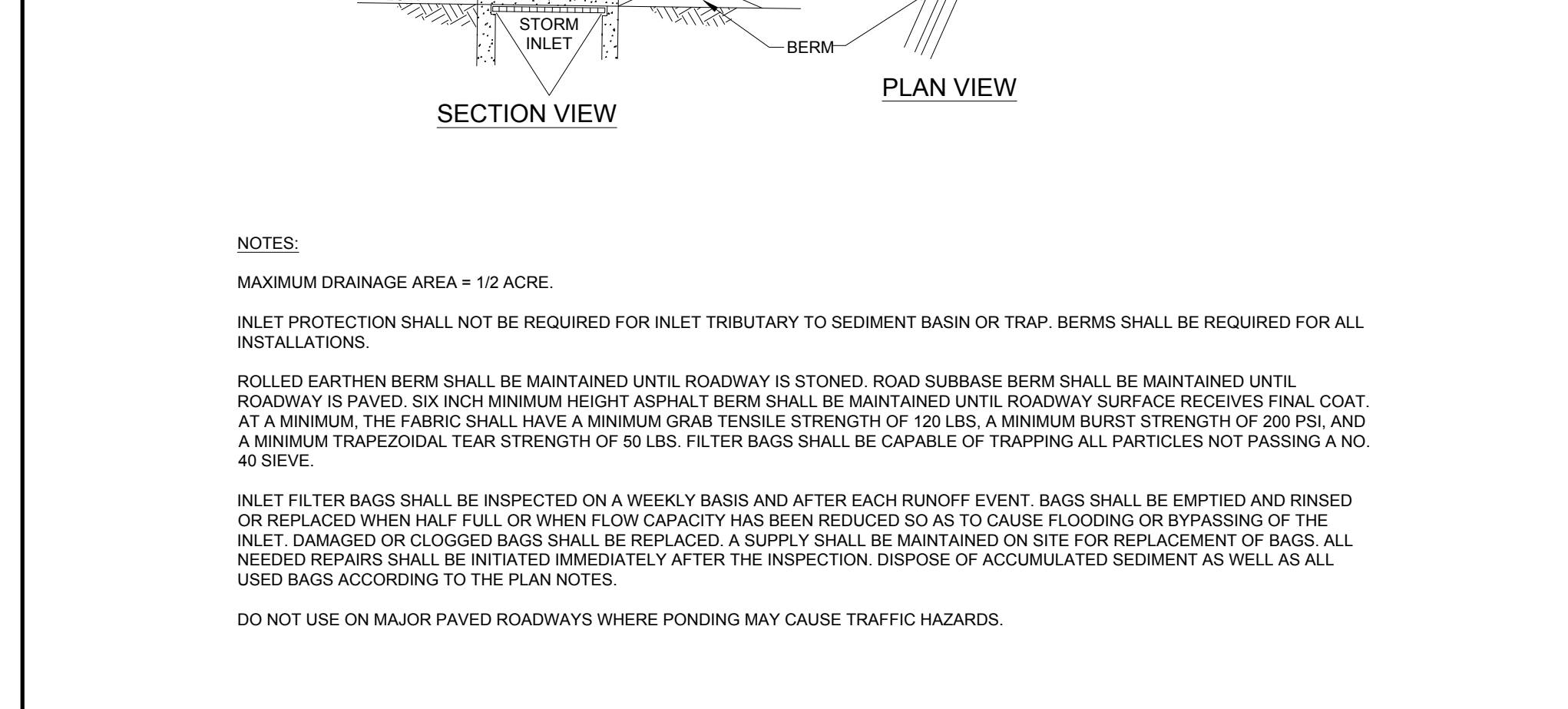
**SHEET NUMBER:**  
**C-806**  
 26 OF 40  
 ORG. DATE - 01/02/2025



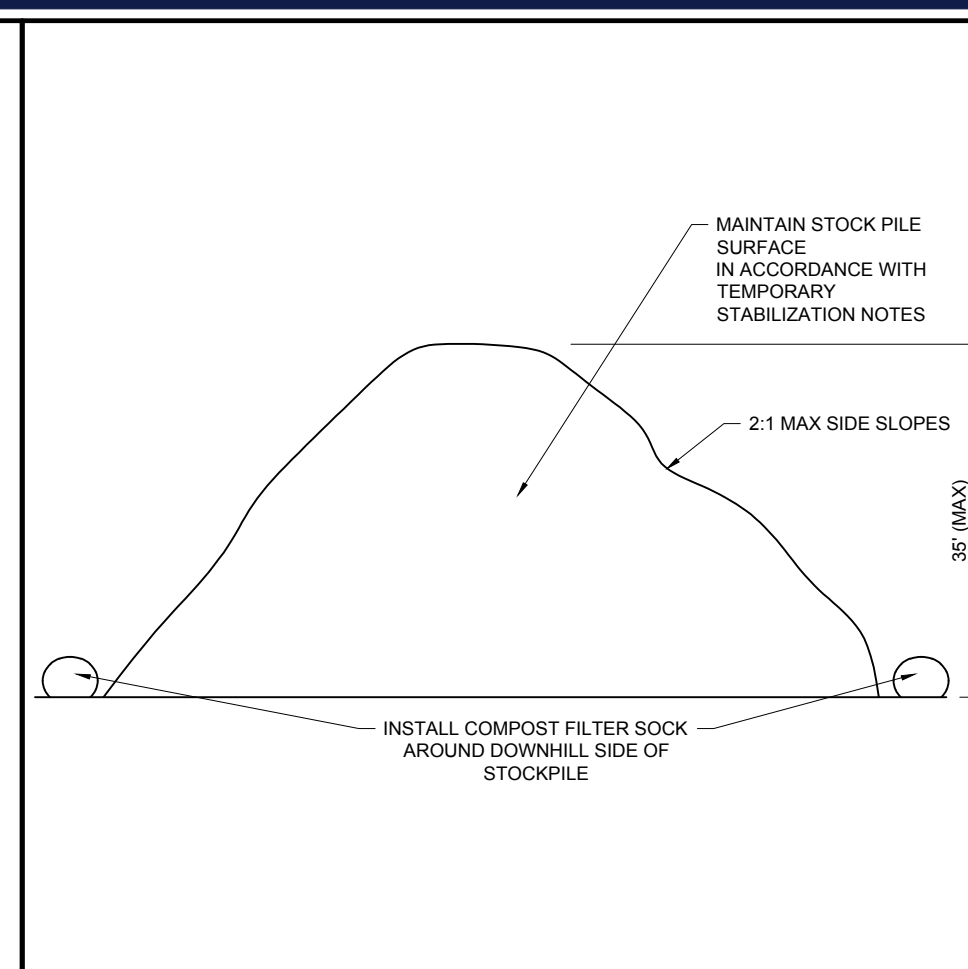
**STANDARD CONSTRUCTION DETAIL #4-16  
 FILTER BAG INLET PROTECTION - TYPE M INLET**  
 NOT TO SCALE (PADEP - MARCH 2012)



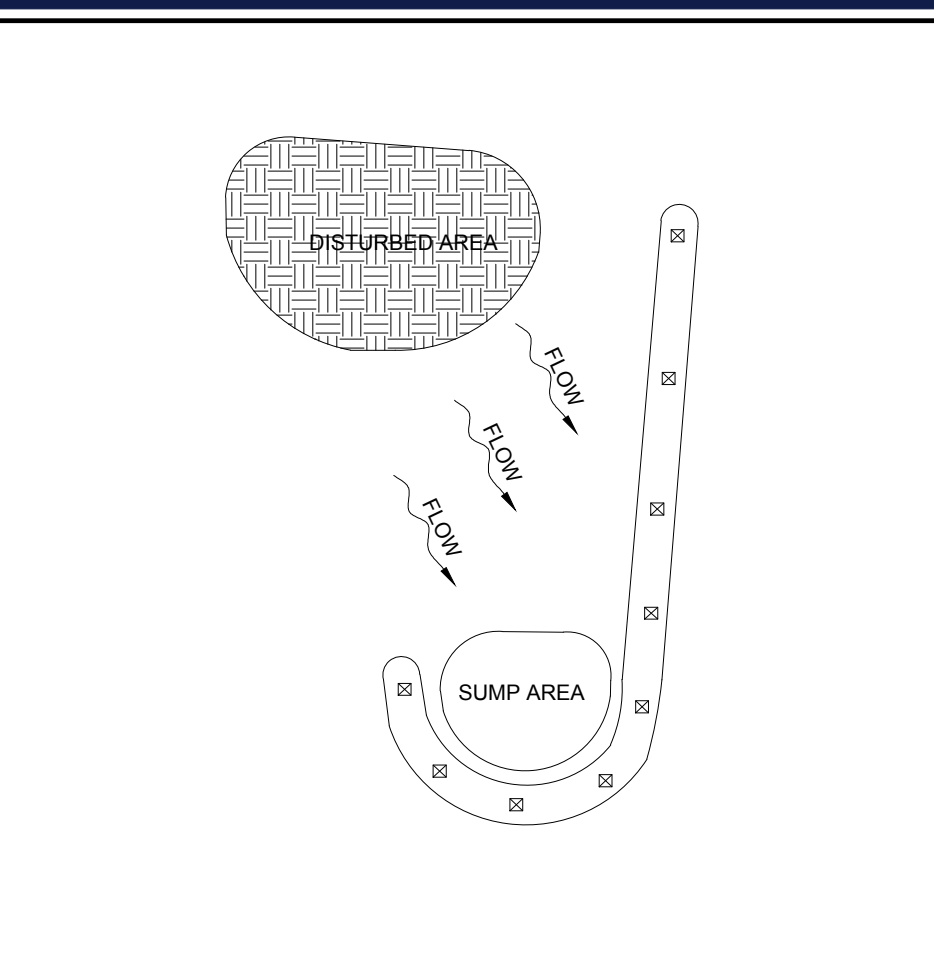
**STANDARD CONSTRUCTION DETAIL #4-15  
 FILTER BAG INLET PROTECTION - TYPE C INLET**  
 NOT TO SCALE (PADEP - MARCH 2012)



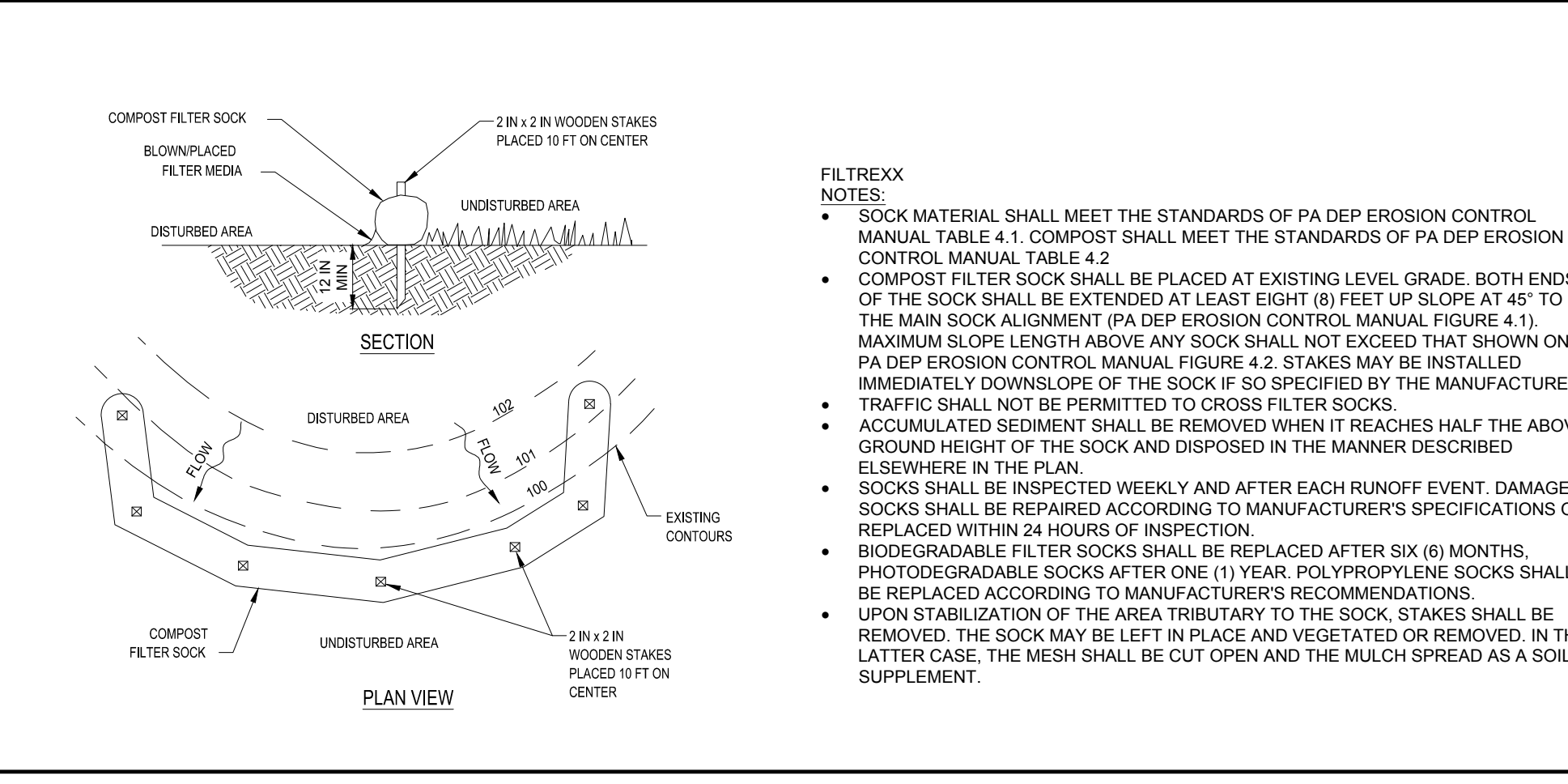
**STANDARD CONSTRUCTION DETAIL #4-6  
 ROCK FILTER OUTLET**  
 NOT TO SCALE (PADEP - MARCH 2012)



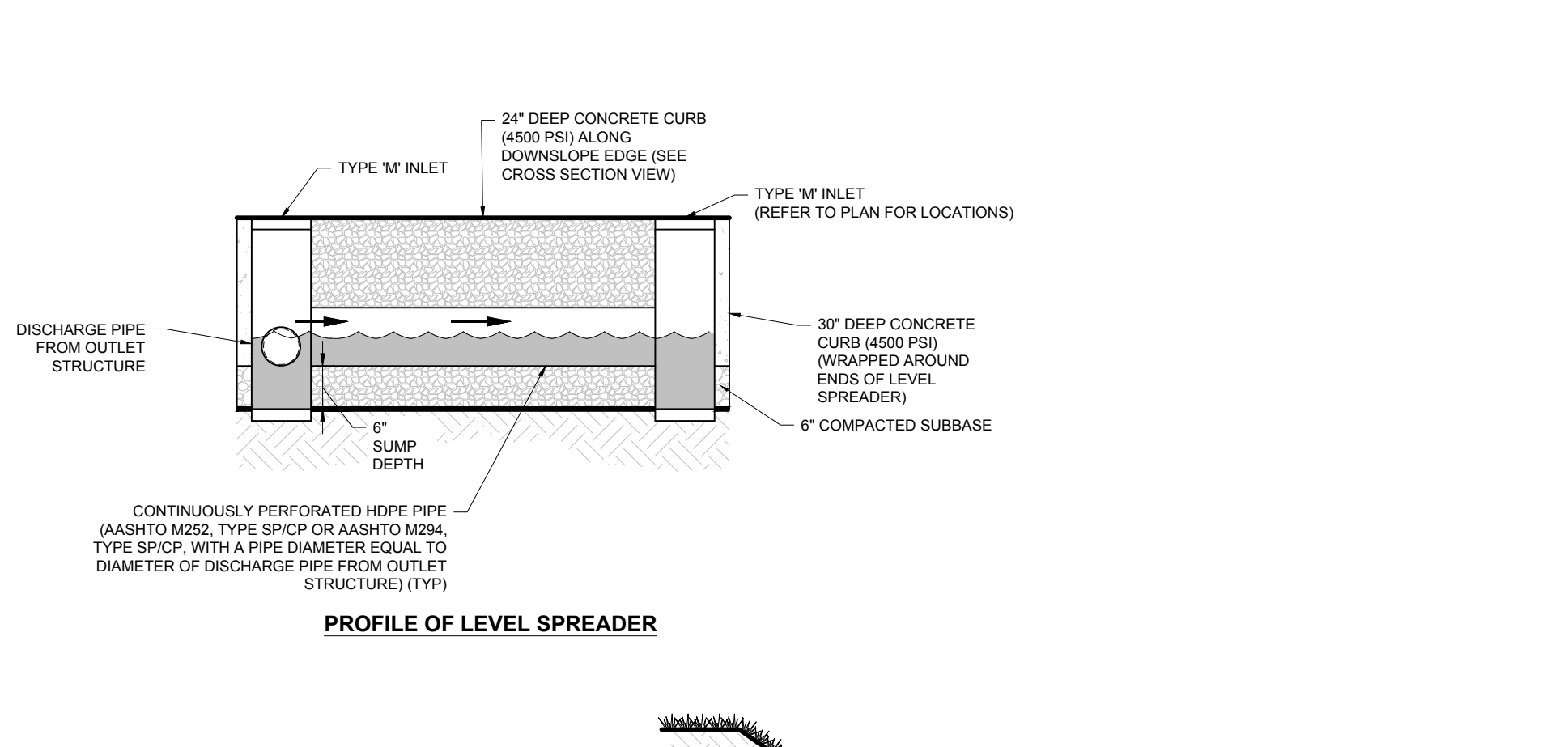
**TEMPORARY SOIL STOCKPILE**  
 NOT TO SCALE (PA-C060101 - 09/2023)



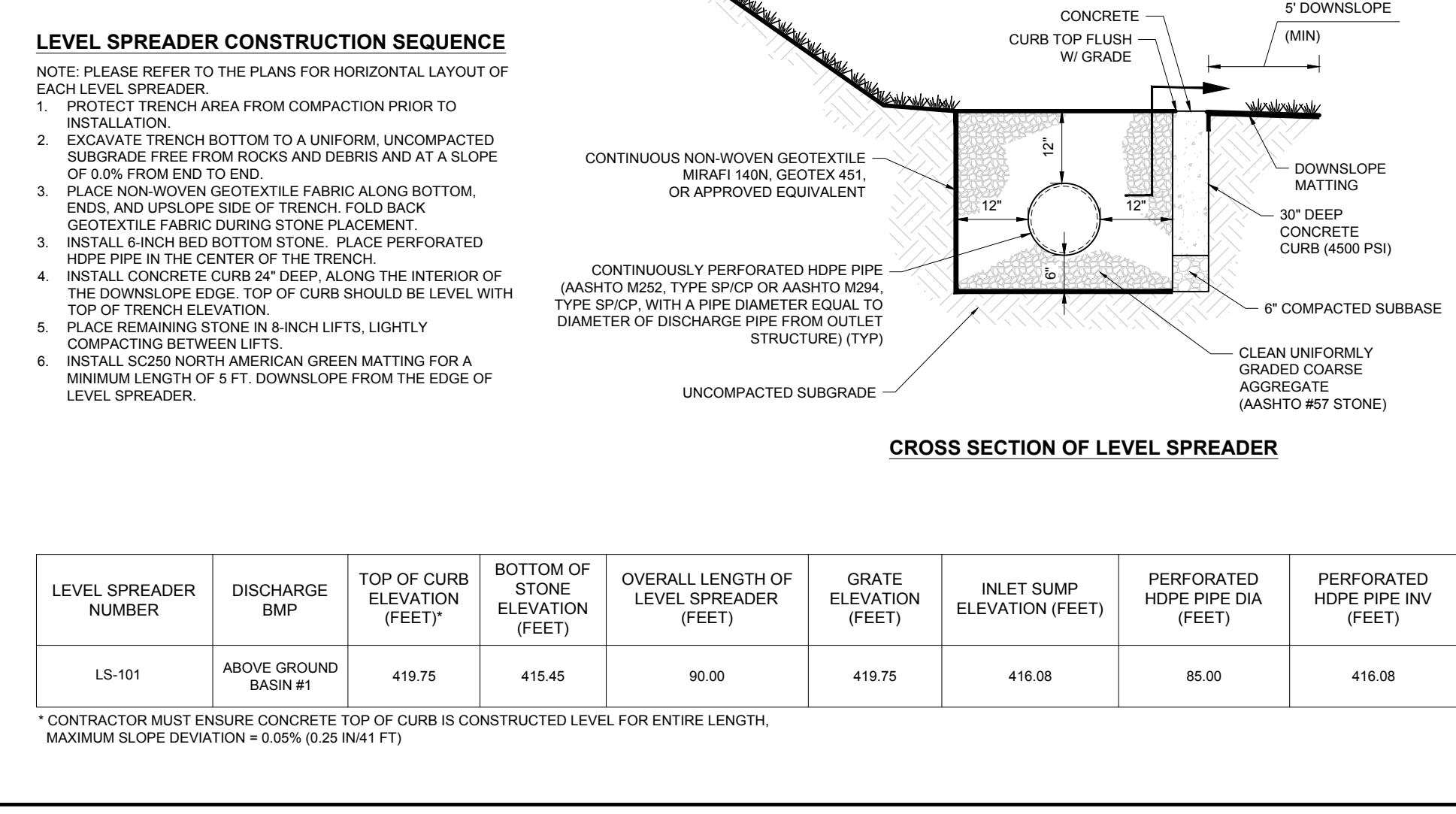
**STANDARD CONSTRUCTION DETAIL - J-HOOK PLACEMENT**  
 NOT TO SCALE (PADEP - MARCH 2012)



**STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK**  
 NOT TO SCALE (PADEP - MARCH 2012)

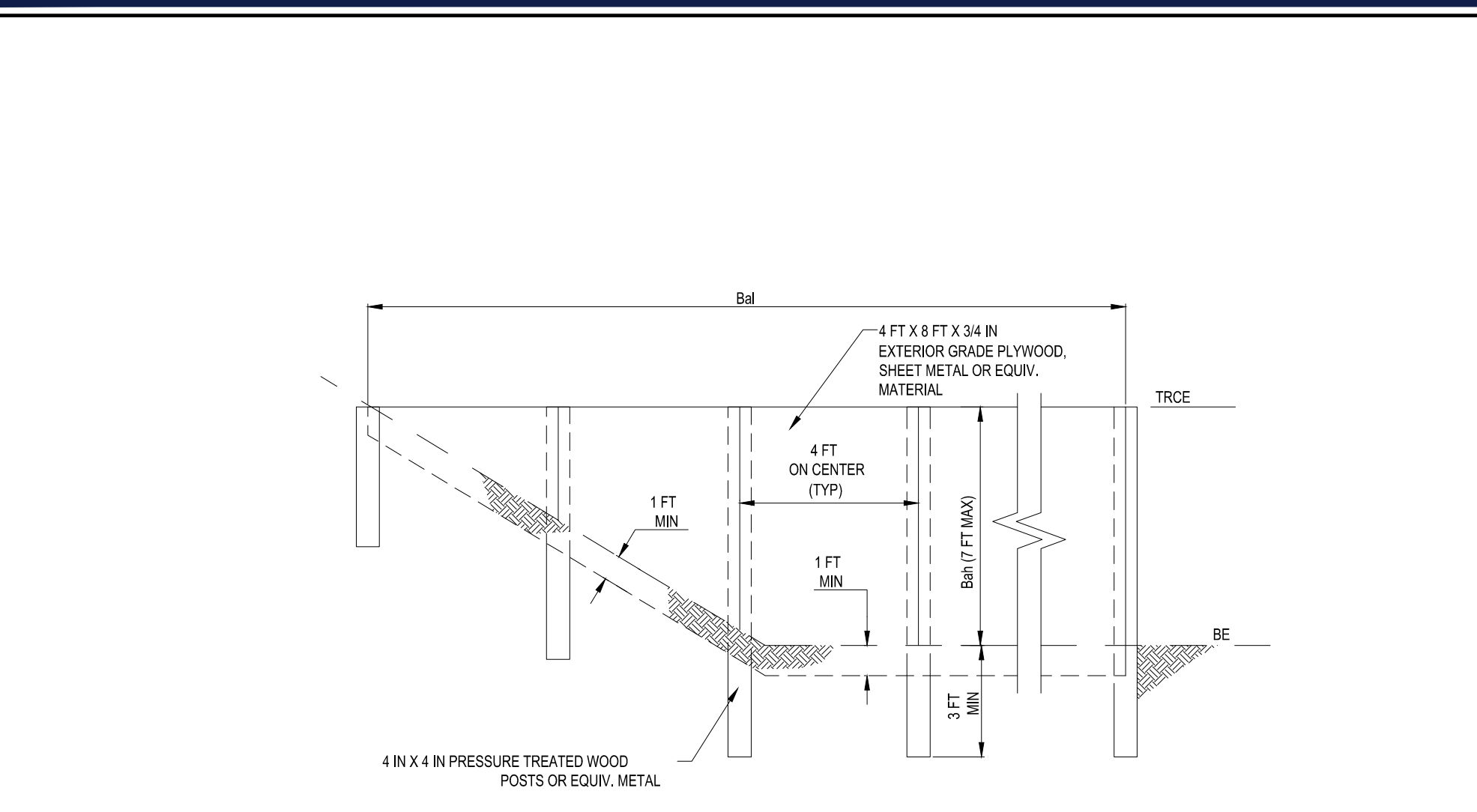


**STANDARD CONSTRUCTION DETAIL #3-16 (ABACT) PUMPED WATER FILTER BAG**  
 NOT TO SCALE (PADEP - MARCH 2012)



**LEVEL SPREADER**  
 NOT TO SCALE

\*CONTRACTOR MUST ENSURE CONCRETE TOP OF CURB IS CONSTRUCTED LEVEL FOR ENTIRE LENGTH, MAXIMUM SLOPE DEVIATION = 0.05% (0.25 IN/41 FT)



BASIN OR TRAP NO.	BAFFLE LENGTH (FT)	BAFFLE HEIGHT (FT)	TEMPORARY RISER CREST ELEV. (FT)	BOTTOM ELEV. (FT)
SED TRAP #1	118	2.00	423.50	420.50
SED TRAP #2	80	2.50	424.00	420.50

**NOTES:**  
 SEE APPROPRIATE BASIN DETAIL FOR PROPER LOCATION AND ORIENTATION.  
 AN ACCEPTABLE ALTERNATIVE IS TO INSTALL A SUPER SILT FENCE AT THE BAFFLE LOCATION  
 IN POOLS WITH DEPTHS EXCEEDING 7', THE TOP OF THE PLYWOOD BAFFLE DOES NOT NEED TO EXTEND TO THE TEMPORARY RISER CREST. SUPER SILT FENCE BAFFLES NEED NOT EXTEND TO TRCE ELEVATION.  
 BAFFLES SHALL BE TIED INTO ONE SIDE OF THE BASIN UNLESS OTHERWISE SHOWN ON THE PLAN DRAWINGS.  
 SUBSTITUTION OF MATERIALS NOT SPECIFIED IN THIS DETAIL SHALL BE APPROVED BY THE DEPARTMENT OR THE LOCAL CONSERVATION DISTRICT BEFORE INSTALLATION.  
 DAMAGED OR WARPED BAFFLES SHALL BE REPLACED WITHIN 7 DAYS OF INSPECTION.  
 BAFFLES REQUIRING SUPPORT POSTS SHALL NOT BE INSTALLED IN BASINS REQUIRING IMPERVIOUS LINERS.

1/30/24/PA240098-00-0B/ADD/ADDRESSING/PLAN/SECTIONAL SITE PLANS/SP-CIVL-CND5/PA240098-00-0B-LAYOUT\_C-806.ERP

**MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION  
FOR REGULATED ACTIVITIES IN CONNECTION WITH A SUBDIVISION OR LAND DEVELOPMENT**

AT A MEETING ON \_\_\_\_\_, 20\_\_\_\_, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. \_\_\_\_\_ BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

NOTE: THE TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTING ALL STORMWATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES.

IMPERVIOUS COVERAGE:  
53.03% (233,471 SF)

CHAIRMAN \_\_\_\_\_ VICE CHAIRMAN \_\_\_\_\_



**LOCATION MAP**  
SCALE: 1" = 2,000'  
SOURCE: GOOGLE MAPS

**REVISIONS**

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PROJECT No.: PAA240089.00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVL-LDVP

**PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**PENNMARK ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
LANCASTER COUNTY  
COMMONWEALTH OF PENNSYLVANIA

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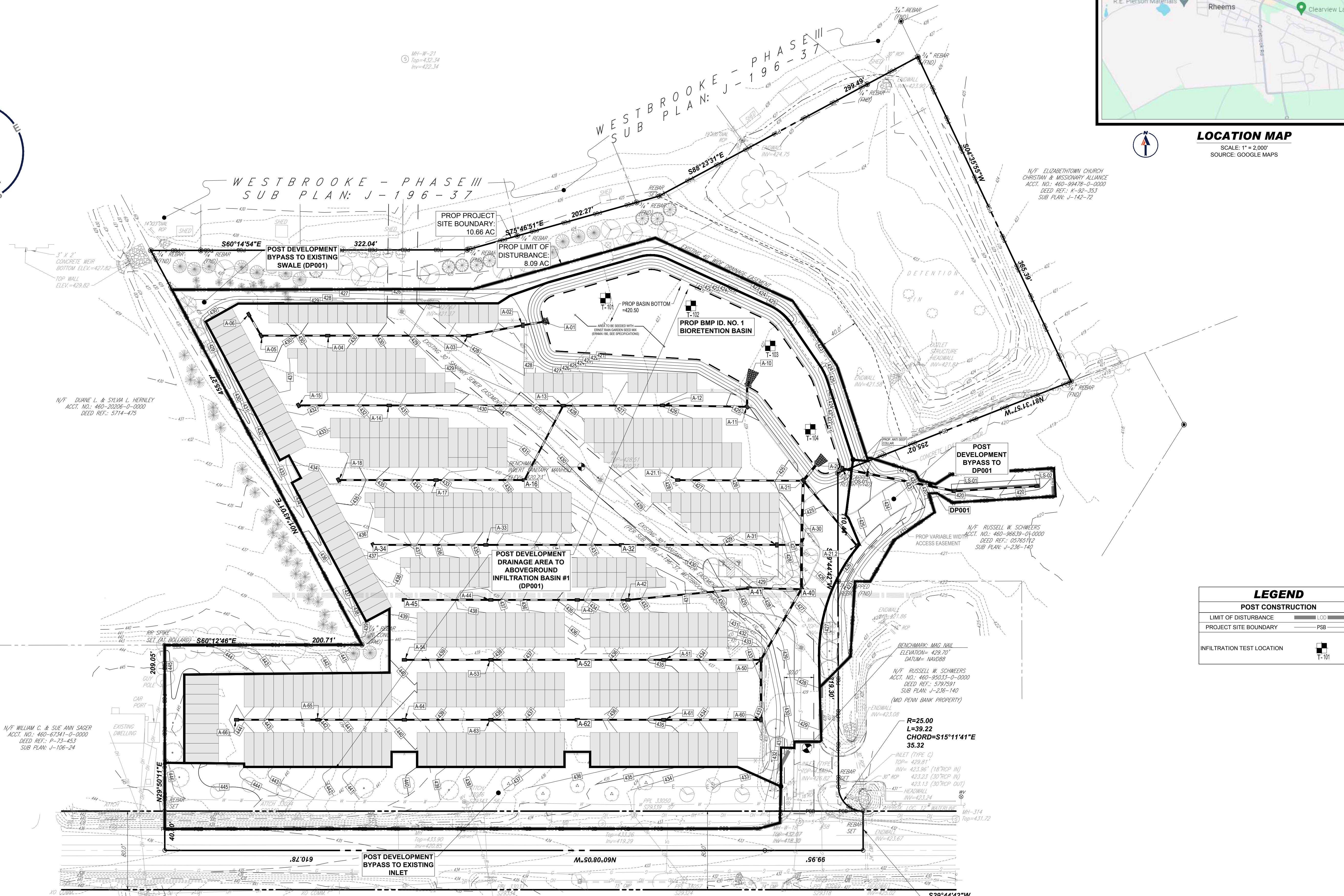
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CHALFONT, PA 18914  
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Fax: (215) 996-9102  
www.BohlerEngineering.com

**J.P. ALEJNIKOV**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE005400

**OVERALL POST CONSTRUCTION STORMWATER MANAGEMENT PLAN**

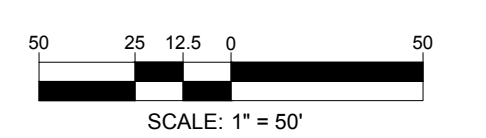
SHEET NUMBER:  
**C-807**  
27 OF 40

ORG. DATE - 01/02/2025



**LEGEND**

POST CONSTRUCTION	
LIMIT OF DISTURBANCE	———
PROJECT SITE BOUNDARY	———
INFILTRATION TEST LOCATION	■ T-101



**PA 230 SOUTH MARKET STREET SR 0230**  
SPEED LIMIT 45

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**MATCHLINE - SHEET C-809**

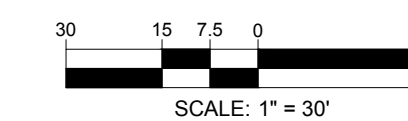
LEGEND	
POST CONSTRUCTION	
LIMIT OF DISTURBANCE	LOD
PROJECT SITE BOUNDARY	PSB
INFILTRATION TEST LOCATION	T-101

**POST DEVELOPMENT  
DRAINAGE AREA TO  
ABOVEGROUND  
INFILTRATION BASIN #1  
(DP001)**

**POST DEVELOPMENT  
BYPASS TO EXISTING  
INLET**

**PA 230 SOUTH MARKET STREET SR 0230**

SPEED LIMIT 45



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 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
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PROJECT No.: PAA240089-00-0B  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CIVIL-DVP

PROJECT:  
**PRELIMINARY LAND  
DEVELOPMENT  
PLANS**

FOR  
**PENNMARK  
ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

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**J.P. ALEJNIKOV**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:  
**POST  
CONSTRUCTION  
STORMWATER  
MANAGEMENT  
PLAN**

SHEET NUMBER:  
**C-808**  
 28 OF 40

ORG. DATE - 01/02/2025

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LEGEND	
POST CONSTRUCTION	
LIMIT OF DISTURBANCE	LOD
PROJECT SITE BOUNDARY	PSB
INFILTRATION TEST LOCATION	T-101

M1-W-21  
Top=432.34  
Inv=422.34

WESTBROOKE - PHASE III  
SUB PLAN: J-196-37

WESTBROOKE - PHASE III  
SUB PLAN: J-196-37

PROP PROJECT  
SITE BOUNDARY:  
10.66 AC

PROP LIMIT OF  
DISTURBANCE:  
8.09 AC

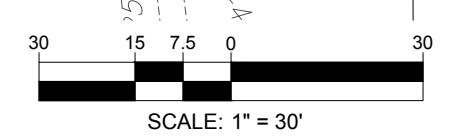
POST DEVELOPMENT  
BYPASS TO EXISTING  
SWALE (DP001)

PROP BMP ID. NO. 1  
BIORETENTION BASIN

POST DEVELOPMENT  
DRAINAGE AREA TO  
ABOVEGROUND  
INFILTRATION BASIN #1  
(DP001)

POST  
DEVELOPMENT  
BYPASS TO  
DP001

MATCHLINE - SHEET C-808



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DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVIL-LDVP

PROJECT:  
**PRELIMINARY LAND  
DEVELOPMENT  
PLANS**

FOR  
**PENNMAR  
ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
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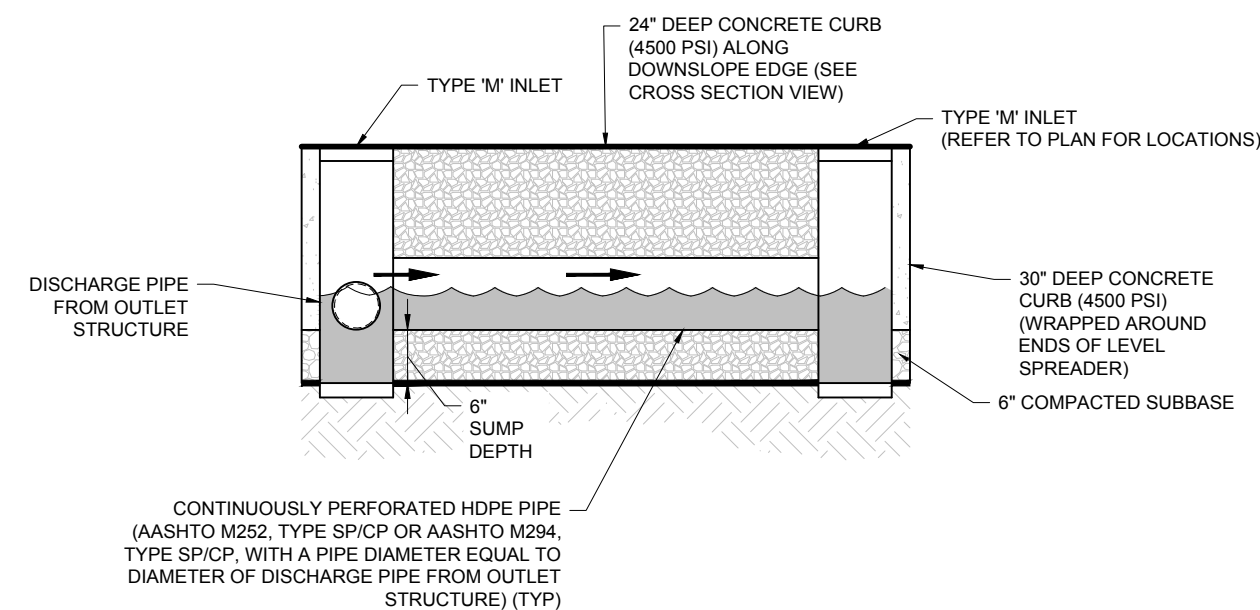
SHEET TITLE:  
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CONSTRUCTION  
STORMWATER  
MANAGEMENT  
PLAN**

SHEET NUMBER:  
**C-809**  
29 OF 40

ORG. DATE - 01/02/2025

R:\2024\PA240089-00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\POST CONSTRUCTION\STORMWATER\POST CONSTRUCTION STORMWATER MANAGEMENT PLAN - LAYOUT - C-809.PCSM

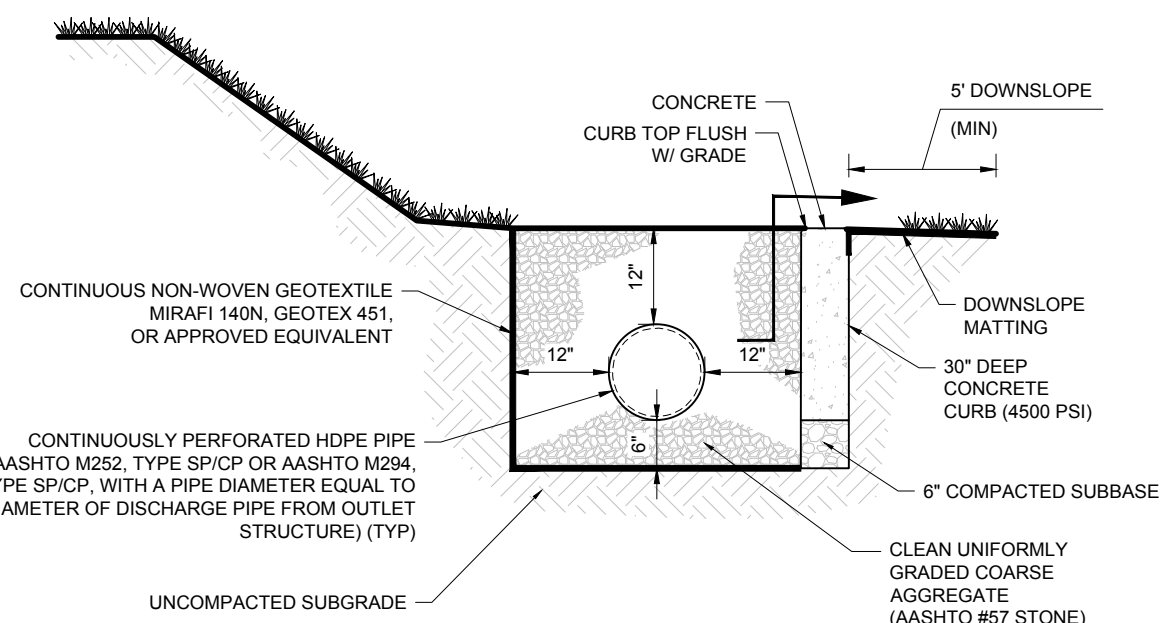




PROFILE OF LEVEL SPREADER

**LEVEL SPREADER CONSTRUCTION SEQUENCE**

- NOTE: PLEASE REFER TO THE PLANS FOR HORIZONTAL LAYOUT OF EACH LEVEL SPREADER.
1. PROTECT TRENCH AREA FROM COMPACTION PRIOR TO INSTALLATION.
  2. EXCAVATE TRENCH BOTTOM TO A UNIFORM UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS AND AT A SLOPE OF 3:0% FROM END TO END.
  3. PLACE NON-WOVEN GEOTEXTILE FABRIC ALONG BOTTOM, ENDS, AND UPSLOPE SIDE OF TRENCH. FOLD BACK GEOTEXTILE FABRIC DURING STONE PLACEMENT.
  4. INSTALL 6-INCH BED BOTTOM STONE. PLACE PERFORATED HDPE PIPE IN THE CENTER OF THE TRENCH.
  5. INSTALL CONCRETE CURB 24" DEEP ALONG THE INTERIOR OF THE DOWNSLOPE EDGE. TOP OF CURB SHOULD BE LEVEL WITH TOP OF TRENCH ELEVATION.
  6. PLACE REMAINING STONE IN 8-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
  7. INSTALL SC250 NORTH AMERICAN GREEN MATTING FOR A MINIMUM LENGTH OF 5 FT. DOWNSLOPE FROM THE EDGE OF LEVEL SPREADER.



CROSS SECTION OF LEVEL SPREADER

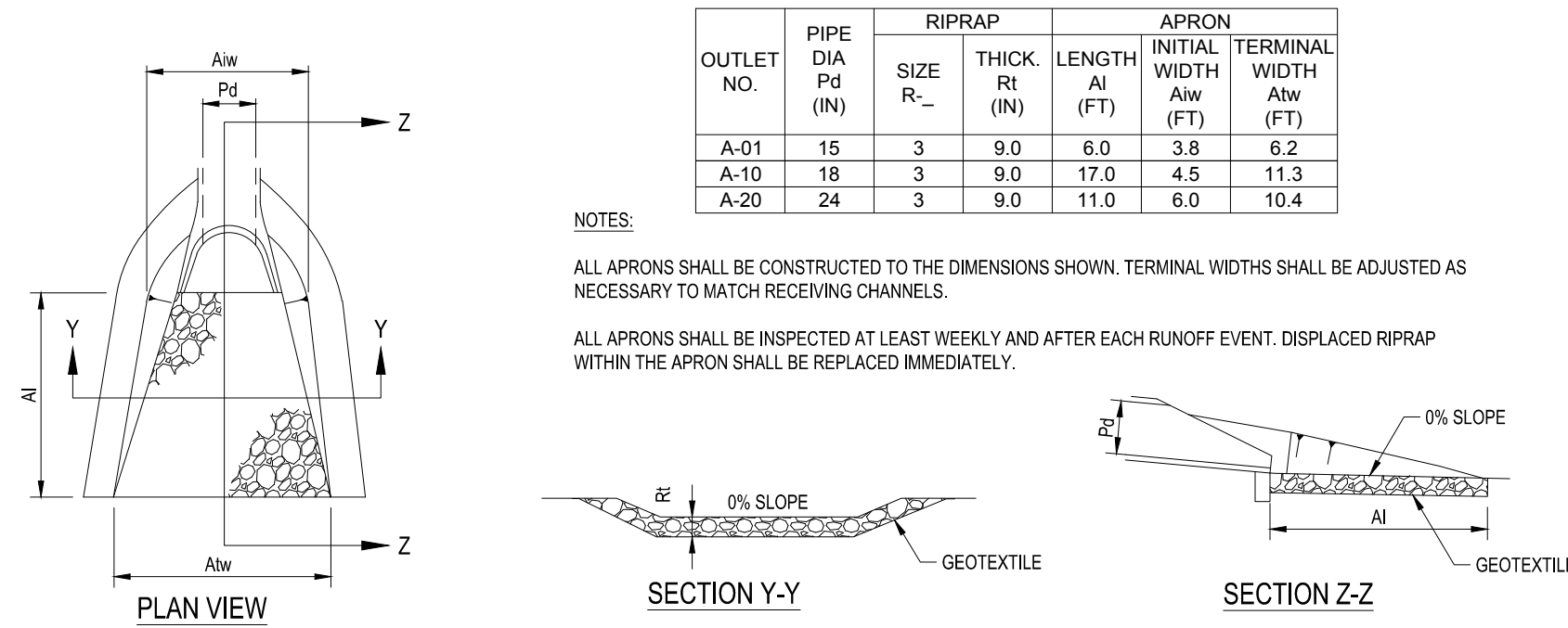
LEVEL SPREADER NUMBER	DISCHARGE BMP	TOP OF CURB ELEVATION (FEET)	BOTTOM OF STONE ELEVATION (FEET)	OVERALL LENGTH OF LEVEL SPREADER (FEET)	GRATE ELEVATION (FEET)	INLET SUMP ELEVATION (FEET)	PERFORATED HDPE PIPE DIA (FEET)	PERFORATED HDPE PIPE NV (FEET)
LS-101	ABOVE GROUND BASIN #1	419.75	415.45	90.00	419.75	416.08	85.00	416.08

\* CONTRACTOR MUST ENSURE CONCRETE TOP OF CURB IS CONSTRUCTED LEVEL FOR ENTIRE LENGTH. MAXIMUM SLOPE DEVIATION = 0.05% (0.25 IN/41 FT)

**LEVEL SPREADER**

NOT TO SCALE

(PA-U019816 - 02/2024)



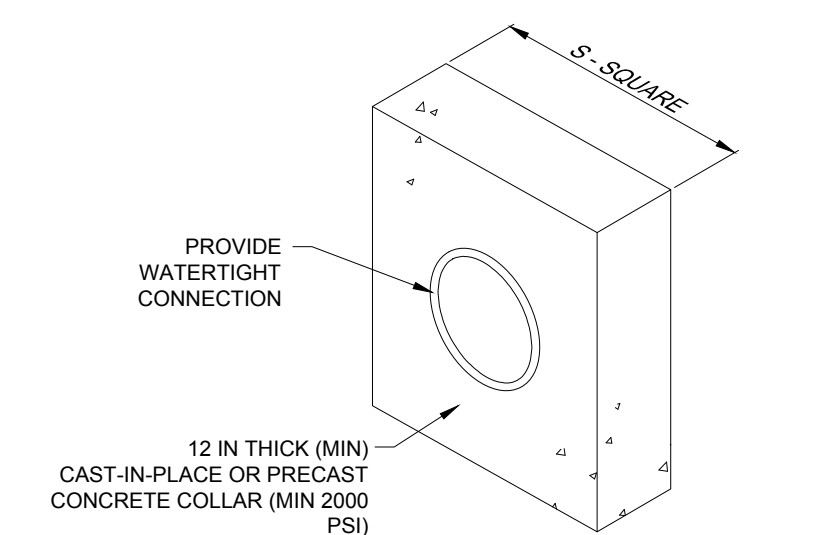
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP			APRON	
		SIZE R <sub>15</sub>	THICK Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Atw (FT)
A-01	15	3	9.0	6.0	3.8	6.2
A-10	18	3	9.0	17.0	4.5	11.3
A-20	24	3	9.0	11.0	6.0	10.4

NOTES:  
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.  
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RINCHOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

**STANDARD CONSTRUCTION DETAIL #9-1  
 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL**

NOT TO SCALE

(PADEP - MARCH 2012)



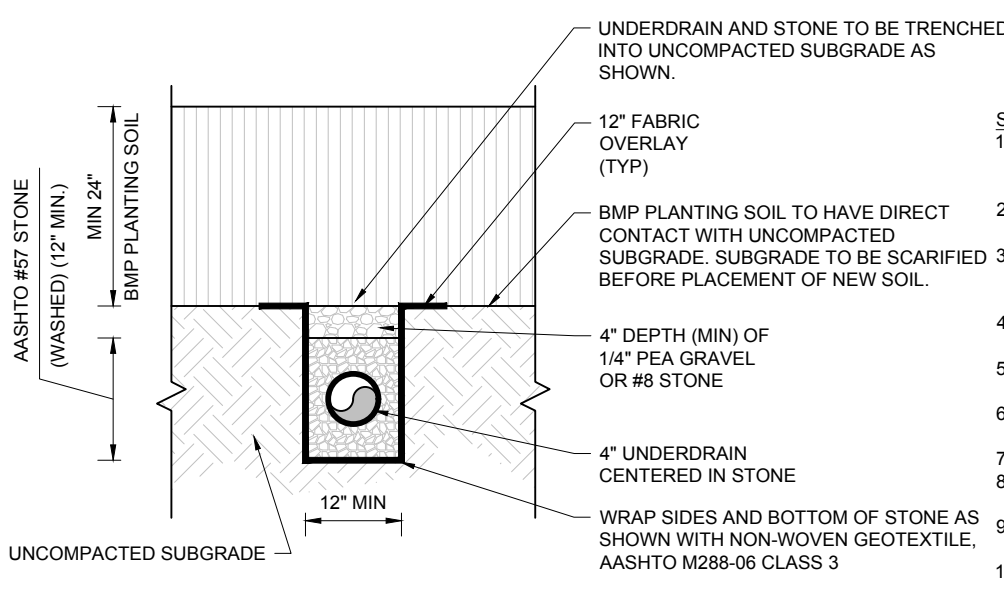
Basin or Trap No.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
1	18	15	2	8	14.7

NOTES:  
 ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT. COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

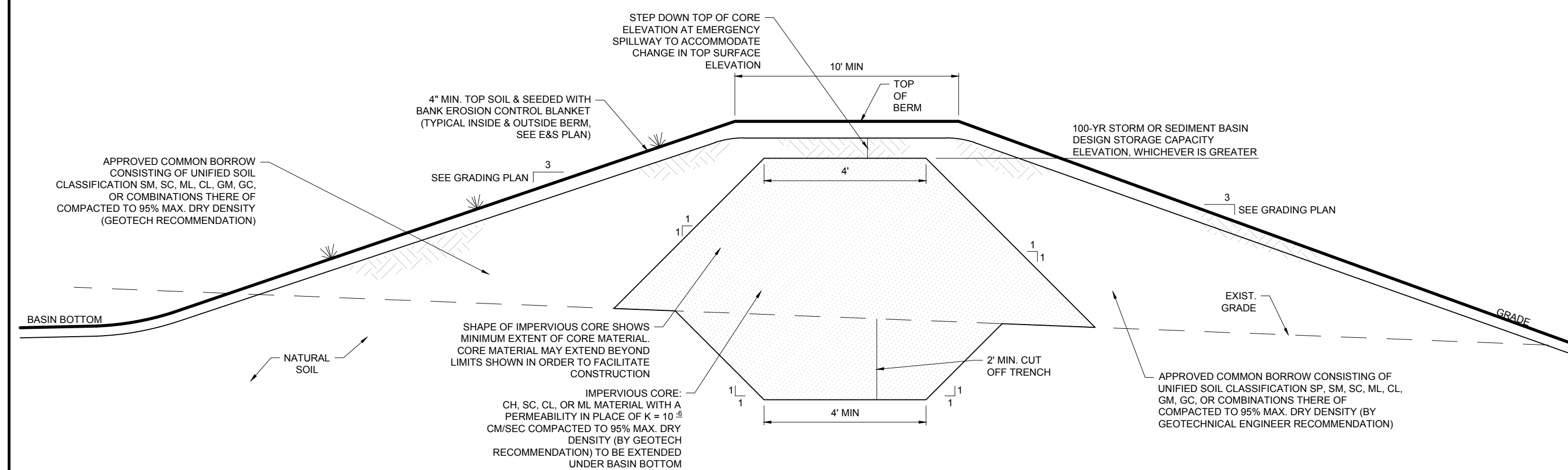
**STANDARD CONSTRUCTION DETAIL #7-16 CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS**

NOT TO SCALE

(PADEP - MARCH 2012)



- SEQUENCE OF CONSTRUCTION FOR BIO-RETENTION / BIO-INFILTRATION
1. PRIOR TO AND DURING CONSTRUCTION, THE FACILITY AREA SHALL BE PROTECTED WITH A COMPLETE RING OF FILTER SOCK TO PREVENT SILT AND EROSION UNTIL THE FACILITY AND THE CONTRIBUTING DRAINAGE AREA IS FULLY STABILIZED.
  2. THE BIO-RETENTION / BIO-INFILTRATION FACILITY SHALL BE EXCAVATED TO THE DEPTH AND SIZE REQUIRED. THE CONTRACTOR MUST TAKE CARE NOT TO COMPACT THE IN-SITU SOILS. SUBSOILS IN THE ENTIRE GARDEN AREA MUST BE THOROUGHLY AND DEEPLY SCARIFIED BEFORE THE CONTRACTOR PLACES THE PLANTING SOIL MATERIAL. SCARIFYING MUST BE DONE WITH A TOOTHED BACKHOE.
  3. THE FACILITY SHALL HAVE AN OVERFLOW DRAIN. THESE SHALL BE INSTALLED BEFORE PROCEEDING.
  4. THE UNDERDRAIN IS TO BE INSTALLED IN AN AGGREGATE LAYER AT THE DEPTH SHOWN IN THE CHART BELOW.
  5. INSTALL PLANTING SOIL TO THE DEPTH REQUIRED. THE PLANTING SOIL SHALL MEET THE SPECIFICATIONS OUTLINED IN THE PLANTING SOIL SPECIFICATIONS FOR B.M.P. FACILITIES.
  6. PRE-SOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION IN ORDER TO AID IN SETTLEMENT.
  7. COMPLETE FINAL GRADING TO ACHIEVE DESIGN GRADE. LEAVE SPACE FOR UPPER LAYER OF COMPOST OR MULCH, IF REQUIRED, AS SPECIFIED ON THE PLANS.
  8. PLANT RAIN GARDEN FACILITY WORKING FROM THE BOTTOM OF THE FACILITY UP THE SIDES. PER THE LANDSCAPE PLAN.
  9. UNLESS THE FACILITY IS SPECIFIED TO BE SEEDED WITH A MEADOW MIX, THE CONTRACTOR SHALL COVER THE PLANTING SOIL WITH A MAXIMUM OF 2 INCHES OF SHREDDED HARDWOOD BARK MULCH.
  10. ALL PROTECTION MEASURES INSTALLED AT THE BEGINNING OF CONSTRUCTION (SEE STEP 1 ABOVE) SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL THE FACILITY AND ADJACENT AREAS ARE FULLY STABILIZED.



- NOTES:
1. PRIOR TO PLACEMENT OF FILL MATERIAL, THE EXISTING GROUND SURFACE BENEATH THE EMBANKMENT SHALL BE CLEARED OF ALL TREE STUMPS, UNDERBRUSH AND ALL OTHER ORGANIC MATERIAL. FOLLOWING CLEARING, THE SURFACE, ON OR AGAINST WHERE THE FILL IS TO BE PLACED SHALL BE THOROUGHLY BROKEN OR DISCED TO A DEPTH OF SIX (6) INCHES. THE BREAKING OF THE SURFACE SHALL BE DONE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT.
  2. CUTOFF TRENCHES ARE TO BE EXCAVATED TWO (2) FEET BELOW EXISTING GRADE, OR TO THE IMPERVIOUS SUBSOIL OR BEDROCK ALONG THE EMBANKMENT CENTERLINE WHEN IMPERVIOUS SOIL OR BEDROCK IS LESS THAN 3 FEET.
  3. AN IMPERVIOUS CENTRAL CORE IS TO BE CONSTRUCTED IN THE EMBANKMENT CONSISTING OF COMPACTED CH, SC, CL, OR ML SOILS.
  4. ALL EARTH FILL SHALL BE FREE FROM BRUSH, ROOTS AND OTHER ORGANIC MATERIAL SUBJECT TO DECOMPOSITION.
  5. THE FILL MATERIAL IN ALL EMBANKMENTS SHALL BE PLACED IN 6 TO 8 INCH LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DENSITY OBTAINED FROM THE COMPACTION TESTS PERFORMED BY THE APPROPRIATE METHOD IN ASTM D-698.

FACILITY NUMBER	FINISHED BOTTOM ELEVATION	BMP SOIL BOTTOM ELEVATION	OVERFLOW GRATE ELEVATION	MAXIMUM PONDING DEPTH	OVERFLOW DEVICE	TESTPIT NUMBER	LIMITING ZONE	DESIGN INFILTRATION RATE (IN/HR)
ABOVE GROUND BASIN #1	420.50	419.00	423.00	423.26	TYPE 'M' INLET	TP-101 TP-102 TP-103 TP-104	NE NE	0.16

**TYPICAL BIO-RETENTION / BIO-INFILTRATION**

NOT TO SCALE

(PA-U019808 - 02/2024)

**ABOVE GROUND BASIN BERM WITH IMPERVIOUS CORE**

NOT TO SCALE

(PA-U019817 - 05/2024)



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 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CIVIL-CNDS

**PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**PENNMARK ELIZABETH MT JOY, LLC**  
 PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
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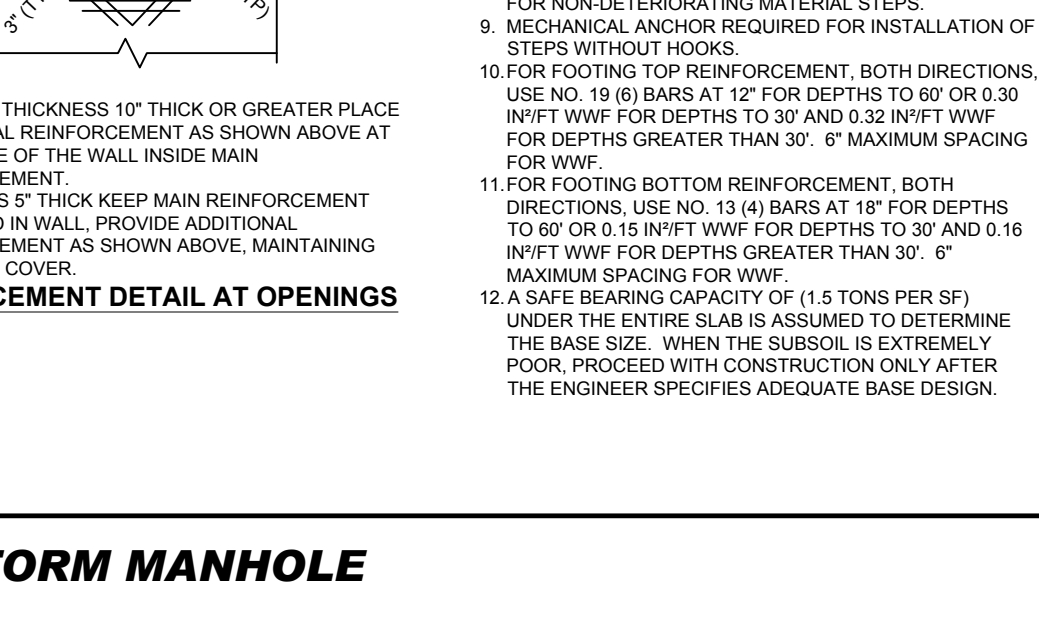
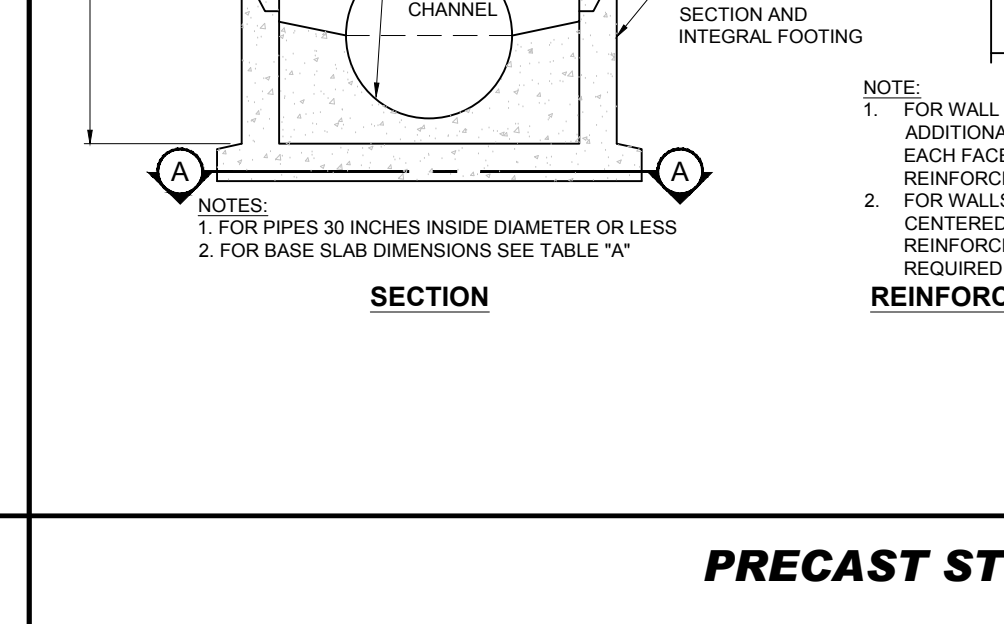
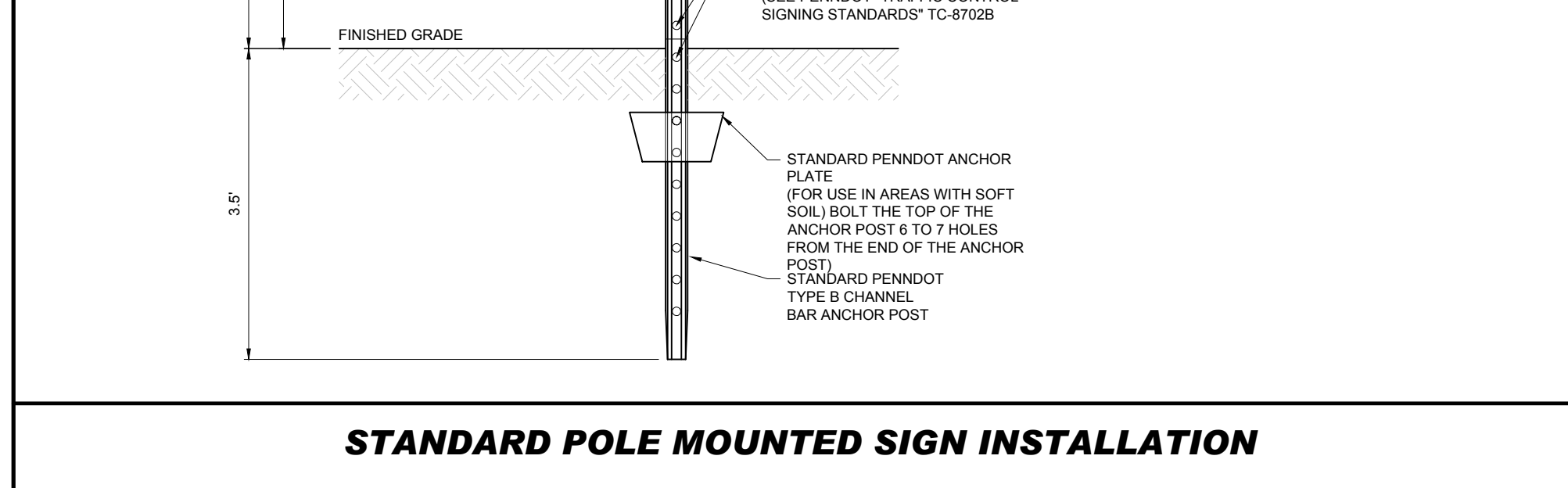
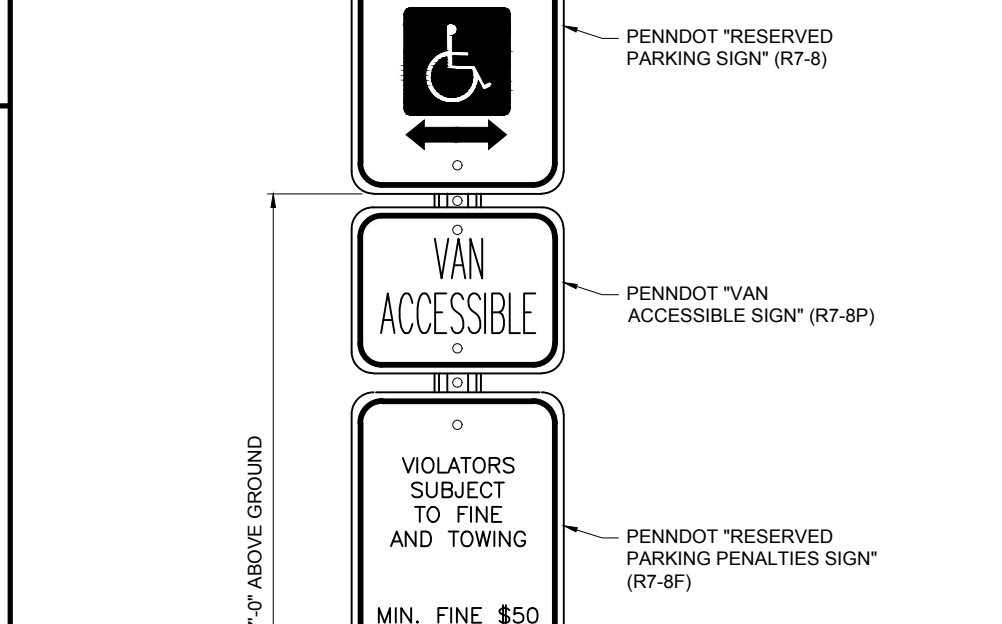
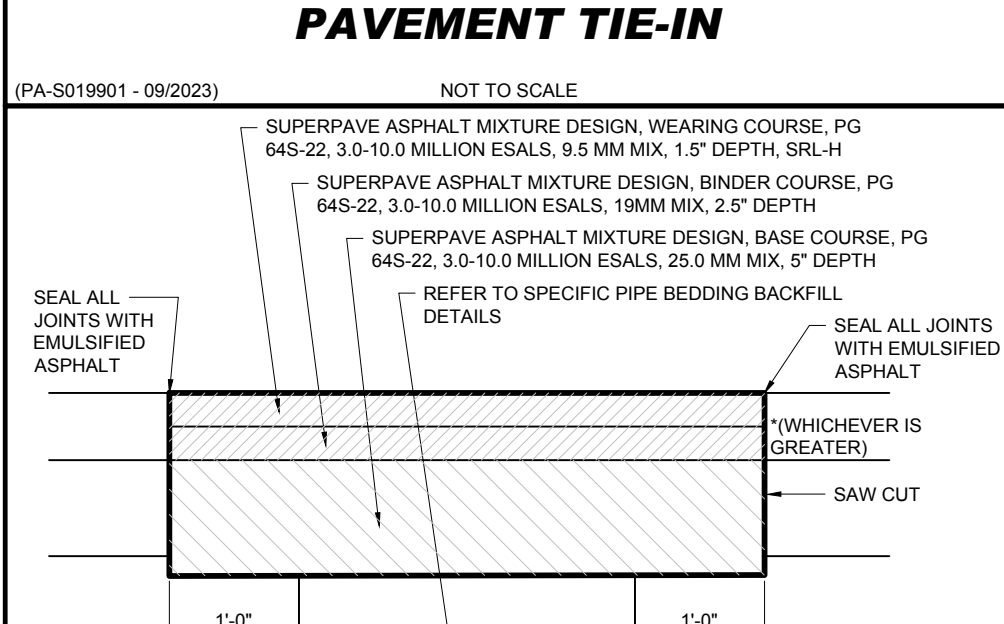
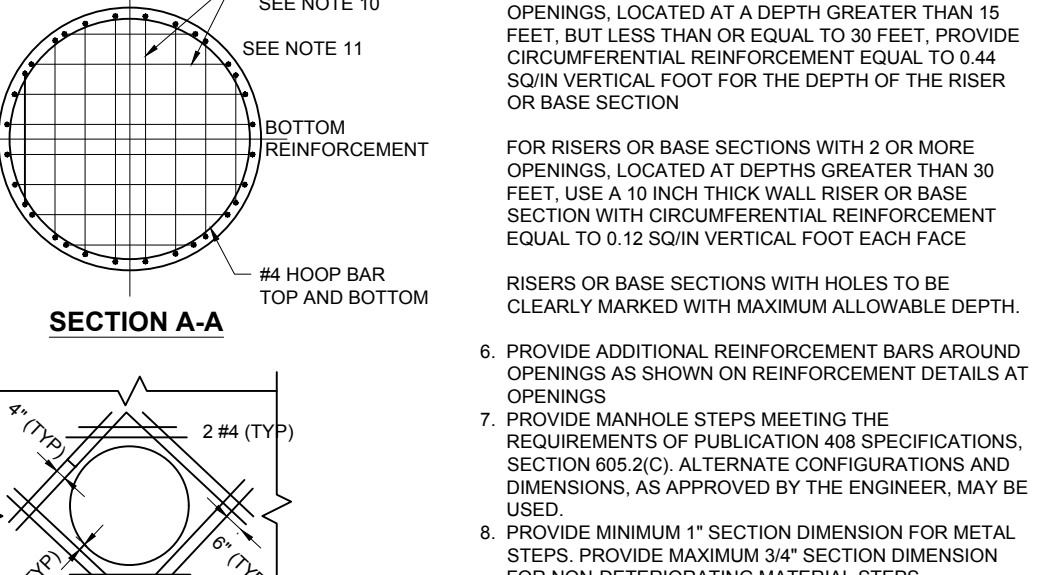
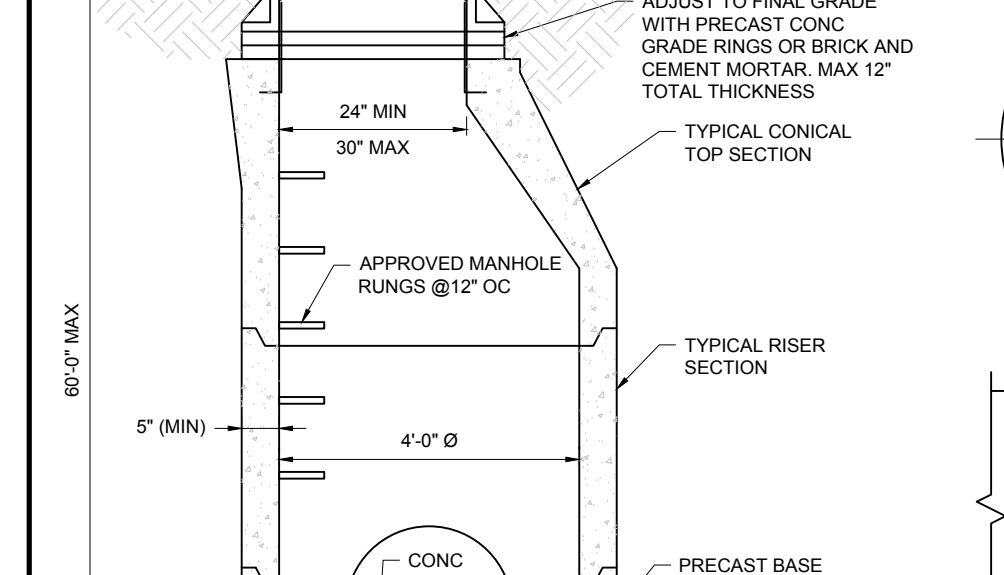
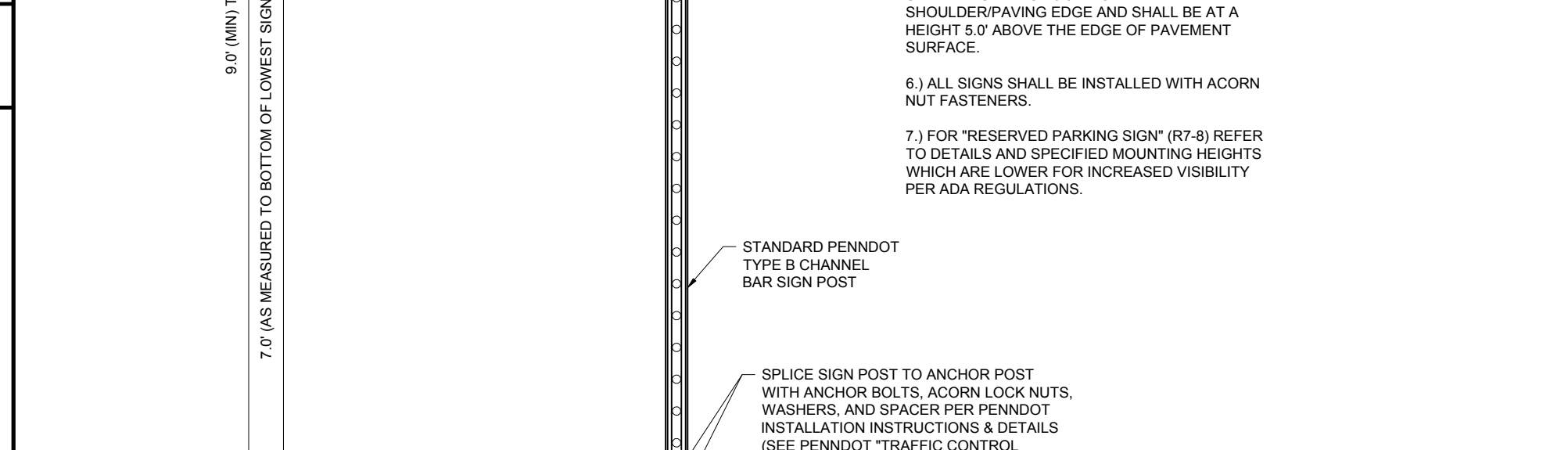
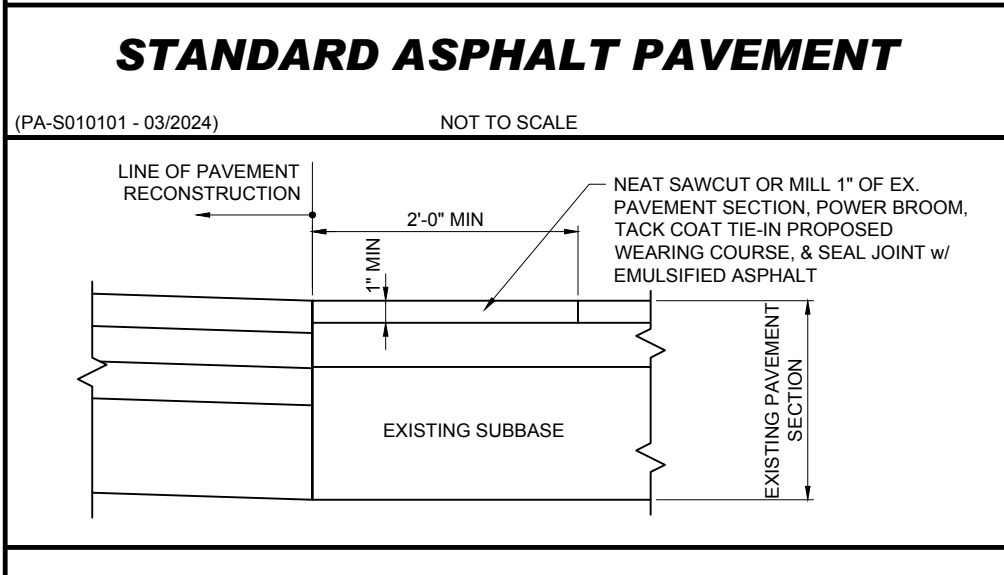
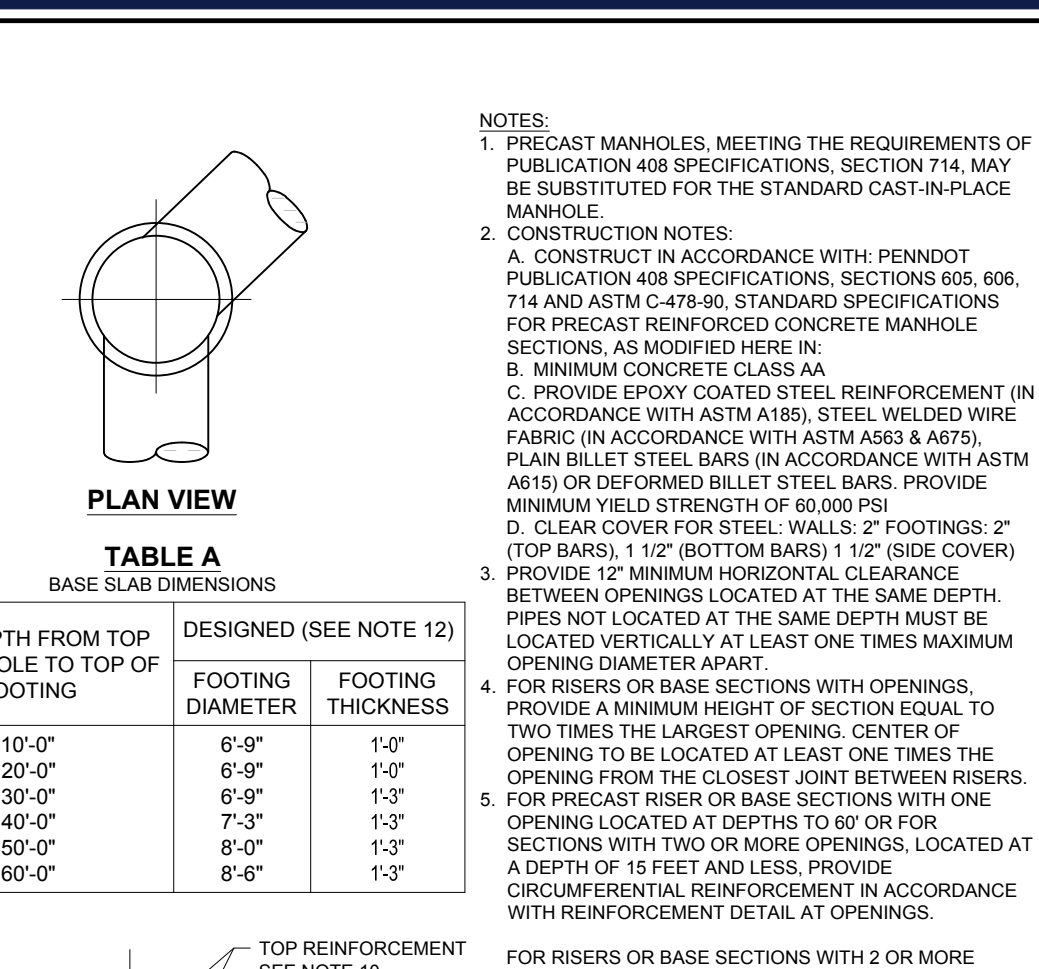
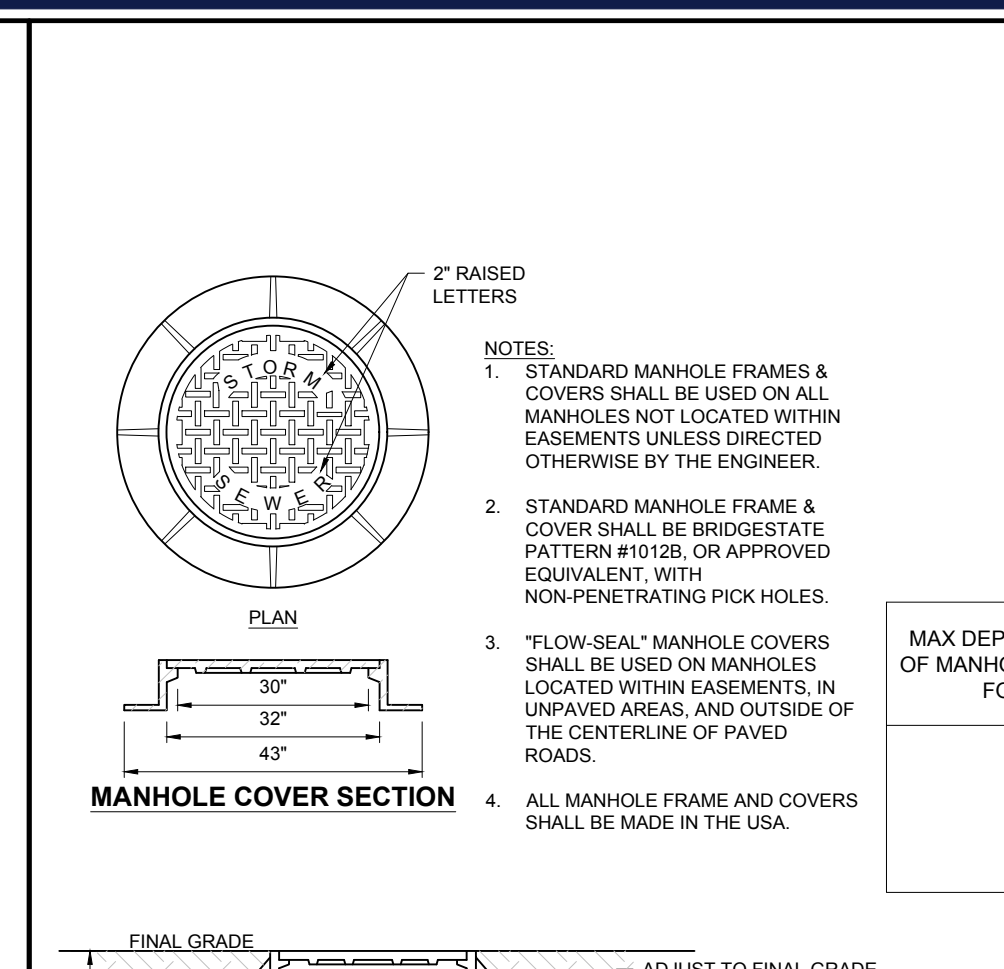
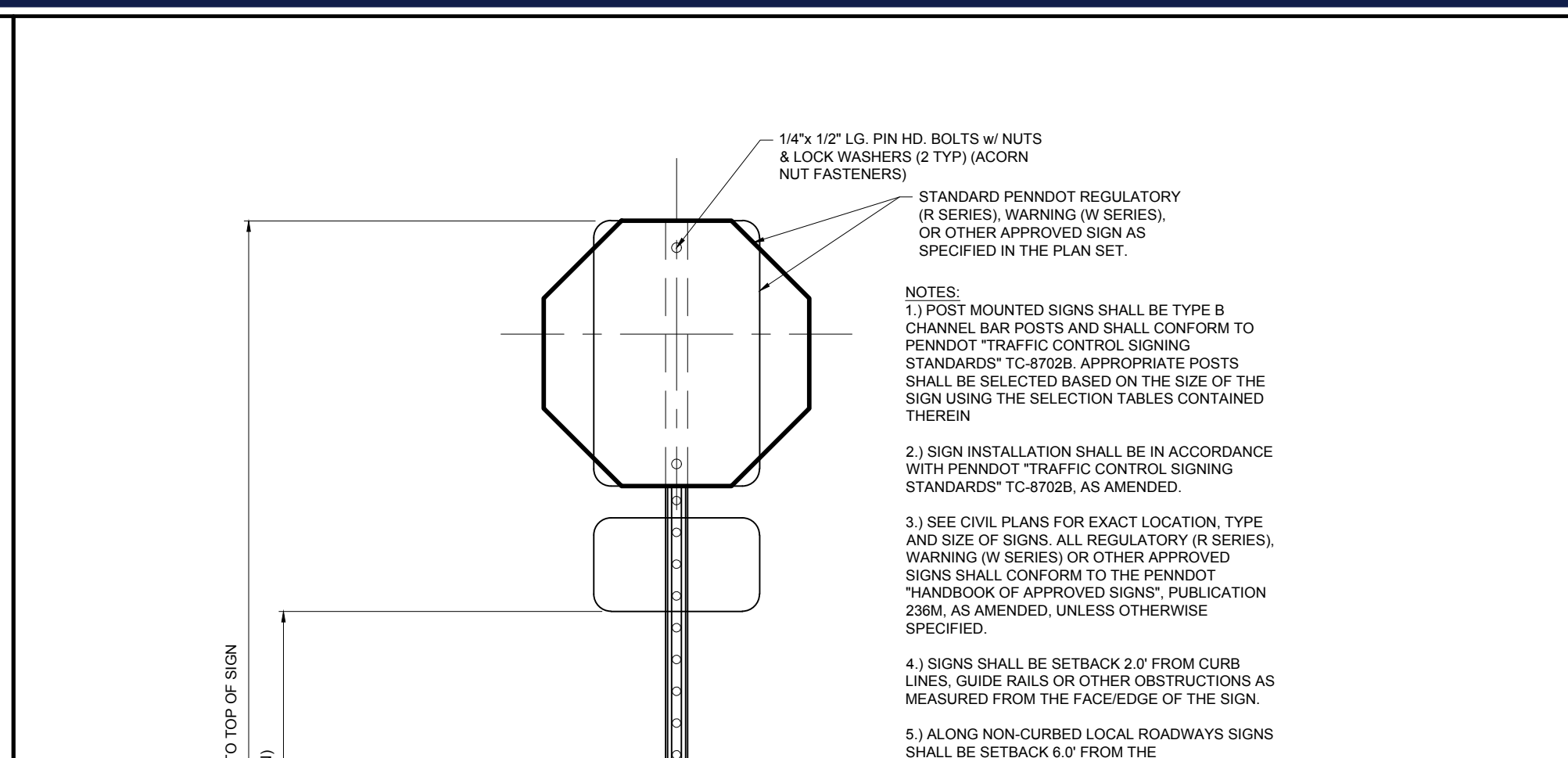
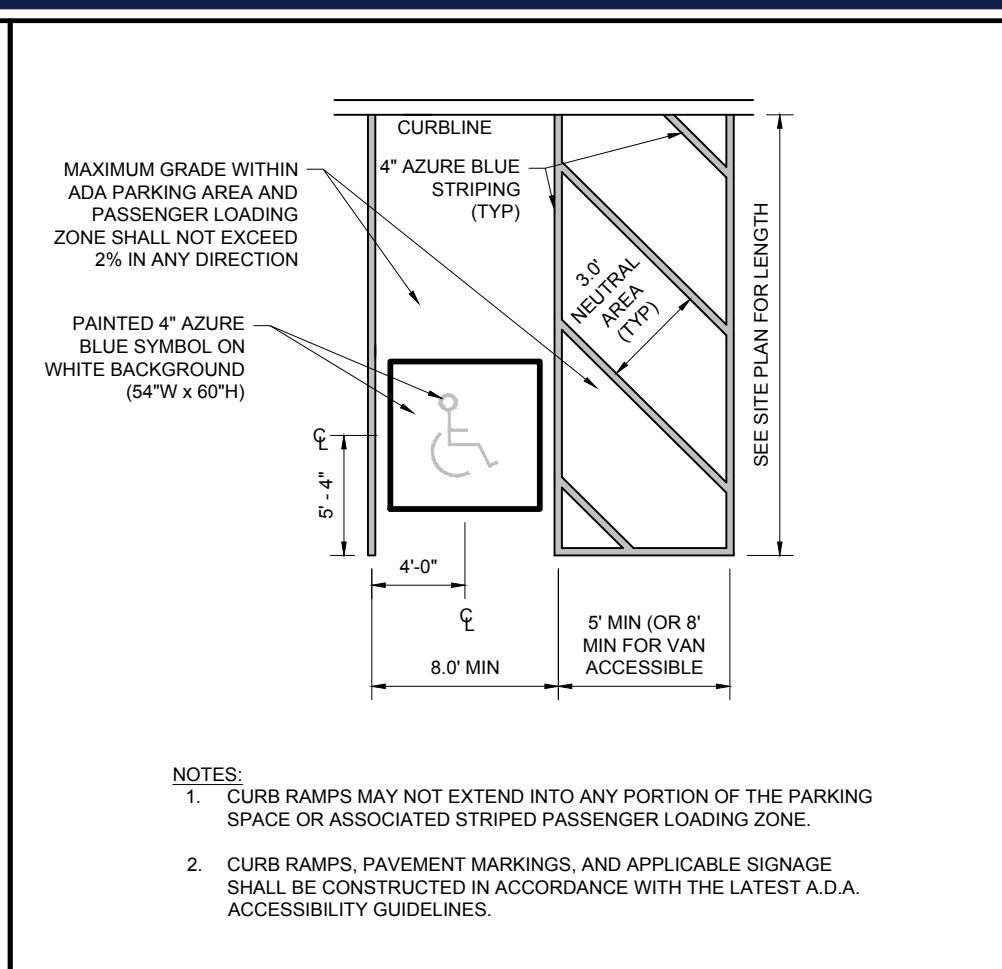
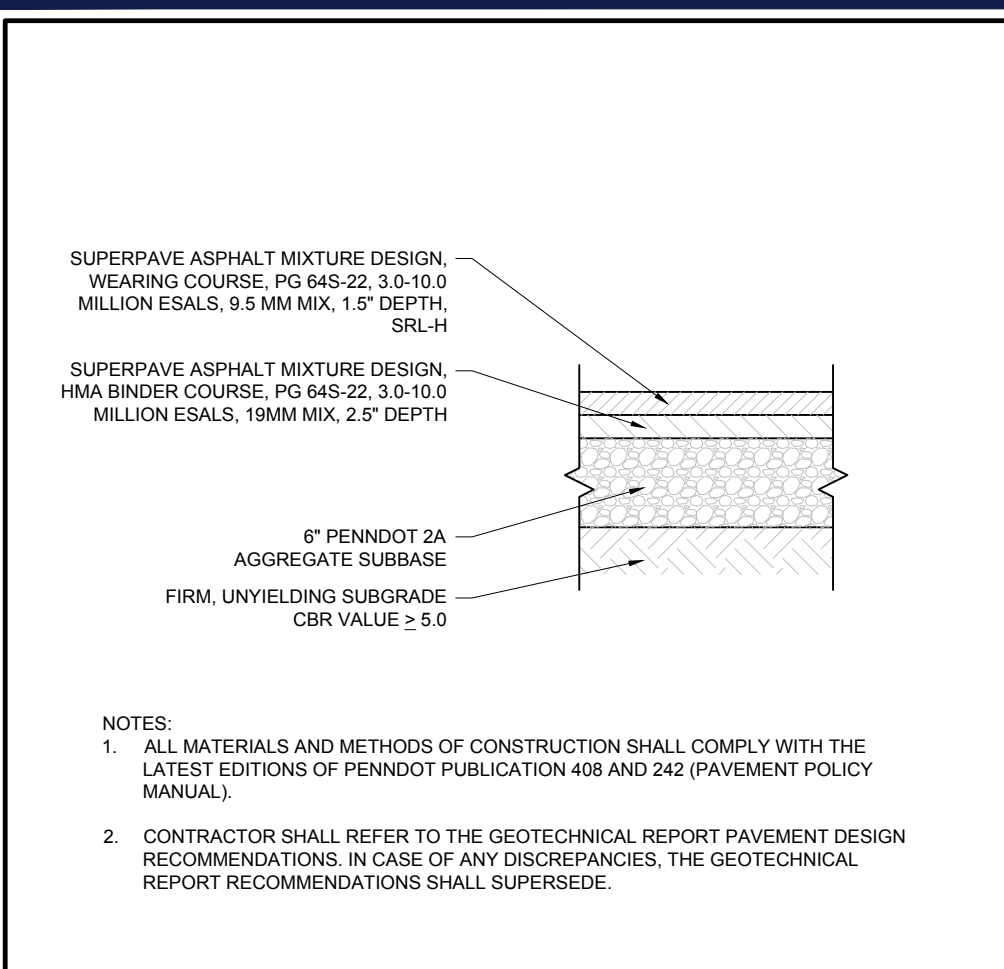


**POST CONSTRUCTION STORMWATER MANAGEMENT NOTES AND DETAILS**

SHEET NUMBER:  
**C-811**  
 31 OF 40

ORG. DATE - 01/02/2025





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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVL-CNDS

**PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**PENNMARQUE ELIZABETH MT JOY, LLC**  
PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
LANCASTER COUNTY  
COMMONWEALTH OF PENNSYLVANIA

**BOHLER**  
1600 MANOR DRIVE, SUITE 200  
CHALFONT, PA 18914  
Phone: (215) 996-9100  
Fax: (215) 996-9102  
www.BohlerEngineering.com

**J.P. ALEJNIKOV**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE055400

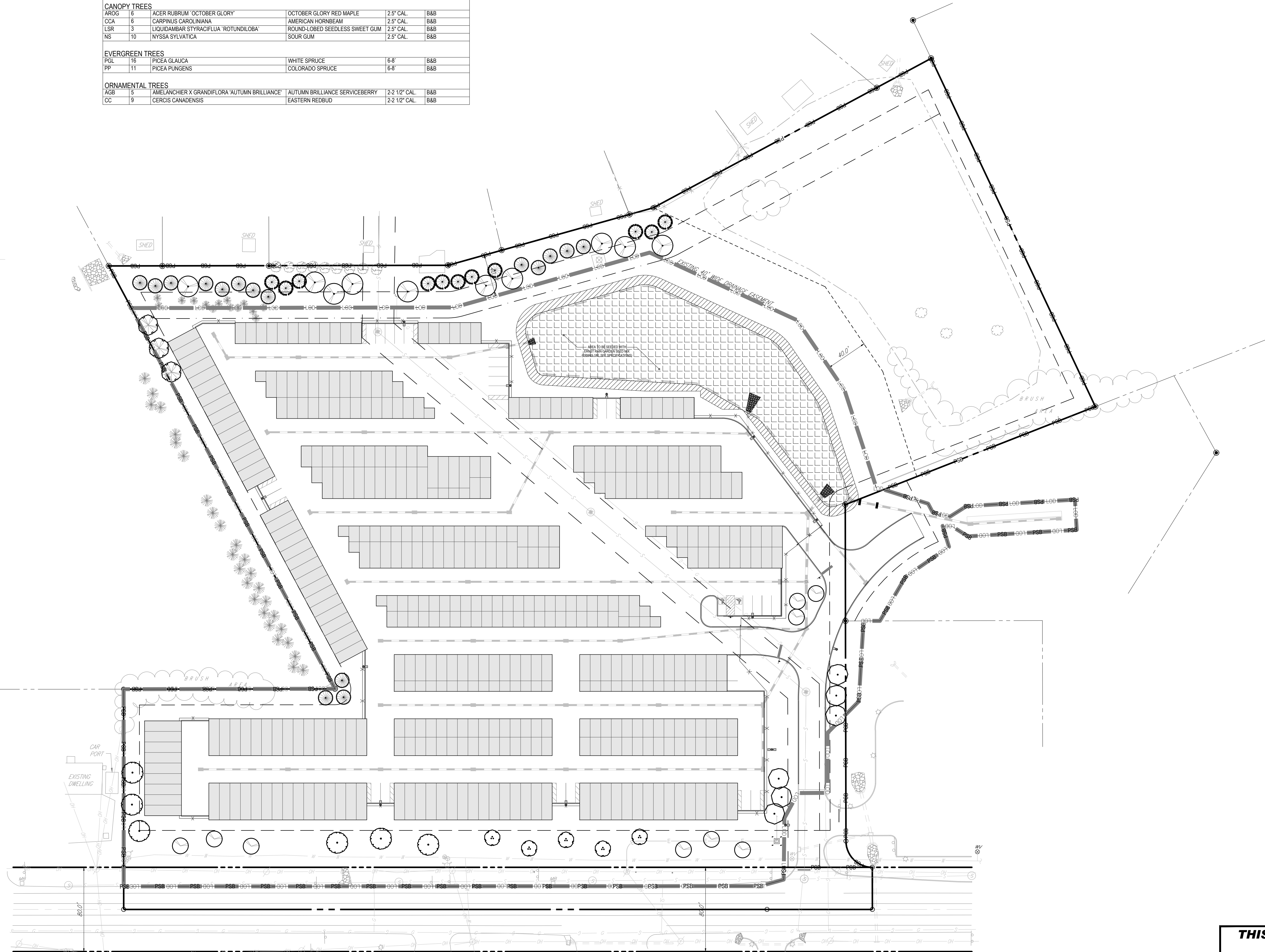
SHEET TITLE:  
**CONSTRUCTION DETAILS**  
SHEET NUMBER:  
**C-901**  
32 OF 40  
ORG. DATE - 01/02/2025

**GENERAL LANDSCAPE NOTES**

1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C. UNLESS OTHERWISE STATED ON THIS PLAN.
3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
4. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
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6. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
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8. REFER TO SHEET L-104 FOR LANDSCAPE COMPLIANCE CHART.



PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
AROG	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5' CAL	88B
CCA	6	CARPINUS CAROLINIANA	AMERICAN HORNEBEE	2.5' CAL	88B
LSR	3	LIQUIDAMBAR STYRACIFLUA 'ROTUNDOLOBA'	ROUND-LOBED SEEDLESS SWEET GUM	2.5' CAL	88B
NS	10	NYSSA SYLVATICA	SOUR GUM	2.5' CAL	88B
<b>EVERGREEN TREES</b>					
PGL	16	PICEA GLAUCA	WHITE SPRUCE	6-8'	88B
PP	11	PICEA PUNGENS	COLORADO SPRUCE	6-8'	88B
<b>ORNAMENTAL TREES</b>					
AGB	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2-2 1/2' CAL	88B
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2' CAL	88B



**PA 230 SOUTH MARKET STREET SR 0230**

SPEED LIMIT 45

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**



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PROJECT No.: PAA240089-00-0B  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CIVL-LLGT

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR  
**PENNMARK**  
**ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

**BOHLER**  
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 CHALFONT, PA 18914  
 Phone: (215) 996-9100  
 Fax: (215) 996-9102  
 www.BohlerEngineering.com

**PENNSYLVANIA**  
**D. J. NORTH**  
 REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE # 1496729  
 LANDSCAPE ARCHITECT

SHEET TITLE:  
**OVERALL LANDSCAPE PLAN**

SHEET NUMBER:  
**L-101**  
 33 OF 40

ORG. DATE - 01/02/2025

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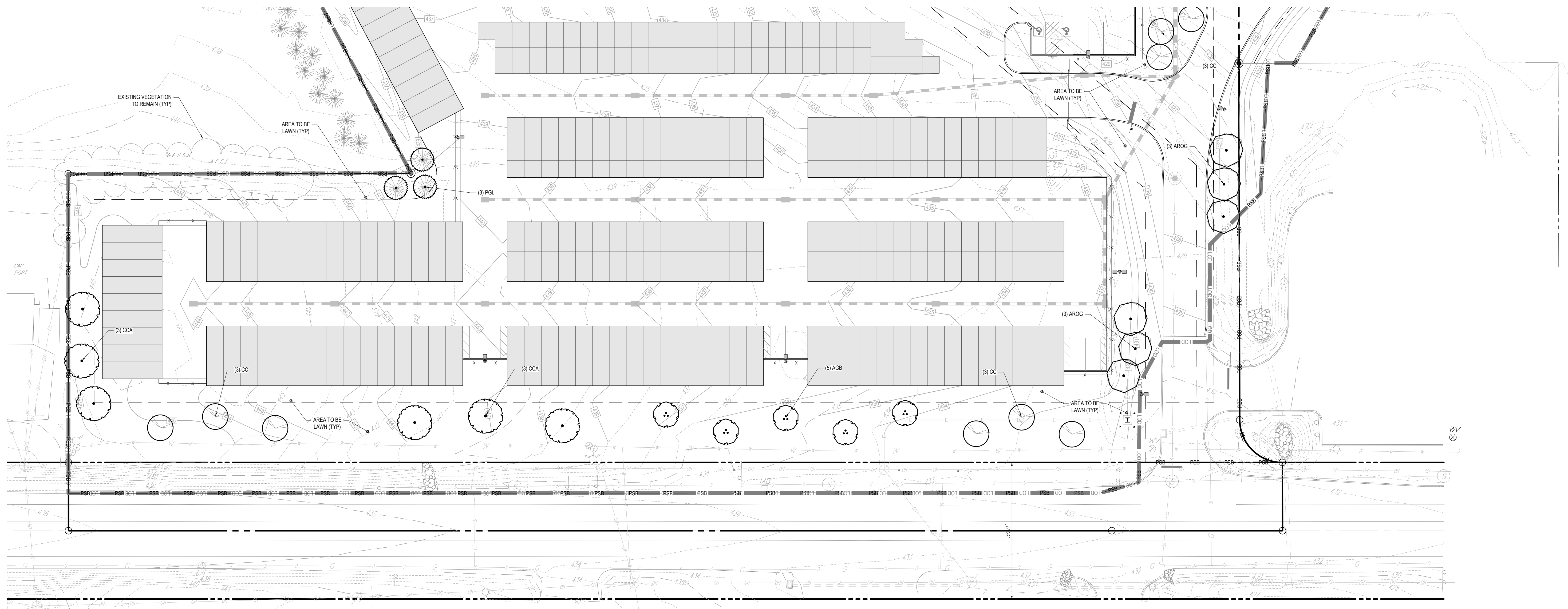
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**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
AROG	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5' CAL.	B&B
CCA	6	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5' CAL.	B&B
LSR	3	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROUND-LOBED SEEDLESS SWEET GUM	2.5' CAL.	B&B
NS	10	NYSSA SYLVATICA	SOUR GUM	2.5' CAL.	B&B
<b>EVERGREEN TREES</b>					
PGL	15	PICEA GLAUCA	WHITE SPRUCE	6-8'	B&B
PP	11	PICEA PUNGENS	COLORADO SPRUCE	6-8'	B&B
<b>ORNAMENTAL TREES</b>					
AGB	5	TAMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2.2 1/2' CAL.	B&B
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	2.2 1/2' CAL.	B&B

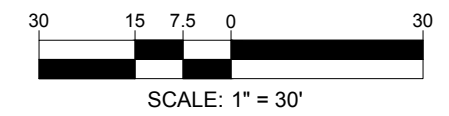
**MATCHLINE - SHEET L-103**



**PA 230 SOUTH MARKET STREET SR 0230**

SPEED LIMIT 45

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**



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PROJECT No.: PAA240089-00-0B  
 DRAWN BY: JHT/SWB  
 CHECKED BY: MEL  
 DATE: 01/02/2025  
 CAD ID: P-CIVL-LJGT

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**PENNMARK ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

**BOHLER**  
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SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-102**  
 34 OF 40

ORG. DATE - 01/02/2025

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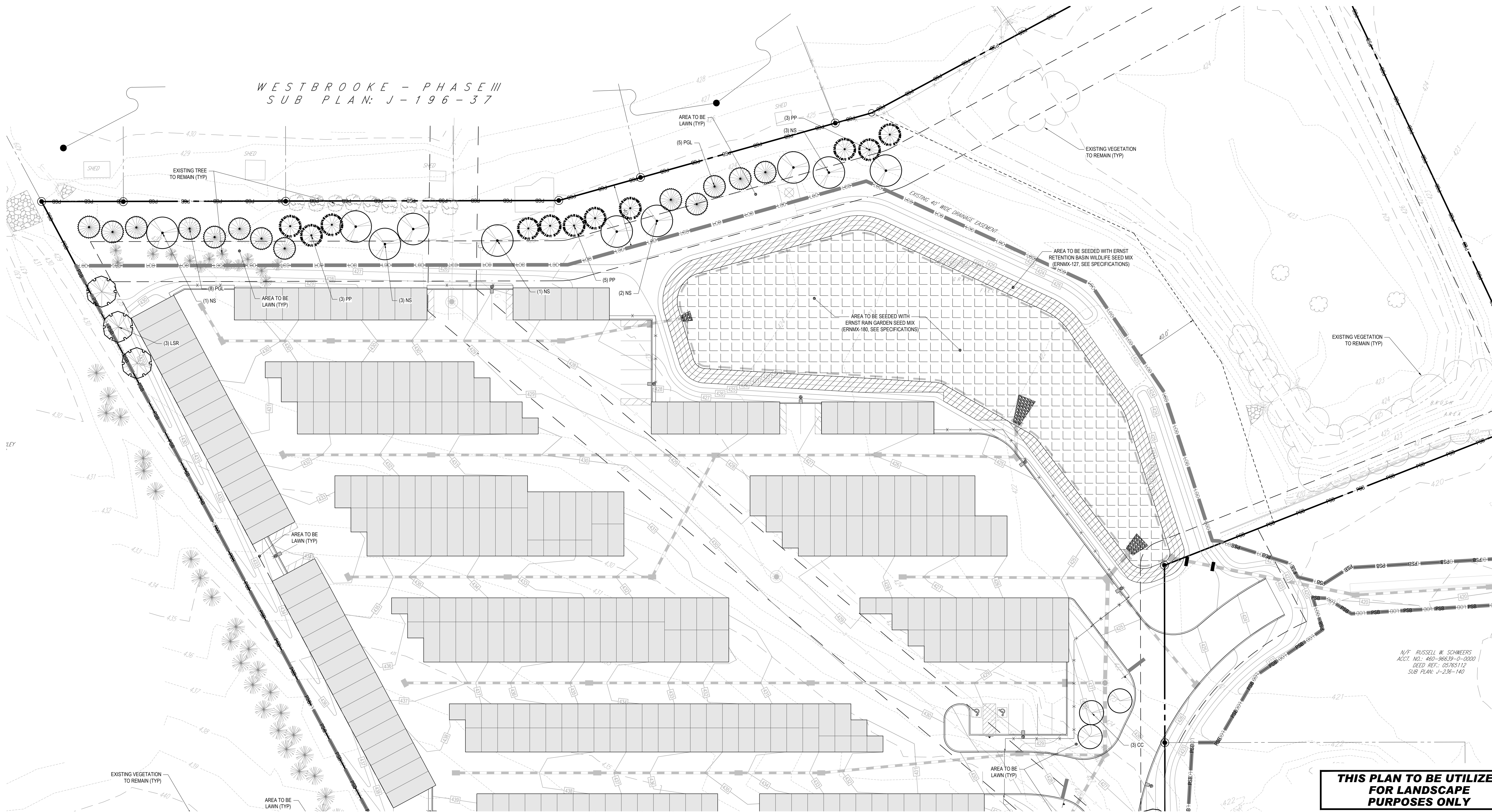
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**PLANT SCHEDULE**

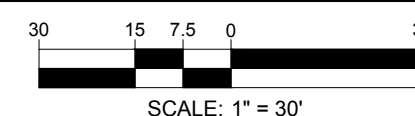
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AGB	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2.2 1/2' CAL.	B&B
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	2.2 1/2' CAL.	B&B

WESTBROOKE - PHASE III  
SUB PLAN: J-196-37



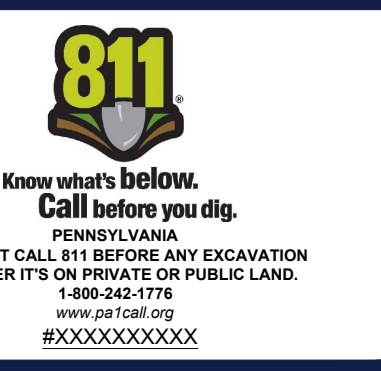
**MATCHLINE - SHEET L-102**

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PROJECT No.: PAA24089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID.: P-CIVL-LLGT

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**PENNMAR ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
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SHEET TITLE:  
**LANDSCAPE PLAN**  
SHEET NUMBER:  
**L-103**  
36 OF 40  
ORG. DATE - 01/02/2025

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LANDSCAPE COMPLIANCE CHART

Table with 4 columns: SECTION, REQUIREMENT, CALCULATIONS (REQUIRED / PROVIDED), COMPLIANCE. Includes sections for 135-299 Landscaping and Screening Requirements, 135-135 Area and Bulk Regulations, and Saldo 119-59 Landscaping and Street Tree Requirements.

ERNST SEED CO. RETENTION BASIN WILDLIFE SEED MIX SPECIFICATIONS (ERNMX-127)

Table of plant species for ERNMX-127 seed mix, including Panicum clandestinum, Carex vulpinoidea, Elymus virginicus, etc., with their respective percentages.

SEEDING RATE: 20 LBS PER ACRE OF THE ERNST MIX. NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS...

- NOTES: 1. THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. 2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY...

ERNST SEED CO. RAIN GARDEN MIX SEEDING SPECIFICATIONS (ERNMX-180)

Table of plant species for ERNMX-180 seed mix, including Chasmanthum latifolium, River Oats, Virginia Wild Rye, etc., with their respective percentages.

SEEDING RATE: 20 lb. PER ACRE OF THE ERNST MIX. NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS...

- NOTES: 1. THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. 2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY...

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK: THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT...

2. MATERIALS: A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS. B. TOPSOIL - NATURAL, FRAGILE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%...

3. GENERAL WORK PROCEDURES: A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN...

4. SITE PREPARATIONS: A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN...

5. TREE PROTECTION: A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE...

6. SOIL MODIFICATIONS: A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL...

7. FINISHED GRADING: A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

8. TOPSOILING: A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AND LAWN AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS...

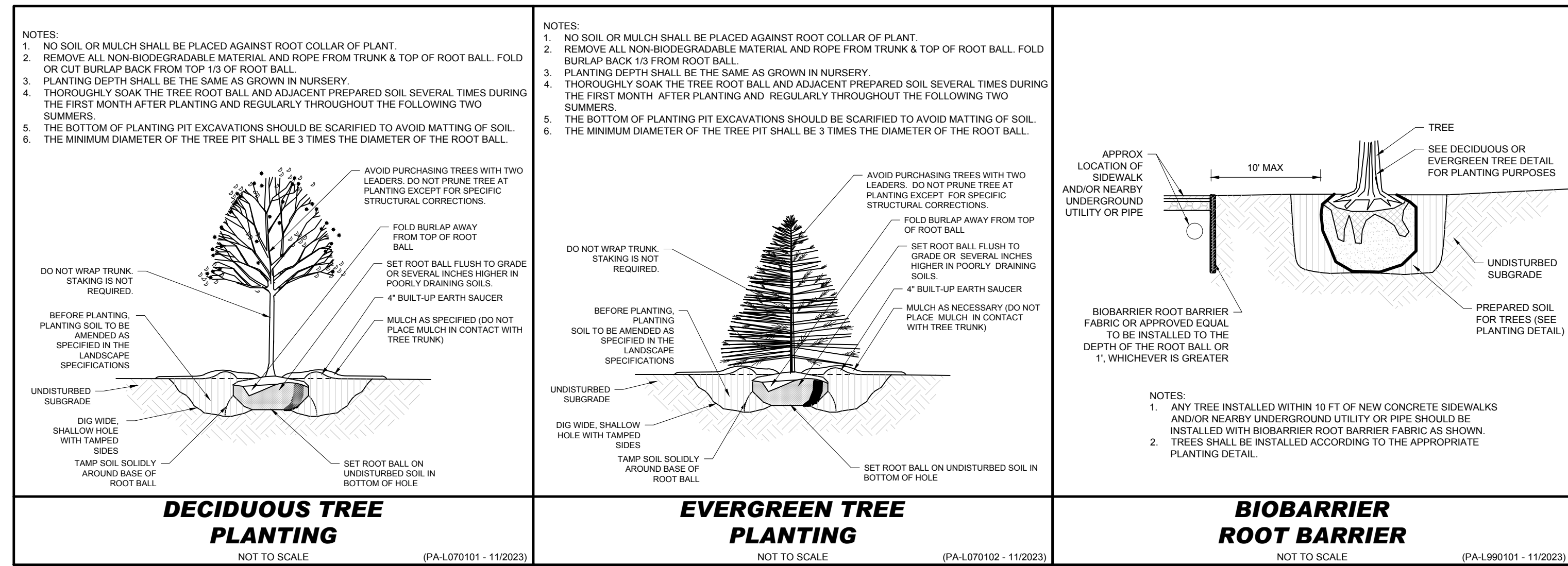
9. PLANTING: A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL...

10. TRANSPARENTING (WHEN REQUIRED): A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE SPECIFICATION 2F ABOVE) IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEADED IN WITH MULCH OR SOIL...

11. WATERING: A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED...

12. GUARANTEE: A. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION...

13. CLEANUP: A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.



BOHLER logo and text: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo with text: Know what's below. Call before you dig. PENNSYLVANIA WHO YOU CALL BEFORE ANY EXCAVATION...

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: PAA24098-00-0B DRAWN BY: JHT/SWB CHECKED BY: MEL DATE: 01/02/25 GAD ID: P-CIVL-LJGT

PRELIMINARY LAND DEVELOPMENT PLANS FOR PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE 2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

BOHLER logo and address: 1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914

Pennsylvania Landscaping & Site Construction logo with text: REGISTERED LANDSCAPE ARCHITECT PENNSYLVANIA LICENSE NO. LA00729

LANDSCAPE NOTES & DETAILS

SHEET NUMBER: L-104 36 OF 40 ORG. DATE - 01/02/2025

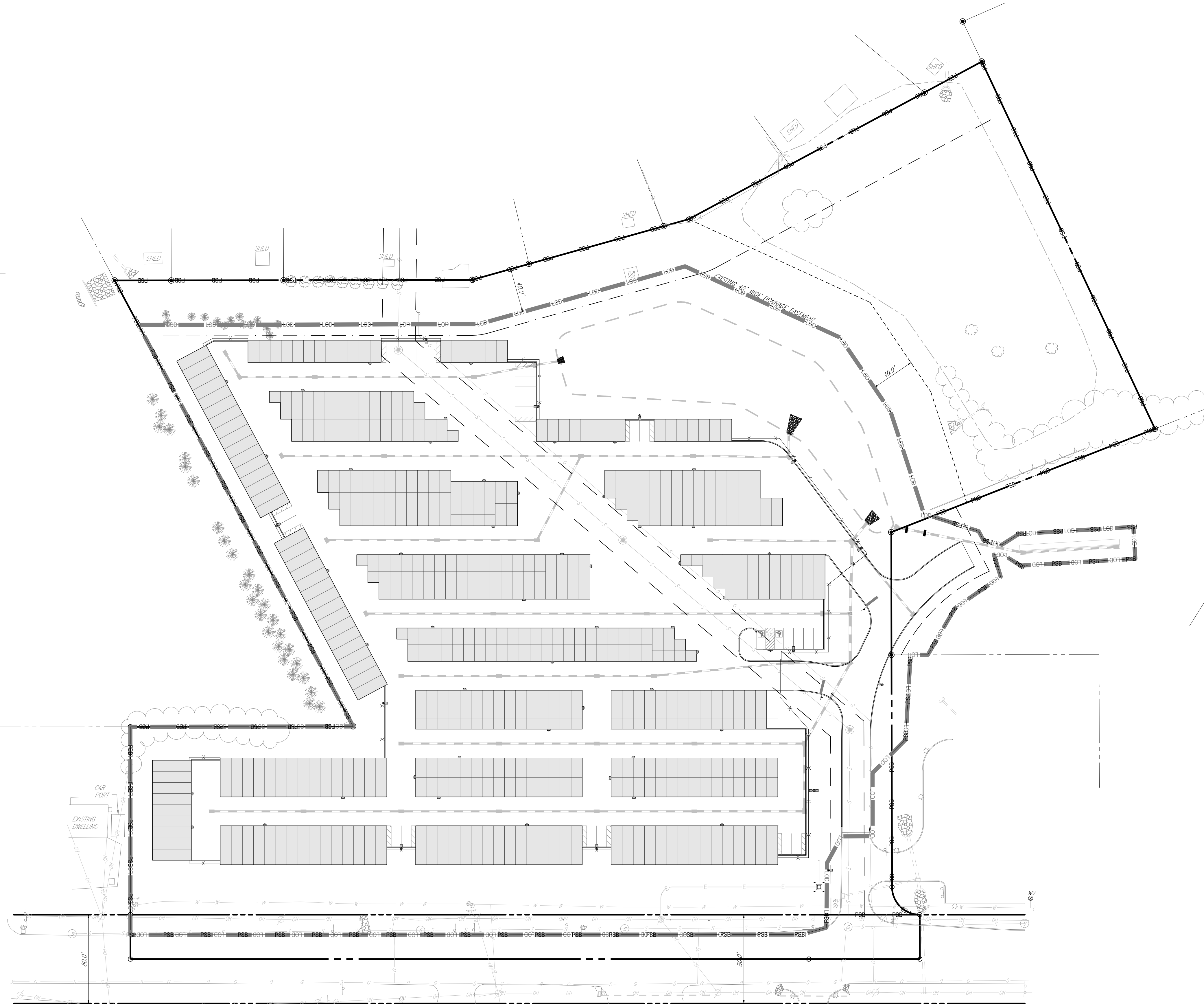
**LUMINAIRE SCHEDULE**

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2	1	20'-0" AFG	SINGLE	9650	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P2-S	2	20'-0" AFG	SINGLE	9373	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P3-D	1	20'-0" AFG	BACK-BACK	9762	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM28AS-x-x)
P3-S	2	20'-0" AFG	SINGLE	8462	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P4-S	6	20'-0" AFG	SINGLE	8523	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T4M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P5W	1	20'-0" AFG	SINGLE	10358	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T5W-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
W3	33	10'-0" AFF	SINGLE	5453	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T3M-x)	-----
W4	15	10'-0" AFF	SINGLE	5342	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T4M-x)	-----

\*REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING LOCATION AND HEIGHT.

**CALCULATION SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.36	6.6	0.0	N.A.	N.A.
PROPERTY LINE - NON-RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.04	0.5	0.0	N.A.	N.A.
PROPERTY LINE - RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.	N.A.
PAVED AREA	ILLUMINANCE	Fc	1.90	6.6	0.5	3.80	13.20



**GENERAL LIGHTING NOTES**

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- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
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- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS. UNLESS OTHERWISE NOTED, LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.
- REFER TO SHEET L-204 FOR LIGHTING COMPLIANCE CHART.

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



**PA 230 SOUTH MARKET STREET SR 0230**  
SPEED LIMIT 45

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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVIL-LTGT

PROJECT:  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**PENNMAR ELIZABETH MT JOY, LLC**  
PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
LANCASTER COUNTY  
COMMONWEALTH OF PENNSYLVANIA

**BOHLER**  
1600 MANOR DRIVE, SUITE 200  
CHALFONT, PA 18914  
Phone: (215) 996-9100  
Fax: (215) 996-9102  
www.BohlerEngineering.com

**PENNSYLVANIA**  
**D. J. NORTH**  
REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE NO. LA00729  
RED LANDSCAPE ARCHITECT

SHEET TITLE:  
**OVERALL LIGHTING PLAN**  
SHEET NUMBER:  
**L-201**  
37 OF 40  
ORG. DATE - 01/02/2025

R:\2024\PA240089\00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PC-CIVIL-LTGT-PA240089-00-0B-...-LAYOUT\_L-201.LGT



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- REFER TO SHEET L-208 FOR LIGHTING COMPLIANCE CHART.

**LUMINAIRE SCHEDULE**

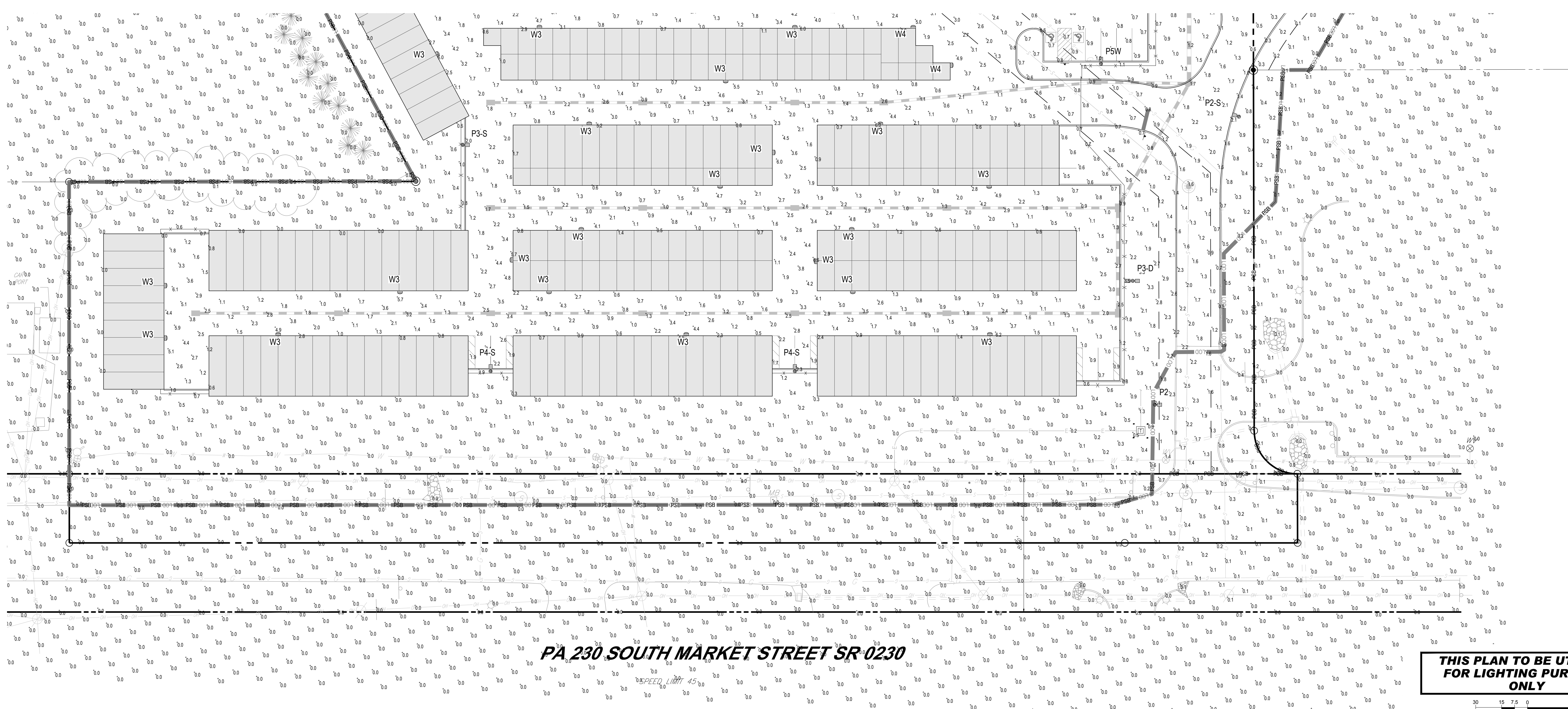
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2	1	20'-0" AFG	SINGLE	9650	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CR-12M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-48-DM19AS-x-x)
P2-S	2	20'-0" AFG	SINGLE	8373	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CR-12M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-48-DM19AS-x-x)
P3-D	1	20'-0" AFG	BACK-BACK	9762	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSX1-LED-P3-40K-70CR-13M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-48-DM19AS-x-x)
P3-S	2	20'-0" AFG	SINGLE	8462	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P3-40K-70CR-13M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-48-DM19AS-x-x)
P4-S	6	20'-0" AFG	SINGLE	8623	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P4-40K-70CR-14M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-48-DM19AS-x-x)
PSW	1	20'-0" AFG	SINGLE	10358	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE SW, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CR-15W-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-48-DM19AS-x-x)
W3*	33	10'-0" AFF	SINGLE	5453	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSXW1-LED-20C-40K-13M-x)	-----
W4*	15	10'-0" AFF	SINGLE	5342	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-40K-14M-x)	-----

\* REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING LOCATION AND HEIGHT.

**CALCULATION SUMMARY**

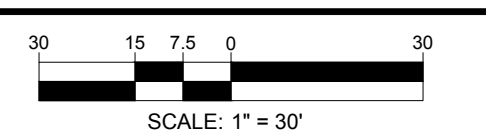
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	FC	0.35	6.6	0.0	N.A.	N.A.
PROPERTY LINE - NON-RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	FC	0.04	0.5	0.0	N.A.	N.A.
PROPERTY LINE - RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	FC	0.00	0.0	0.0	N.A.	N.A.
PAVED AREA	ILLUMINANCE	FC	1.90	6.6	0.5	3.80	13.20

**MATCHLINE - SHEET L-203**



**PA 230 SOUTH MARKET STREET SR 0230**

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



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PROJECT No.:	PAA240089-00-0B
DRAWN BY:	JHT/SWB
CHECKED BY:	MEL
DATE:	01/02/2025
CAD ID:	P-CIV-L-LGT

**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR

**PENNMARQUE ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
 2269 SOUTH MARKET STREET  
 TOWNSHIP OF MOUNT JOY  
 LANCASTER COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

**BOHLER**  
 1600 MANOR DRIVE, SUITE 200  
 CHALFONT, PA 18914  
 Phone: (215) 996-9100  
 Fax: (215) 996-9102  
 www.BohlerEngineering.com

**PENNSYLVANIA**  
**D. J. NORTH**  
 REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE # 156729  
 RED LANDSCAPE ARCHITECT

SHEET TITLE:  
**LIGHTING PLAN**  
 SHEET NUMBER:  
**L-202**  
 38 OF 40  
 ORG. DATE - 01/02/2025

R:\2024\PA240089\00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\P-CIV-L-LGT\PA240089-00-0B-LAYOUT\_L-202.LIGHT



**GENERAL LIGHTING NOTES**

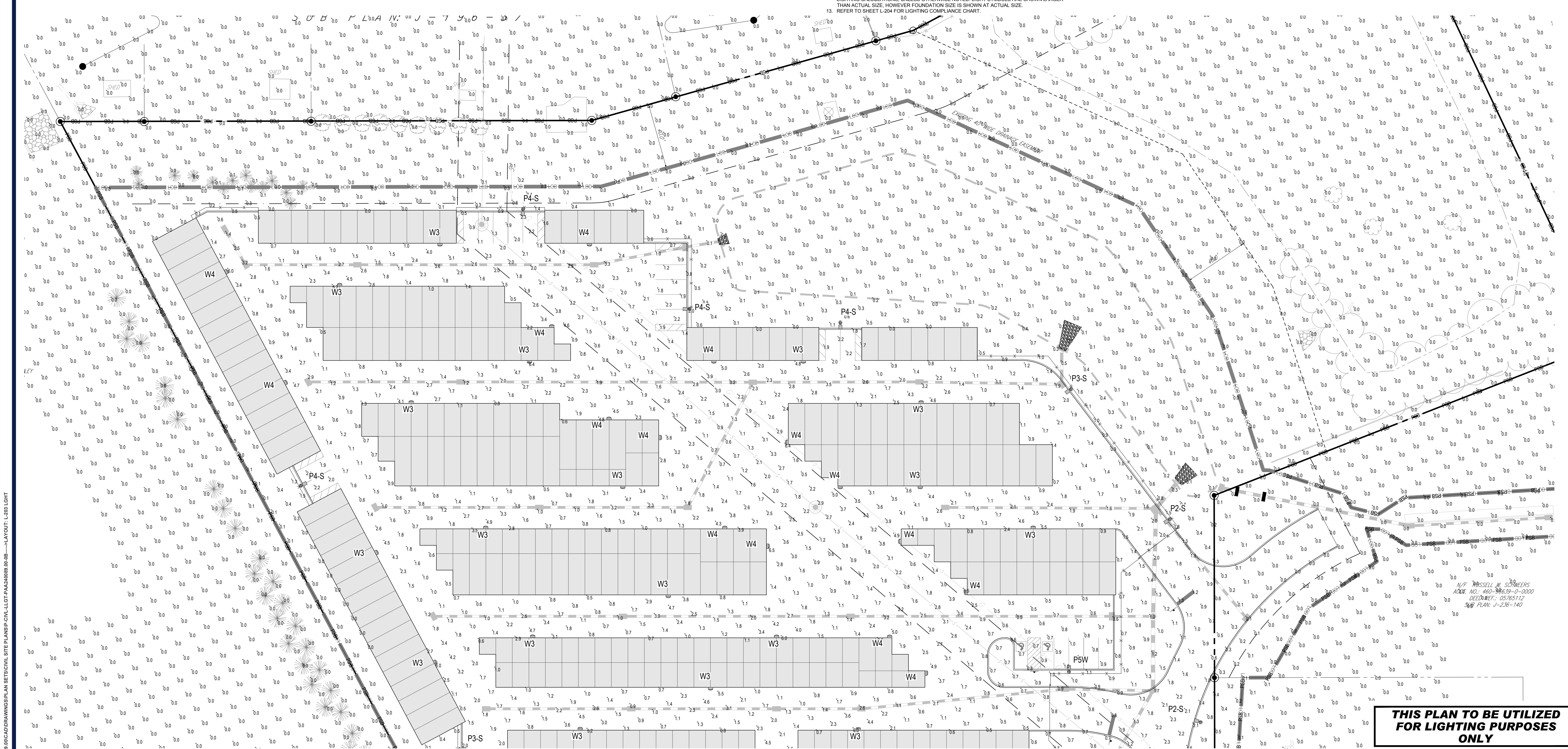
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- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-60-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE. HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE. REFER TO SHEET L-204 FOR LIGHTING COMPLIANCE CHART.

**LUMINAIRE SCHEDULE**

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2-S	1	20'-0" AFG	SINGLE	9650	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-12M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P2-S	2	20'-0" AFG	SINGLE	8373	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-12M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P3-S	1	20'-0" AFG	BACK-BACK	9762	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-13M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM28AS-x-x)
P3-S	2	20'-0" AFG	SINGLE	8462	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-13M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P4-S	6	20'-0" AFG	SINGLE	8523	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-14M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P5W	1	20'-0" AFG	SINGLE	10389	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-15W-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
W3	33	10'-0" AFF	SINGLE	5453	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSXW1-LED-20C-40K-13M-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
W4	15	10'-0" AFF	SINGLE	5342	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-40K-14M-x)	---

**CALCULATION SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	Fc	0.36	6.6	0.0	N.A.	N.A.
PROPERTY LINE - NON-RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.04	0.5	0.0	N.A.	N.A.
PROPERTY LINE - RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.	N.A.
PAVED AREA	ILLUMINANCE	Fc	1.90	6.6	0.5	3.80	13.20



**MATCHLINE - SHEET L-202**

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD ID: P-CIVL-LLJ

**PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR

**PENNMARQUE ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE  
2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
LANCASTER COUNTY  
COMMONWEALTH OF PENNSYLVANIA

**BOHLER**  
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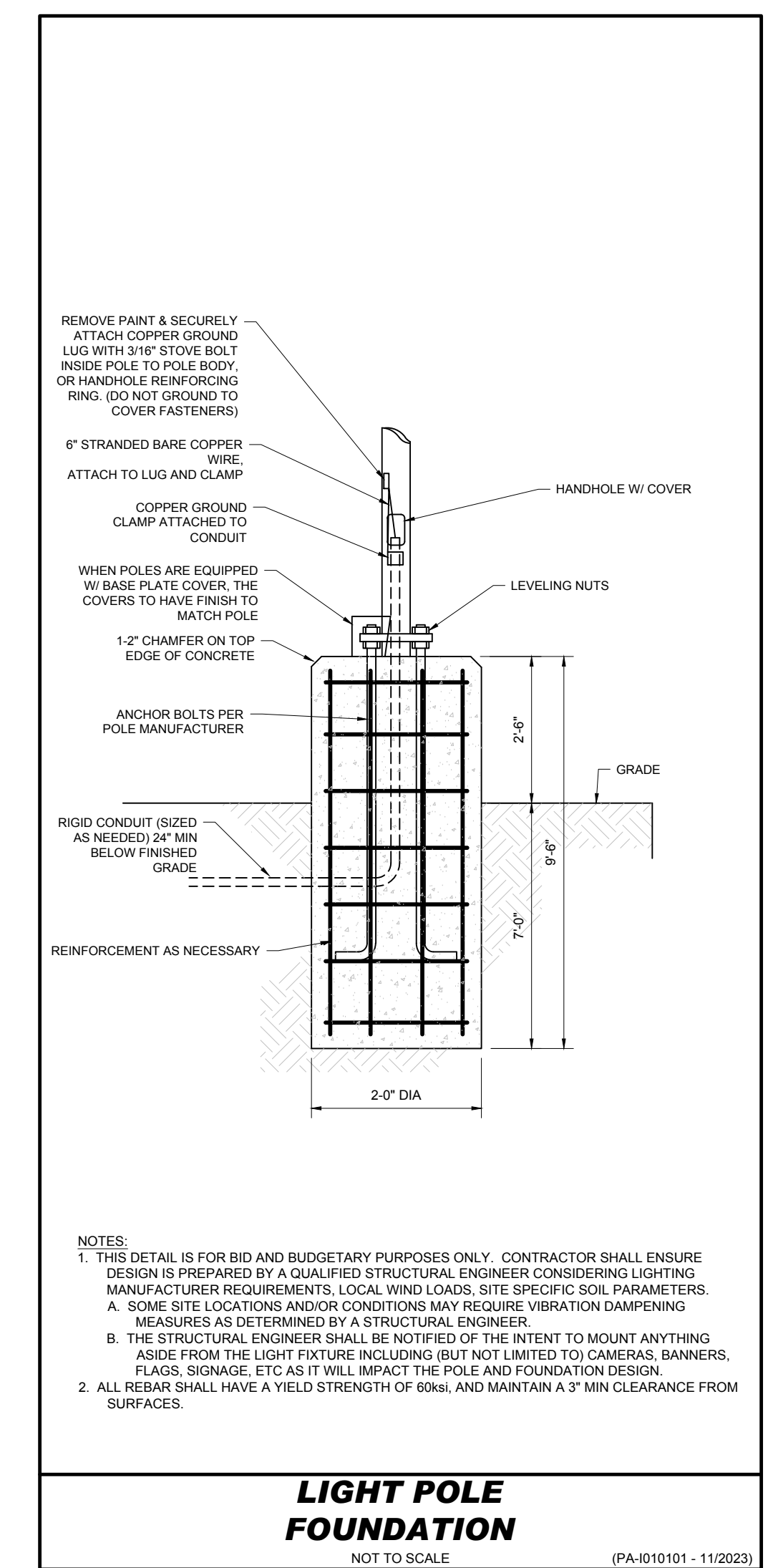
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REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE NO. LND-0729  
RED LANDSCAPE ARCHITECTURE

SHEET TITLE:  
**LIGHTING PLAN**  
SHEET NUMBER:  
**L-203**  
39 OF 40  
ORG. DATE - 01/02/2025



**LIGHTING COMPLIANCE CHART**

SECTION	REQUIREMENT	COMPLIANCE
ZONING: 135-245 MINIWAREHOUSES	I. LIGHTING FACILITIES SHALL BE PROVIDED AND ARRANGED IN A MANNER WHICH SHALL PROTECT THE HIGHWAY AND NEIGHBORING PROPERTIES FROM ANY DIRECT GLARE OR HAZARDOUS INTERFERENCE OF ANY KIND.	COMPLIES
135-288 LIGHTING REGULATIONS	C.(2) WALL-MOUNTED LUMINAIRES INTENDED FOR PARKING LOT ILLUMINATION ON COMMERCIAL, INDUSTRIAL, NONRESIDENTIAL, AND MULTIFAMILY RESIDENTIAL BUILDINGS AND STRUCTURES SHALL HAVE FIXTURES THAT CUT OFF DIRECT LIGHT FROM VIEW. ALL PARKING LOT AND SITE PERIMETER LIGHTING SHALL BE LOCATED ON POLES OR AT GROUND LEVEL AND MUST BE DIRECTED TOWARDS THE PROPERTY INTERIOR. ALL LUMINAIRES DESIGNED FOR ENTRYWAYS AND DECORATIVE PURPOSES ON NONRESIDENTIAL AND MULTIFAMILY RESIDENTIAL BUILDINGS AND STRUCTURES WHICH EXCEED 2,000 LUMENS (150-WATTS INCANDESCENT) SHALL HAVE FIXTURES THAT CUT OFF DIRECT LIGHT FROM VIEW.	COMPLIES
	C.(3) ALL NONRESIDENTIAL, SITE LIGHT SOURCES, AND RESIDENTIAL LIGHT SOURCES HIGHER THAN 12 FEET, SHALL BE DIRECTED AWAY FROM PUBLIC STREETS AND PRIVATE PROPERTIES. THE LAMPS SHALL BE SHIELDED IN A MANNER SO THAT THEY ARE NOT VISIBLE FROM THE ADJOINING PROPERTY. SENSOR-CONTROLLED LAMPS EXCEEDING 2,000 LUMENS (150-WATTS INCANDESCENT) SHALL HAVE CUTOFF-TYPE LUMINAIRES.	COMPLIES
	C.(5) IN PARKING LOTS, LUMINAIRES SHALL BE LOCATED ON MAST ARMS, WHERE NECESSARY, SUCH THAT TREES DO NOT INTERFERE WITH THE REQUIRED LIGHTING.	COMPLIES
	C.(6) PARKING FACILITY, VEHICULAR AND PEDESTRIANWAY LIGHTING (EXCEPT FOR SAFETY, SECURITY APPLICATIONS AND ALL-NIGHT BUSINESS OPERATIONS) FOR COMMERCIAL, INDUSTRIAL, AND INSTITUTIONAL USES SHALL BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATIONS, WHEN SAFETY AND SECURITY LIGHTING IS PROPOSED FOR AFTER-HOURS ILLUMINATION, IT SHALL NOT BE IN EXCESS OF 33% OF THE NUMBER OF FIXTURES REQUIRED OR PERMITTED FOR ILLUMINATION DURING REGULAR BUSINESS HOURS.	COMPLIES
	C.(12) LUMINAIRES SHALL NOT BE PERMITTED WHICH SHINE INTO THE NIGHT SKY. FLOOD AND/OR SPOT LIGHTS UTILIZED FOR THE UPLIGHTING OF BUILDING FACADES AND LANDSCAPING SHALL HAVE LUMINAIRES WITH A MAXIMUM OUTPUT OF NO MORE THAN 1,800 LUMENS (100 WATTS INCANDESCENT) AND SHALL BE COMPLETELY SHIELDED TO PREVENT GLARE INTO THE NIGHT SKY.	COMPLIES
	C.(16)(A) THE MAXIMUM PERMITTED ILLUMINATION PROJECTED FROM ANY USE ONTO A RESIDENTIAL USE SHALL AT NO TIME EXCEED 0.1 FOOTCANDLE, MEASURED LINE-OF-SIGHT FROM ANY POINT ON THE RECEIVING RESIDENTIAL PROPERTY.	COMPLIES
	C.(16)(B) THE MAXIMUM PERMITTED ILLUMINATION PROJECTED AWAY FROM ANY PROPERTY TO A NONRESIDENTIAL USE SHALL AT NO TIME EXCEED 1.0 FOOTCANDLE, MEASURED LINE-OF-SIGHT FROM ANY POINT ON THE RECEIVING PROPERTY.	COMPLIES
	C.(17) VEGETATION SCREENS SHALL NOT BE EMPLOYED TO SERVE AS THE PRIMARY MEANS FOR CONTROLLING GLARE. GLARE CONTROL SHALL BE ACHIEVED PRIMARILY THROUGH THE USE OF SUCH MEANS AS CUTOFF FIXTURES, SHIELDS, BAFFLES, AND APPROPRIATE APPLICATION OF FIXTURE MOUNTING HEIGHT, WATTAGE, AIMING ANGLE, AND FIXTURE PLACEMENT	COMPLIES
	D.(2) AN EXTERIOR LIGHTING PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, A DETAILED GRID OF ILLUMINATION LEVELS, A CALCULATION AS TO THE AVERAGE ILLUMINATION LEVELS, THE NUMBER OF LIGHTING FIXTURES, THE HEIGHT AND LOCATION OF THE MOUNTING FIXTURES, INCLUDING THE UNDERSIDE OF ANY CANOPIES, DETAILS AS TO HOW LIGHTING WILL BE RECESSED, AND REQUIRED DETAILS OF HOW LIGHTING WILL BE SHIELDED AND THE ANGLE OF THE SHIELDING WHEN REQUIRED, AND DETAILS OF ANY BUILDING-OR CANOPY-MOUNTED LIGHTING TO SHOW THAT THE OUTLINE AND ROOFLINE PROVISIONS HAVE BEEN MET.	COMPLIES
135-326 PERFORMANCE AND DESIGN STANDARDS FOR ALL NONRESIDENTIAL USES	C. PARKING AREAS SHALL BE SUITABLY ILLUMINATED FOR NIGHT USE IF NIGHT OPERATIONS SHALL BE PROPOSED. ALL LIGHTING SHALL BE REFLECTED AWAY FROM LOTS IN A RESIDENTIAL ZONING DISTRICT OR ANY EXISTING RESIDENTIAL DEVELOPMENT.	COMPLIES



**LIGHT POLE FOUNDATION**  
NOT TO SCALE (PA-010101 - 1/12/2023)

- NOTES:
- THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS, SITE SPECIFIC SOIL PARAMETERS. A. SOME SITE LOCATIONS AND/OR CONDITIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
  - THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING ASIDE FROM THE LIGHT FIXTURE INCLUDING (BUT NOT LIMITED TO) CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
  - ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60ksi AND MAINTAIN A 3" MIN CLEARANCE FROM SURFACES.

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PROJECT No.: PAA240089-00-0B  
DRAWN BY: JHT/SWB  
CHECKED BY: MEL  
DATE: 01/02/2025  
CAD LD.: P-CIVL-LLGT

PROJECT:

**PRELIMINARY LAND DEVELOPMENT PLANS**

FOR

**PENNMARQUE ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET  
TOWNSHIP OF MOUNT JOY  
LANCASTER COUNTY  
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PENNSYLVANIA LICENSE # 1508729  
REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:  
**LIGHTING DETAILS**

SHEET NUMBER:  
**L-204**  
40 OF 40

ORG. DATE - 01/02/2025