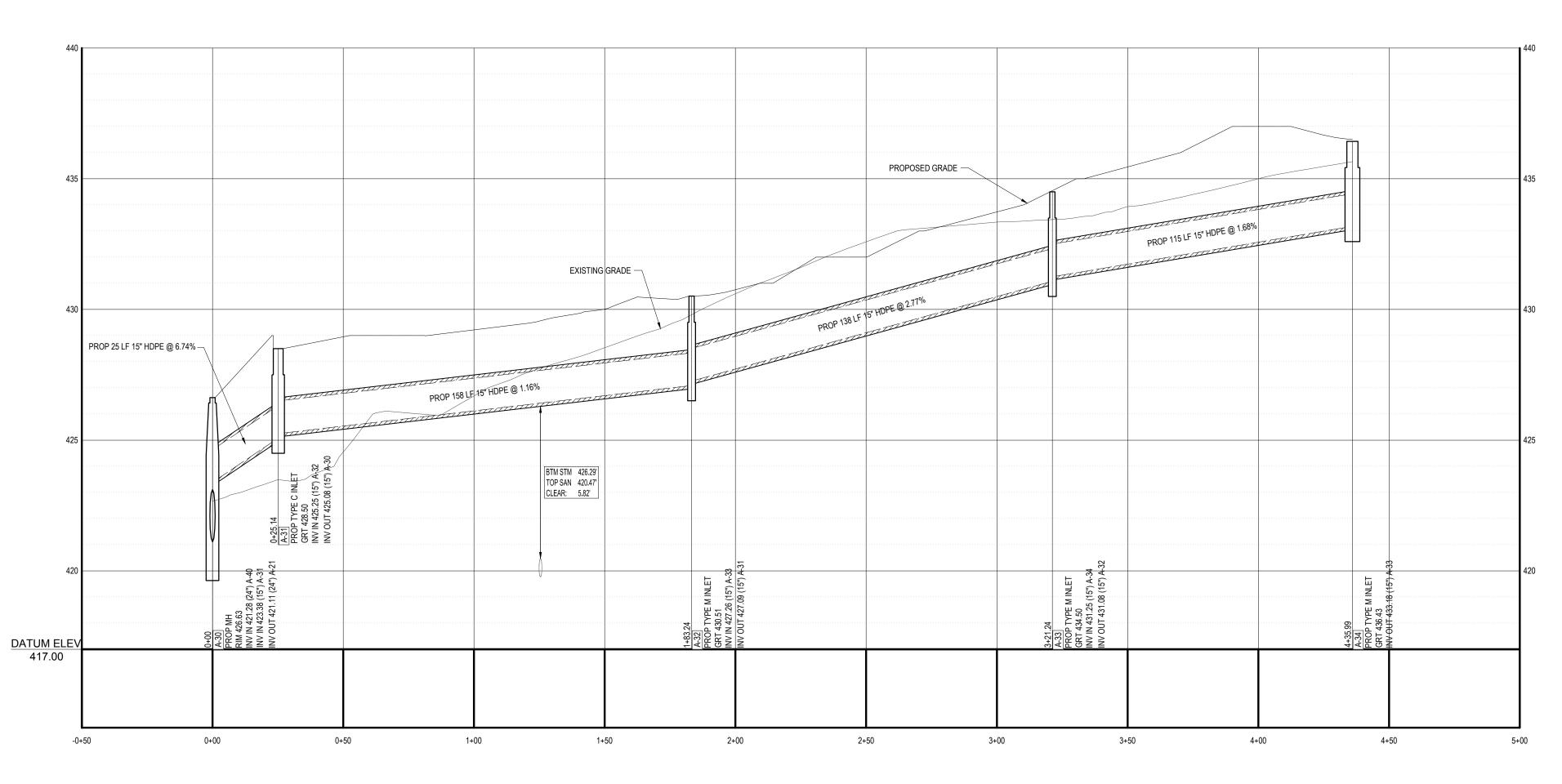


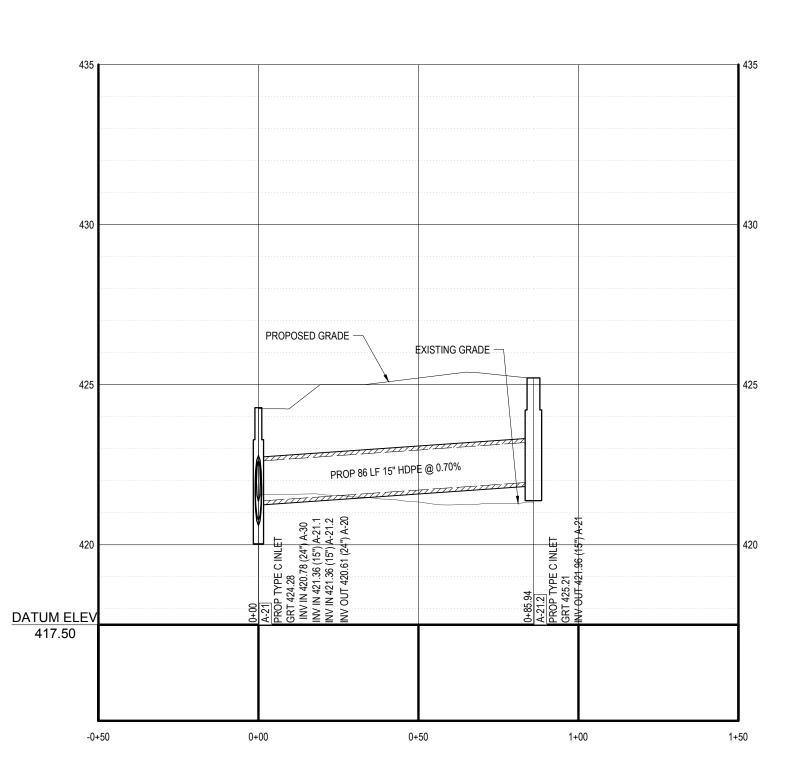
PROPOSED STM PROFILE (A-20 TO A-21.1)

SCALE: 1"= 30 ' HORIZONTAL
1"= 3 ' VERTICAL

PROPOSED STM PROFILE (LS-02 TO OS-01)

SCALE: 1"= 30 ' HORIZONTAL
1"= 3 ' VERTICAL





PROPOSED STM PROFILE (A-30 TO A-34)

SCALE: 1"= 30 ' HORIZONTAL
1"= 3 ' VERTICAL

PROPOSED STM PROFILE (A-21 TO A-21.2)

SCALE: 1"= 30 ' HORIZONTAL

SCALE: 1"= 30 ' HORIZONTAL 1"= 3 ' VERTICAL SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN

F	REVISIONS
TE	COMMENT

REV DATE COMMENT

CHECKED



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PROJECT No.:

PAA 240089 00-08

 PROJECT No.:
 PAA240089.00-0B

 DRAWN BY:
 JHT/SWB

 CHECKED BY:
 MEL

 DATE:
 01/02/2025

 CAD I.D.:
 P-CIVL-PROF

PROJECT:

PRELIMINARY LAND
DEVELOPMENT
PLANS

— FOR ——

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

BOHLER //

1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100 Fax: (215) 996-9102 www.BohlerEngineering.com

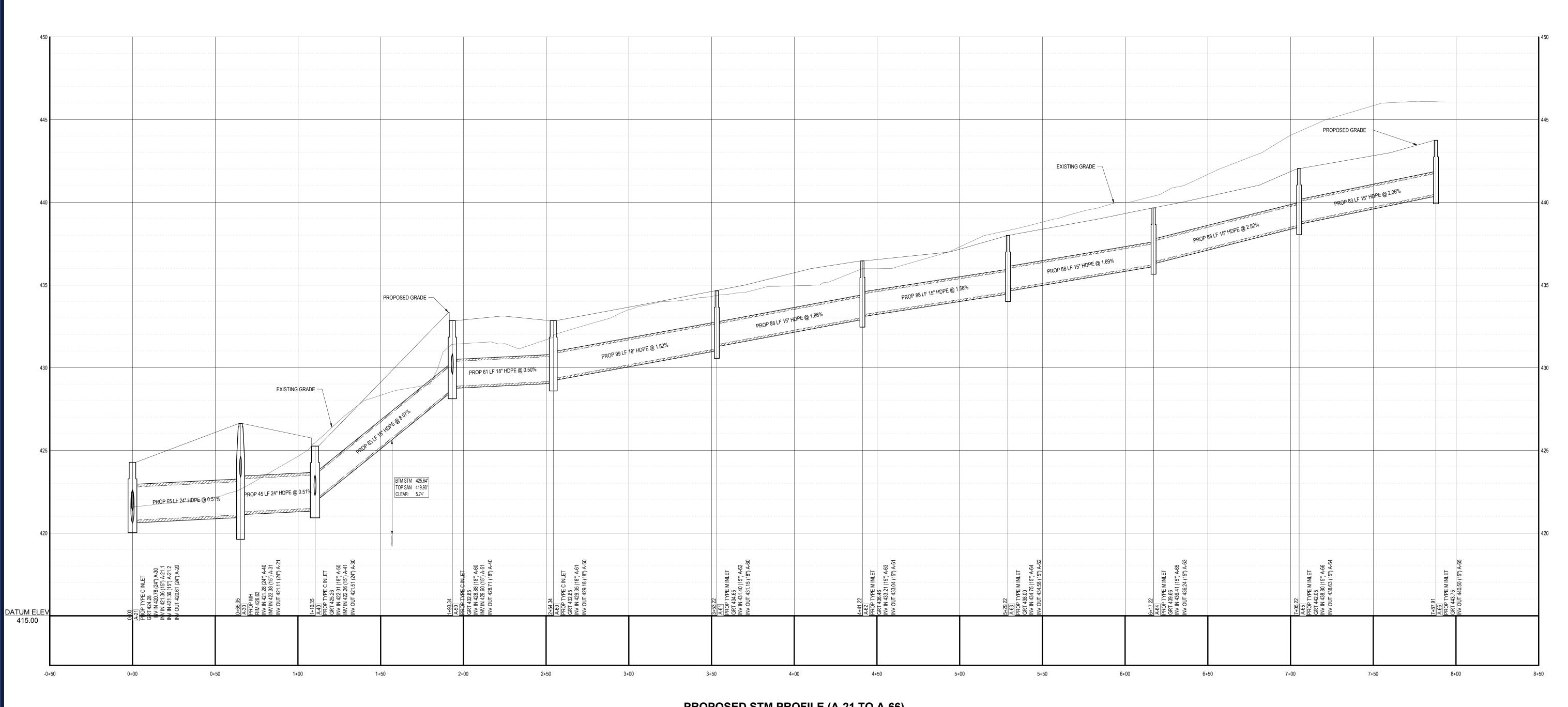


SHEET TITLE:

STORM PROFILES

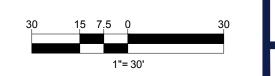
HEET NUMBER:

C-602



PROPOSED STM PROFILE (A-21 TO A-66)

SCALE: 1"= 30 ' HORIZONTAL
1"= 3 ' VERTICAL





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PROJECT No.: PAA240089.00-0B DRAWN BY: JHT/SWB CHECKED BY: MEL DATE: 01/02/2025 CAD I.D.: P-CIVL-PROF

PROJECT:

PRELIMINARY LAND
DEVELOPMENT
PLANS

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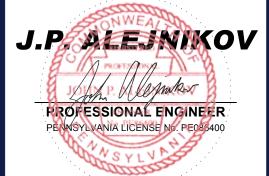
PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

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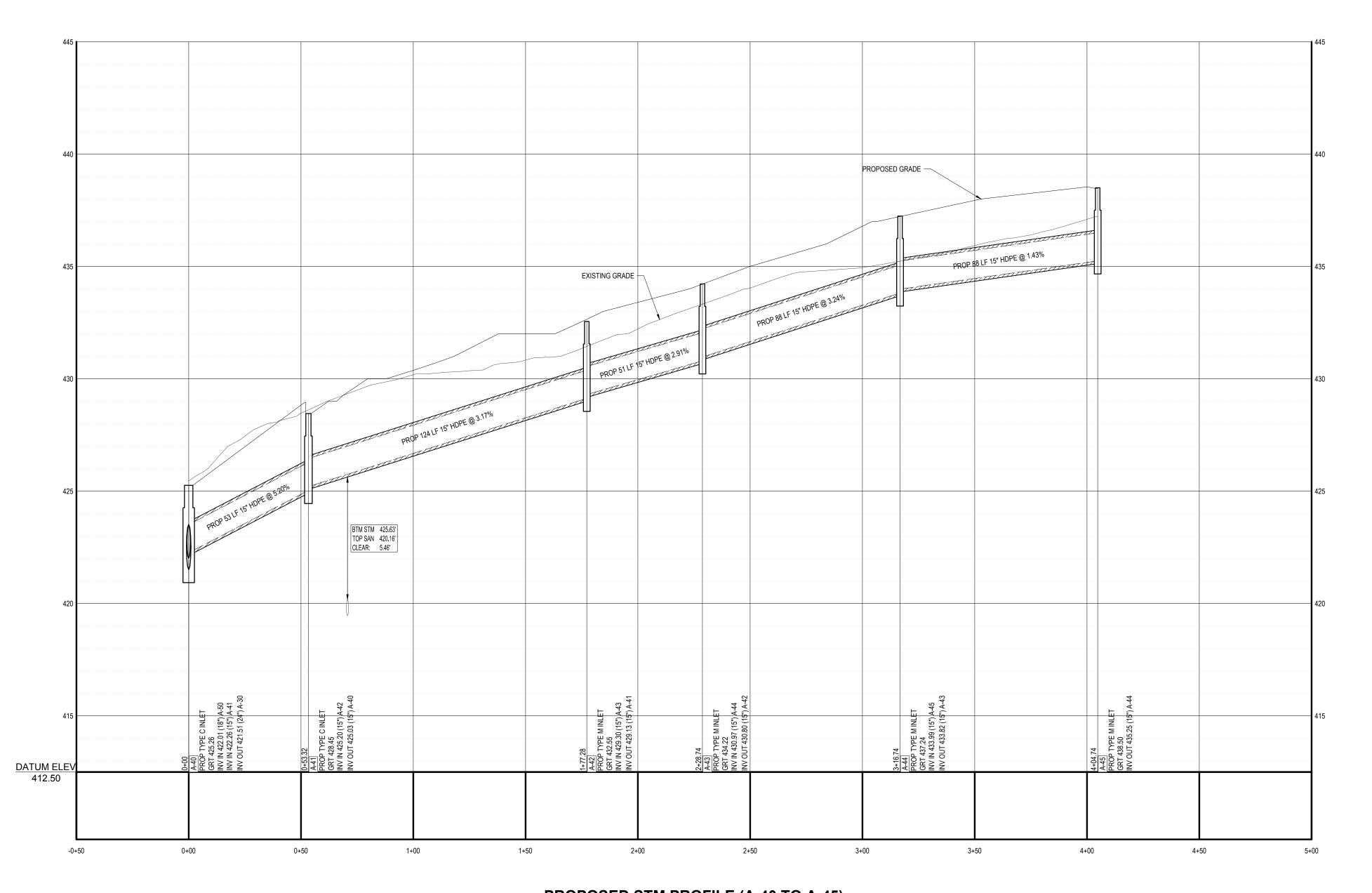


SHEET TITLE:

STORM PROFILES

HEET NUMBER

C-603



PROPOSED STM PROFILE (A-40 TO A-45)

SCALE: 1"= 30 ' HORIZONTAL 1"= 3 ' VERTICAL



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PROJECT No.: PAA240089.00-0B DRAWN BY: JHT/SWB

 PROJECT No.:
 PAA240089.00-0B

 DRAWN BY:
 JHT/SWB

 CHECKED BY:
 MEL

 DATE:
 01/02/2025

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 P-CIVL-PROF

PRELIMINARY LAND

PROJECT:

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

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J.P. ALEJNIKOV

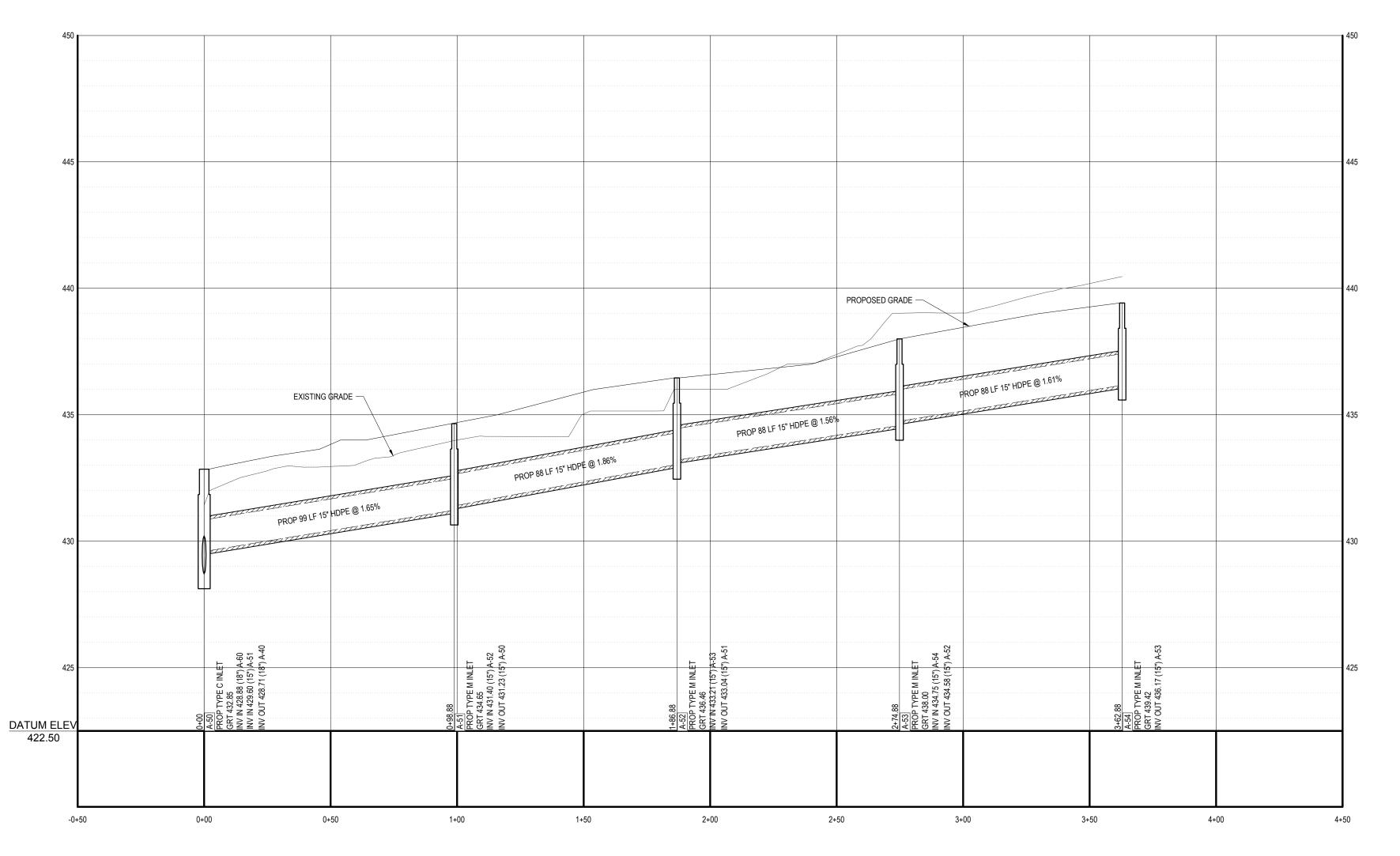
PROFESSIONAL ENGINEER
PENASYLVANIA LICENSE NO. PEO85400

SHEET TITLE:

STORM PROFILES

LIEET NIIMBED:

C-604



PROPOSED STM PROFILE (A-50 T0 A-54)

SCALE: 1"= 30 ' HORIZONTAL 1"= 3 ' VERTICAL



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 PAA240089.00-0B

 DRAWN BY:
 JHT/SWB

 CHECKED BY:
 MEL

 DATE:
 01/02/2025

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PROJECT:

PRELIMINARY LAND
DEVELOPMENT
PLANS

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

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J.P. ALEJNIKOV

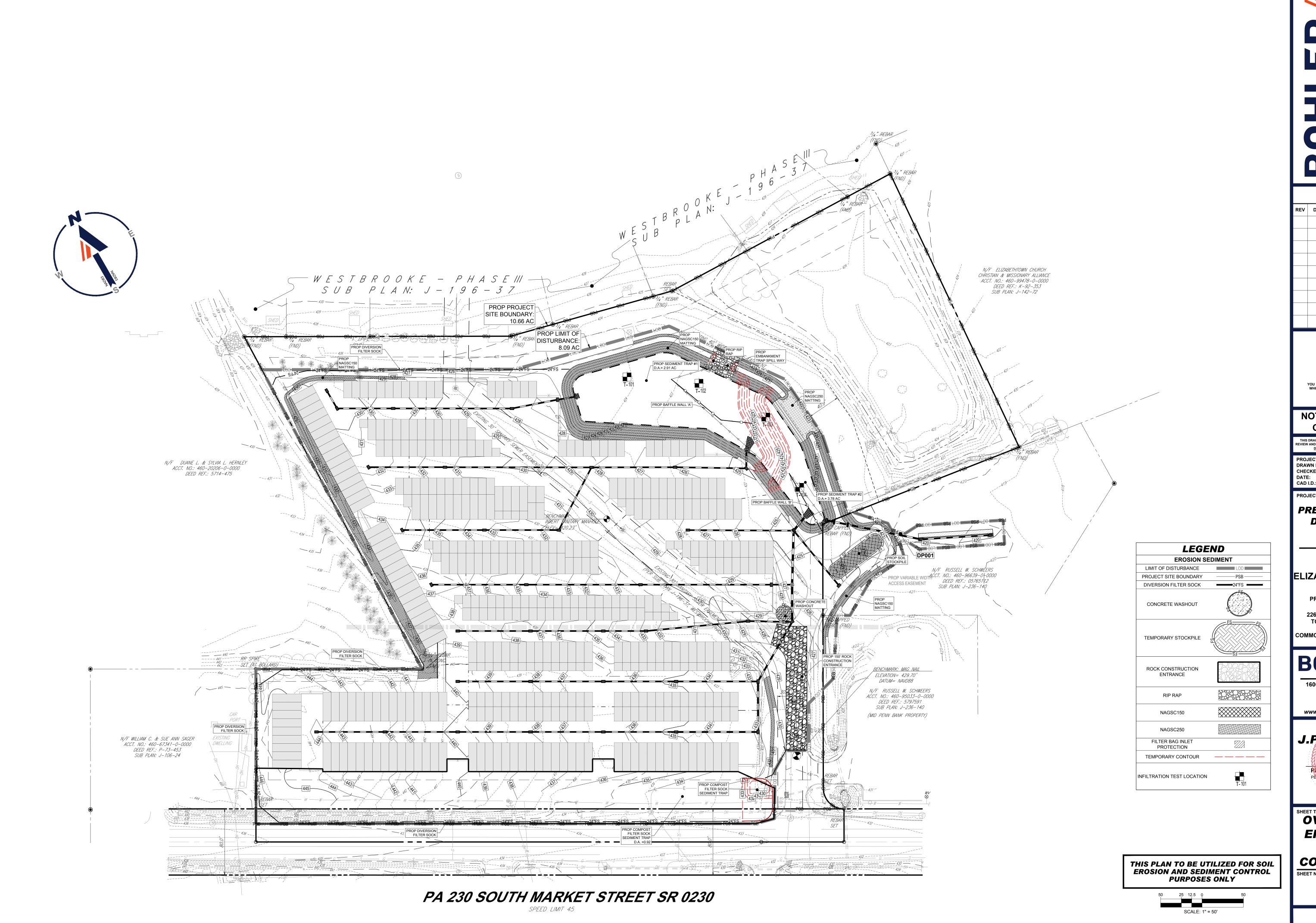
PROFESSIONAL ENGINEER
PENUSYLVANIA LICENSE NO PE006400

SHEET TITLE:

STORM PROFILES

HEET NUMBER:

C-605



REVISIONS

REV DATE COMMENT

Know what's **below. Call** before you dig.

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YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1776
www.pafcall.org #XXXXXXXXXXX

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01/02/2025 P-CIVL-LDVP

PROJECT: PRELIMINARY LAND **DEVELOPMENT**

PLANS

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

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J.P. ALEJNIKOV PROFESSIONAL ENGINEER

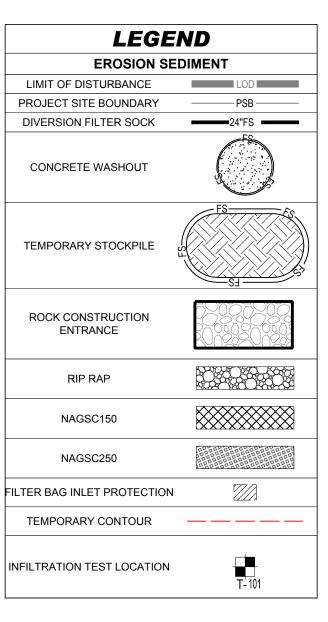
SHEET TITLE:

OVERALL SOIL

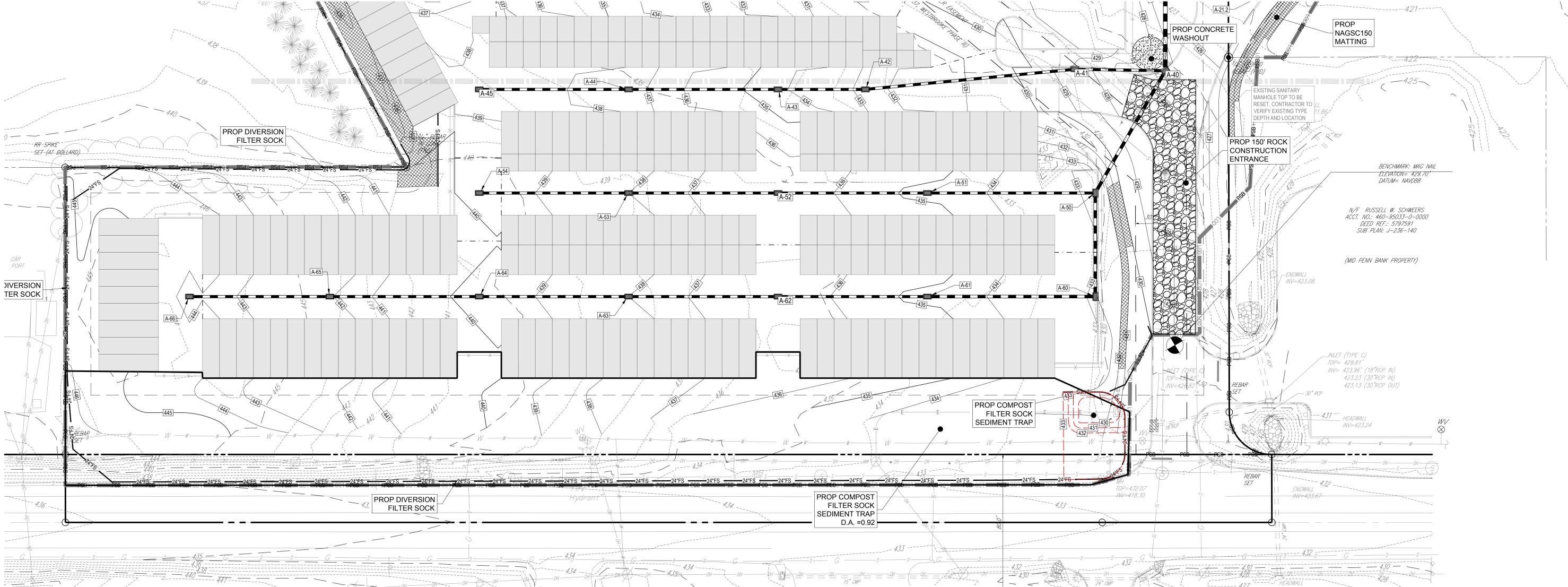
EROSION AND SEDIMENT **CONTROL PLAN**

C-801





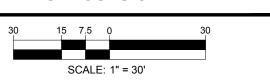
MATCHLINE - SHEET C-803



PA 230 SOUTH MARKET STREET SR 0230

SPEED LIMIT 45

THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



E CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT

SITE CIVIL AND C LAN PROGRA LANDSCA SUSTA PERMIT

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CONSTRUCTION

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PROJECT No.: PAA240089.00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD I.D.: P-CIVL-LDVP

PROJECT:

PRELIMINARY LAND
DEVELOPMENT
PLANS

FOR —

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

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J.P. ALESNIKOV

John Market

PROFESSIONAL ENGINEER

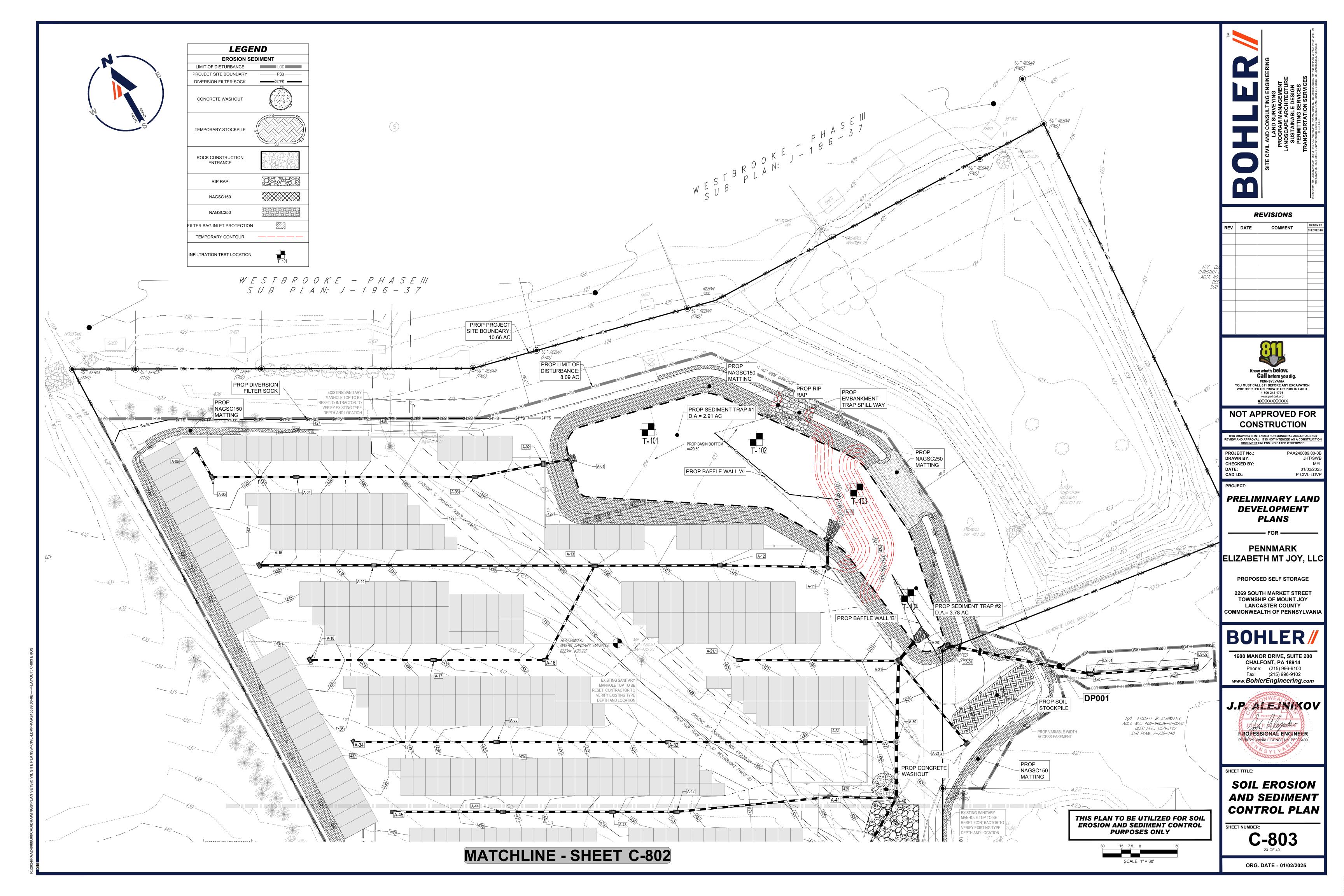
PENNSYLVANIA LICENSE NO. PE086400

SHEET TITL

SOIL EROSION AND SEDIMENT CONTROL PLAN

EET NUMBER:

C-802



EITHER THE TOWNSHIP OR THE COUNTY CONSERVATION DISTRICT AS CONSTRUCTION PROGRESSES THE OWNER/CONSTRUCTION MANAGER IS RESPONSIBLE FOR ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROLS AND SITE STABILIZATION. THE OWNER SHALL ASSIGN ONE INDIVIDUAL TO BE RESPONSIBLE FOR PROPER

INSTALLATION AND MAINTENANCE OF ALL FACILITIES AND MEASURES. PROTECTION TO THE EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY 4. ANY DRY FILL HAULED OFFSITE MUST BE TAKEN TO A LOCATION WITH AN EROSION AND SEDIMENTATION CONTROL PLAN WHICH

HAS BEEN REVIEWED BY THE COUNTY CONSERVATION DISTRICT FOR ADEQUACY 5. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN TRIBUTARY AREAS OF THOSE CONTROLS. STOCKPILES MUST BE STABILIZED IMMEDIATELY

NO CHANGES SHALL BE MADE IN THE CONTOUR OF THE LAND. NO GRADING, EXCAVATING, REMOVAL OR DESTRUCTION OF THE TOPSOIL. TREES OR OTHER VEGETATIVE COVER OF THE LAND SHALL BE COMMENCED WITHIN A PROPOSED SUBDIVISION OR LAND DEVELOPMENT TRACT UNTIL SUCH TIME THAT A PLAN FOR SEDIMENTATION CONTROL AND MINIMIZING EROSION HAS BEEN REVIEWED AND FOUND SATISFACTORY BY THE COUNTY CONSERVATION DISTRICT AND REVIEWED AND APPROVED BY THE OWNSHIP, OR THERE HAS BEEN A DETERMINATION BY THE TOWNSHIP, UPON RECOMMENDATION BY THE COUNTY CONSERVATION DISTRICT, THAT SUCH PLANS ARE NOT NECESSARY.

BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT

THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS CONTRACTOR SHALL USE TREADED MACHINERY AND MINIMIZE SOIL COMPACTION WHEREVER POSSIBLE.

DEFINITION OF CLEAN FILL AND IMPORT/EXPORT

MATERIAL NOTES

FORM FP-001 CAN BE FOLIND AT THE FND OF THESE INSTRUCTIONS

DISTRICT UPON REQUEST

DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE APPLICANT CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL ROCK STONE DREDGED MATERIAL USED ASPHALT AND BRICK BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL

TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR 2. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL

MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL" ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL'

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THE REGULATIONS ARE

RECYCLING OR DISPOSAL OF MATERIAL

THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL CONSTRUCTION WASTES THAT MAY EXIST - CONCRETE CURB AND SIDEWALK

- E&S BMP - COMPOST FILTER SOCKS

- F&S BMP - TEMPORARY RISER

- E&S BMP - EROSION CONTROL MATTING E&S BMP - INLET PROTECTION

ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 Pa. CODE 260.1 ET SEQ, 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED BURIED DUMPED OR DISCHARGED AT THE SITE BELOW IS A LIST OF METHODS FOR THE PROPER RECYCLING/DISPOSAL OF VARIOUS MATERIALS:

DUST CONTROL - CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION. THE SITE WILL BE STABILIZED. WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.

SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED AS NECESSARY BY A ONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE

SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT HE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A LICENSED COMMERCIAL OPERATOR. WATER SOURCE - NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR

CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE.

CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS - DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORMWATER THAT WILL BE DISCHARGED FROM THE SITE

E&S PLAN DESIGNED AND IMPLEMENTED

TO BE CONSISTENT WITH PCSM PLAN

REGARDING THE LOCATIONS OF EXISTING RIPARIAN BUFFERS RELATIVE TO THE LIMIT OF DISTURBANCE AND WHETHER PROPOSED INFILTRATION FACILITIES ARE OUTSIDE OF PROPOSED GRADING AREAS, NOTE THE FOLLOWING:

• THERE ARE NO EXISTING OR PROPOSED RIPARIAN BUFFERS. • THERE ARE NO PROPOSED INFILTRATION BMPs OUTSIDE OF PROPOSED GRADING AREAS

CRITICAL STAGES

(Rev. 5/2024)

(Rev. 5/2024)

• CONSTRUCTION OF SEDIMENT TRAP #1 AND #2 CONVERSION OF SEDIMENT TRAP #1 AND #2 TO PERMANENT CONDITIONS

LOCATION OF ALL SURFACE WATERS AND THEIR **CLASSIFICATION UNDER CHAPTER 93**

(Rev. 5/2024)

THE SUBJECT SITE DRAINS TO UNNAMED TRIBUTARY TO DONEGAL CREEK, WHICH HAS A (CWF/MF COLD WATER FISHES, MIGRATORY FISHES) CHAPTER 93 CLASSIFICATION.

RECEIVING SURFACE WATERS

THE SUBJECT SITE DRAINS TO AN UNNAMED TRIBUTARY TO DONEGAL CREEK, WHICH HAS A (CWF/MF COLD WATER FISHES, MIGRATORY FISHES) CHAPTER 93 CLASSIFICATION. THE DEVELOPMENT IS IN NEITHER AN HO NOR AN EV WATERSHED AND THEREFORE, NO BOUNDARIES ARE SHOWN. THERE ARE NO WETLANDS LOCATED ON THE PROJECT SITE.

GEOLOGIC FORMATIONS/SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION

THERE ARE NO GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT COULD CAUSE CONTAMINANT POLLUTION DURING EARTH DISTURBANCE ACTIVITIES.

MAINTENANCE, MONITORING AND

INSPECTION PROGRAM

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES. ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS TO ENSURE THEIR EFFECTIVE AND EFFICIENT OPERATION. SEE EROSION AND SEDIMENT DETAILS FOR ADDITIONAL INSPECTION AND MAINTENANCE REQUIREMENTS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIF REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY AND IN ACCORDANCE WITH THESE PROCEDURES. PLANS AND DETAILS. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS. ALL SITE INSPECTIONS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INDICATING THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE

PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE

INSPECTIONS SHALL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORING MATERIALS THAT ARE EXPOSED TO RAINFALL FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM OR DISCHARGING FROM THE SITE. IF NECESSARY, THE MATERIALS MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR SUPPLEMENTED. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IF STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS. ALSO, PROTECTIVE BERMS MUST BE CONSTRUCTED, IF NEEDED, IN ORDER TO CONTAIN RUNOFF FROM MATERIAL STORAGE AREAS.

GRASSED AREAS SHALL BE INSPECTED TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OR HAVE A STAND OF GRASS WITH AT LEAST 70 PERCENT DENSITY OR GREATER IN ACCORDANCE WITH PERMIT REQUIREMENTS. THE VEGETATIVE DENSITY MUST BE MAINTAINED TO BE CONSIDERED STABILIZED. AREAS MUST BE WATERED, FERTILIZED, AND RESEEDED AS NEEDED TO ACHIEVE

ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE OR IMPACTS TO RECEIVING WATERS.

THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY AND WITHIN 24 HOURS AFTER EACH MEASURABLE RAINFALL EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOT BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEI TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT E&S BMPs AND PCSM BMPs ARE PROPERLY

REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM: A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS:

CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH. A WRITTEN

THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.

WHERE E&S, PCSM OR PPC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND CO PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE

INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;

IE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE: STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE; AND

THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS

JPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITTEE AND CO_PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN BMPs IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO_PERMITTEE OF THE FACILITY MUST SUBMIT A NOT FORM THAT IS SIGNED IN ACCORDANCE WITH PART B, SECTION 1.C. SIGNATORY REQUIREMENTS OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE NOT MUST CONTAIN THE FOLLOWING INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSON(S) WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, AND THE REASON FOR PERMIT TERMINATION. UNTIL THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE NOT, THE PERMITTEE WILL REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMPs AND PCSM BMPs ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR VIOLATIONS OCCURRING ON

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN OR LIPON SUBMISSION OF THE NOT IF SOONER THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR ALITHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM

SEEDING SPECIFICATIONS

A. SEEDING SHALL OCCUR BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 15TH AND NO LATER THAN OCTOBER B. IF SEEDING CANNOT BE CONDUCTED DURING THE TIMEFRAMES NOTED ABOVE. THE CONTRACTOR SHALL BE RESPONSIBLE

FOR COORDINATING WITH THE LOCAL CONSERVATION DISTRICT AND ALL APPROPRIATE AGENCIES TO DETERMINE AN SEED MIXTURES: SEED MIXTURE TO BE USED ON THIS SITE SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE NOTED ON THE PLANS. RATES ARE IN THE FORM OF POUNDS PER ACRE (LB/A) PER PURE LIVE SEED (POUNDS / ACRE PLS). CONTRACTOR

WILL NEED TO ADJUST ACCORDINGLY BASED ON THE SEED GERMINATION AND PURITY RATING (SEE ITEM #3 BELOW) TEMPORARY SEED MIXTURES: DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN TWELVE (12) MONTHS MUST BE SEEDED WITH A TEMPORARY SEED MIXTURE AS FOLLOWS: ANNUAL RYE (40 POUNDS / ACRE PLS) OR SPRING OATS (96 POUNDS / ACRE PLS

OR WINTER RYE (168 POUNDS / ACRE PLS) (REFERENCE: PENN STATE "EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND", TABLE 5) PERMANENT SEEDING SHALL CONSIST OF A NURSE CROP PLUS A PERMANENT SEED MIXTURE, AS FOLLOWS

NURSE CROP (SELECT ONE): ANNUAL RYE (10 POUNDS / ACRE PLS) OR SPRING OATS (64 POUNDS / ACRE PLS) OR WINTER BYE (56 POLINDS / ACRE PLS

(REFERENCE: PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL, LATEST EDITION, TABLE 11.4, SEED MIX #1) II. PERMANENT SEED MIX: TALL FESCUES (60 POUNDS / ACRE PLS) OR FINE FESCUE (35 POUNDS / ACRE PLS)

OR KENTUCKY BLUEGRASS (25 POUNDS / ACRE PLS) PLUS REDTOP (3 POUNDS / ACRE PLS) OR PERENNIAL RYEGRASS (15 POLINDS / ACRE PLS) (REFERENCE: PA DEP EROSION AND SEDIMENT CONTROL PROGRAM MANUAL, LATEST EDITION, TABLE 11.4, SEED MIX #2) PURE LIVE SEED: MINIMUM PLS RATING ACCEPTED SHALL BE 85% PLS. SEED RATE MAY NEED TO BE ADJUSTED BASED ON THE

A. SEED USED FOR THE PURPOSE OF PERMANENT STABILIZATION SHALL BE LABELED WITH GERMINATION AND PURITY PERCENTAGES. UNLABELED SEED WILL BE REJECTED. SEED SHALL NOT BE USED MORE THAN ONE (1) YEAR BEYOND THE LABEL DATE.

B. DETERMINING THE PERCENT PURE LIVE SEED (PERCENT PLS) OF A LABELED SEED: MULTIPLY BY THE PERCENTAGE OF PURE C. SEEDING: SEE SEEDING SPECIFICATIONS SEED BY THE PERCENTAGE OF GERMINATION AND DIVIDE THÉ RESULT BY 100 ((%PURE X %GERMINATION) / 100) . DETERMINING THE ACTUAL SEED RATE: SIMPLY DIVIDE THE PERCENT PLS RATING OF THE SEED INTO THE PLS REQUIRED, AS NOTED ABOVE. THE RESULT IS THE POUNDS OF SEED REQUIRED. FOR EXAMPLE: IF THE REQUIRED RATE IS 64 POUNDS PLS,

AND THE SEED IS RATED AT 35% PLS, DIVIDE 64 BY 0.35 TO GET 182.9 POUNDS, WHICH IS THE AMOUNT OF THAT SEED REQUIRED PER ACRE. 4. APPLICATION OF SEED: SEEDING SHALL BE APPLIED AND ESTABLISHED IN ACCORDANCE WITH THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL" AS PUBLISHED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF

WATER QUALITY PROTECTION (MOST RECENT EDITION) . SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 - OCTOBER 15. SEED SHALL BE APPLIED IN A NON-COMPACTED. ROUGHENED TOPSOIL.

. SEED MAY BE APPLIED THROUGH ANY OF THE FOLLOWING MEANS AND METHODS, OR OTHER ACCEPTED INDUSTRY PRACTICES, UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS: I. DRILL SEEDING

II. BROADCAST SEEDING (TWO DIRECTIONS) II. HYDROSEEDING (TWO DIRECTIONS) D. ALL SEED SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED UNTIL A 70% PERENNIAL COVER IS ACHIEVED:

. TEMPORARY STABILIZATION WITH STRAW: 1. STRAW MULCH SHALL BE APPLIED ON TOP OF THE FRESHLY SEEDED AREAS AT A RATE OF 3 TONS PER ACRE (4 TONS PER ACRE BETWEEN NOVEMBER 1ST AND MARCH 1ST). 2. STRAW SHALL BE STABILIZED WITH A WOOD OR PAPER FIBER MULCH AND TACKIFIER SOLUTION IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS. II TEMPORARY/PERMANENT STABII IZATION WITH EROSION CONTROL MATTING/BI ANKETS (WHERE SPECIFIED):

1. MATTING/BLANKETS SHALL BE INSTALLED IN AREAS AS NOTED ON THE EROSION & SEDIMENT CONTROL PLAN OR WITHIN 50 FEET OF PONDS, STREAMS OR WETLANDS. THE PRODUCT SHALL BE INSTALLED AND STAPLED ON TOP OF THE SEEDING IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. 2. AREAS WITH MATTING/BLANKETS SHALL NOT BE TRACKED (CATWALKED) AFTER INSTALLATION.

3. MATTING/BLANKETS SHALL BE VISUALLY INSPECTED DAILY TO ENSURE THAT THE PRODUCT IS FUNCTIONING PROPERLY, IS HELD FAST TO THE SOIL SURFACE AND IS IN GOOD CONDITION. ONCE SEED HAS BEEN SET. VEHICULAR TRAFFIC OR OTHER SOURCES OF COMPACTION SHALL BE AVOIDED 5. IRRIGATION: NEW SEED APPLICATIONS SHOULD BE SUPPLIED WITH ADEQUATE WATER, A MINIMUM OF 1/2" TWICE A DAY, UNTIL

TYPES, DEPTH, SLOPE, LOCATIONS, AND LIMITATIONS OF THE SOILS §102.4(b)(5)(ii)

SOIL DESCRIPTIONS

SOIL GROUP SOIL - SILT LOAM, 3 TO 8 PERCENT SLOPES

VEGETATION IS WELL ESTABLISHED (A MINIMUM OF 75% COVER).

LIMITATIONS FOR PENNSYLVANIA SOILS PERTAINING TO EARTH DISTRURBANCE PROJECTS

						7.07.			<i></i>	_							
SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/ STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYDRIC/ HYDRIC INCLUSIONS	LOW STRENGTH/ LANDSLIDE PRONE	SLOW PERCOLATI ON	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK- SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS	
HAGERSTOWN	Χ	S		Х		X	Х	X	X	Х	Х	Х	X	Х			

GENERAL CONSERVATION NOTES AND SPECIFICATIONS

(Rev. 5/2024) I. GENERAL INFORMATION

THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE. NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING PROPERLY FILTERED.

ANY SEDIMENT THAT IS TRACKED ONTO THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE DAY. DISTURBED AREAS ON WHICH EARTHMOVING ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY EITHER TEMPORARILY OR PERMANENTLY, INCLUDING THE RESTORATION OF DRIVEWAYS, STOCKPILES, OFF-SITE UNDERGROUND UTILITY LINES AND GRADED PERIMETER AREAS. DURING NON-GERMINATION PERIODS. MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SUBGRADES IS CONSIDERED ADEQUATE PROTECTION. AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDED OR MULCHED

WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES. IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCI LIDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. IF AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&SP PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS,

IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS. THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNER AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT. A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SPOIL, BORROW OR OTHER WORK AREA NOT DETAILED ON THE PERMITTED PLANS, WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO B REMOVED FROM SITE.

ALL MATERIALS TO BE RECYCLED OR DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN APPROVED FROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SOIL STABILIZATION THROUGHOUT CONSTRUCTION. ADDITIONAL MEASURES REQUIRED TO ENSURE ON-SITE AND OFF-SITE STABILIZATION IN AND ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO COST TO THE OWNER. IMMEDIATE NOTIFICATION SHALL BE GIVEN TO THE OWNER AND ENGINEER SHOULD ADDITION STABILIZATION MEASURES BE NECESSARY; IN ACCORDANCE WITH THE NPDES AND/OR SWPPP REQUIREMENTS FOR THE PROJECT. NPDES PERMIT REQUIRES THAT A VISUAL SITE INSPECTION REPORT USING THE CURRENT PADEP FORM BE COMPLETED BY A QUALIFIED SITE INSPECTOR AT THE FOLLOWING FREQUENCY:

L.1. WEEKLY. L.2. AFTER RAINFALL EVENTS OF AT LEAST 0.25 INCH IN A 24-HOUR PERIOD, AND .. 3. AS A FOLLOW-UP TO DEFICIENCIES FOUND.

THE PERMITTEE MUST TAKE COLOR PHOTOGRAPHS OF E&S BMPS AND PCSM SCMS ON THE PROJECT SITE AT LEAST MONTHLY, UNLESS OTHERWISE APPROVED IN WRITING BY DEP/CCD, AND WHEN DEFICIENCIES IN BMPS AND SCMS ARE IDENTIFIED. THE PHOTOGRAPHS MUST HAVE A

DATE AND TIME STAMP AND BE MADE AVAILABLE FOR DEP/CCD REVIEW UPON REQUEST. WITHIN 30 DAYS FOLLOWING COMPLETION OF A STRUCTURAL PCSM SCM, AS DEFINED IN THE REISSUED PAG-02 GENERAL PERMIT, THE PERMITTEE MUST SUBMIT THE SCM CONSTRUCTION CERTIFICATION FORM (3800-FM-BCW0271J) TO DEP/CCD, SIGNED BY THE PERMITTEE AND A LICENSED

INFILTRATION SCMS WILL PERFORM AS DESIGNED. TESTING IS REQUIRED FOR BOTH THE SUBGRADE PREPARATION AND POST CONSTRUCTION

P. UPON THE REDUCTION, LOSS, OR FAILURE OF ANY BMP OR PCSM SCM, THE PERMITTEE AND CO-PERMITTEE(S) MUST INITIATE THE REPAIR OR REPLACEMENT OF THE BMP SCM AS FOLLOWS: P.1. IMMEDIATELY UPON DISCOVERY IF THE REDUCTION, LOSS, OR FAILURE OF A BMP OR SCM HAS RESULTED IN OR IS LIKELY TO RESULT IN SEDIMENT OR OTHER POLLUTANTS FLOWING OFF THE PROJECT SITE AND/OR DISCHARGING TO SURFACE WATERS. COMPLETION OF THE REPAIR OR REPLACEMENT OF THE BMP OR SCM MUST OCCUR WITHIN 24 HOURS UNLESS OTHERWISE REQUIRED BY DEP/CCD. P.2. WHEN FAILURE OF A BMP OR SCM IS NOT LIKELY TO CAUSE POLLUTION. THE PERMITTEE MUST INITIATE REPAIR OR REPLACEMENT WITHIN 24 HOURS OF DISCOVERY AND COMPLETE THE REPAIR OR REPLACEMENT WITHIN 7 DAYS. UNLESS OTHERWISE REQUIRED BY

IF SOIL CONTAMINATION OR GROUNDWATER CONTAMINATION IS ENCOUNTERED DURING CONSTRUCTION THE PERMITTEE IS TO NOTIFY DEP AND CCD OF NEWLY DISCOVERED ON-SITE SOIL OR GROUNDWATER CONTAMINATION. NOTIFICATION IS TO BE PROVIDED WITHIN 24 HOURS OF RECEIVING THE SAMPLING RESULTS INDICATING THE CONTAMINATION R. BY DECEMBER 7 OF EACH YEAR. THE PERMITTEE MUST SUBMIT AN ANNUAL REPORT (3800-PM-BCW0405E) TO THE OFFICE OF DEP/CCD THA

APPROVED GENERAL PERMIT COVERAGE TO REPORT ON THE STATUS OF EARTH DISTURBANCE ACTIVITIES. THE FIRST ANNUAL REPORT FOR EXISTING PERMITTEES IS DUE DECEMBER 7, 2025 RESIDENTIAL ONLY - WHENEVER A LOT OR PARCEL CONTAINING A PCSM SCM IS SOLD DURING THE TERM OF GENERAL PERMIT COVERAGE, THE PERMITTEE MUST PROVIDE THE NEW PROPERTY OWNER WITH 1) RECORD DRAWINGS OR OTHER PLANS IDENTIFYING THE SCM; 2) A LONG-TERM OPERATION AND MAINTENANCE (O&M) PLAN FOR THE SCM: AND 3) A COMPLETED NEW PROPERTY OWNER NOTIFICATION FORM (3800-FM-BCW00271I). THE PERMITTEE MUST SUBMIT COPIES OF COMPLETED NEW PROPERTY OWNER NOTIFICATION FORMS TO DEP/CCD AND TO THE MUNICIPALITY WHERE THE SCM IS LOCATED WITHIN 30 DAYS OF THE DATE OF TRANSFER OF THE PROPERTY

CONDITION.

DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRADES. WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FULL SLOPES ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS

INSTALLATION REQUIREMENTS TIMBER LOGS BRUSH RUBBISH ROCKS STUMPS AND VEGETABLE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF MATERIALS. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE

DETRIMENTAL TO CONSTRUCTING STABLE FILLS. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR **EXCESS SATURATION** ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.

III. STANDARD FOR UTILITY TRENCH EXCAVATION

A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. B. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX OF SIX DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE

C. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FORM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH

IV. STANDARD FOR TEMPORARY STABILIZATION

A STANDARD FOR TEMPORARY STARII IZATION WITH FIRERMUI CH A.1. MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING IN ADDITION, STABILIZATION WITH FIBER MULCH SHALL BE USED DURING NON-GERMINATION PERIODS

PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE. GRADE AS NEED AND FEASIBLE. SEE STANDARD FOR LAND GRADING

PROTECTIVE MATERIALS TO BE USED: A.4.a. UNROTTED SMALL-GRAIN UN-CHOPPED STRAW OR HAY AT 3.0 TONS PER ACRE (4 TONS PER ACRE BETWEEN NOVEMBER 1 AND MARCH 1) SPREAD UNIFORMLY AND ANCHORED WITH LIQUID MULCH BINDER. BINDER PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS. A 4 b HYDROMUI CHER LUSE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. LIQUID MUI CH BINDERS: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. PRODUCTS TO BE

INSTALLED AT A RATE OF 1 TON PER ACRE (MINIMUM) OR PER MANUFACTURER'S SPECIFICATIONS. B. STANDARD FOR TEMPORARY STABILIZATION WITH SEED DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN TWELVE (12) MONTHS MUST BE SEEDED

AND MULCHED IMMEDIATELY WITH A TEMPORARY COVER ALL AREAS TO BE PERMANENTLY SEEDED SHALL ALSO RECEIVE TEMPORARY SEEDING CONCURRENTLY SEEDBED PREPARATION FOR TEMPORARY SEEDING

B.3.A. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE. B 3 B APPLY AGRICULTURAL LIME AT A RATE OF 1 TONE PER ACRE B 3 C APPLY 10-10-10 FERTILIZER A RATE OF 500 POUNDS PER ACRE

B.3.D. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES.

V. STANDARD FOR PERMANENT STABILIZATION

SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER

A.1.a. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. A.1.b. SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE. IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO BETWEEN 5.5 AND 7 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES. A.1.c. IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3-5 INCHES TO PROVIDE A GOOD BOND WITH THE TOPSOIL.

A 2 APPLYING TOPSOIL A.2.a. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE. A.2.b. REMOVAL OF TOPSOIL IS NOT ALLOWED UNLESS APPROVED BY THE MUNICIPALITY OR UNLESS AS SPECIFIED BY THE SITE GEOTECHNICAL ENGINEER DUE TO THE SOIL'S UNSUITABILITY FOR PLACEMENT.

A.3.a. A SOIL TEST SHALL BE CONDUCTED TO ACCURATELY DETERMINE NECESSARY SOIL AMENDMENTS. A.3.b. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE. A.3.c. SOIL MODIFICATIONS:

B.3.b. PLACE SOD STRIPS WITH SNUG EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION

A.3.c.1. APPLY 10-20-20 RATED FERTILIZER AT A RATE OF 1000 POUNDS PER ACRE OR 25 POUNDS PER 1000 SQUARE FEET, OR AS DIRECTED BY A.3.c.2. APPLY AGRICULTURAL LIME AT A RATE OF 6 TONS PER ACRE OR 240 POUNDS PER 1000 SQUARE FEET, OR AS DIRECTED BY SOIL TEST. A.3.d. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED A 3 e REMOVE FROM THE SURFACE ALL STONES ONE INCH (1") OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE. TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.

A.3.f. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS SEEDING: SEE SEEDING SPECIFICATIONS A.5. SEED BED AREAS SHALL ALSO BE STABILIZED USING AN APPROVED METHOD (EG: HYDROMULCHING) AS OUTLINED IN ITEM IV.A. HEREIN

B. STANDARD FOR PERMANENT STABILIZATION WITH SOD METHODS AND MATERIALS B.1.a. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD. B.1.b. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES. B.1.c. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP

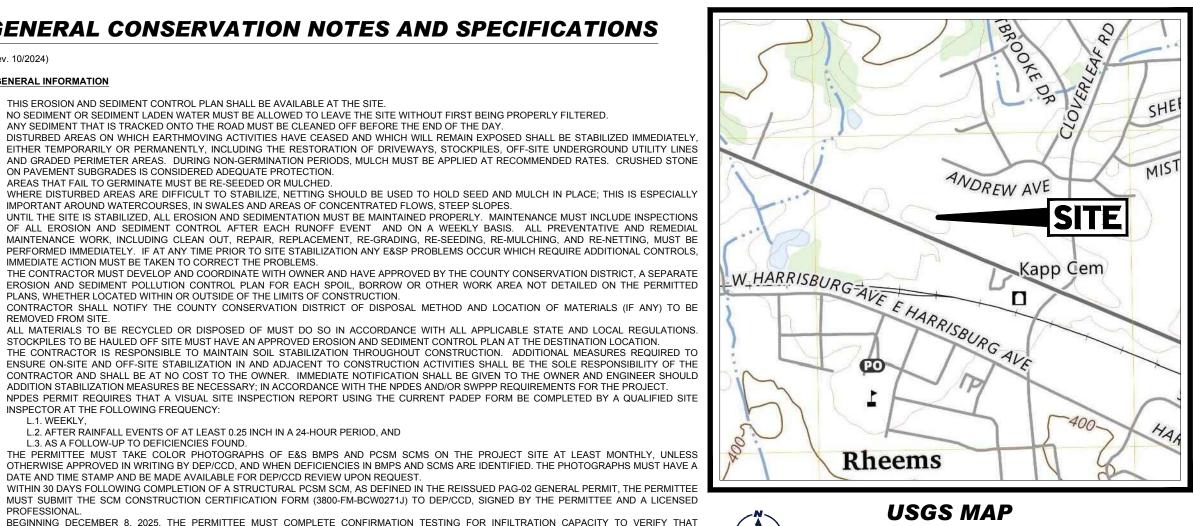
B.1.d. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 0% OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE B.1.e. A SOD OF KENTUCKY 31 TALL FESCUE WITH BLUEGRASS. OR A FESCUE BLEND IS PREFERRED B.1.f. ONLY MOIST, FRESH UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36

B.2. SITE PREPARATIONS: SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER (ITEM V.A. ABOVE) B.3. SOD PLACEMENT B.3.a. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE DRYING OF THE ROOTS. B.3.d. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES OR A BIODEGRADABLE FASTENER B.3.e. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTIN AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER-CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.

B.3.c. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP

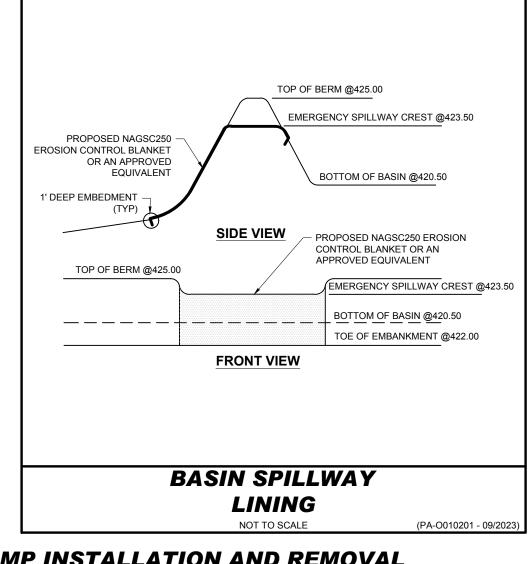
B.3.f. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS. B.4. FOLLOW-UP INSPECTION: AFTER THE FIRST GROWING SEASON, THE SOD SHOULD BE INSPECTED TO DETERMINE IF ADDITIONAL FERTILIZATION OR LIMING IS NEEDED.





USGS MAP SCALE: 1" = 500' SOURCE: USGS





SEQUENCE OF BMP INSTALLATION AND REMOVAL

(Rev. 5/2024)

§102.4(b)(5)(vii ALL FARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE, FACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED FOUR (4) DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO: THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE OF THE LANCASTER COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. A 1-800-242-1776 FOR BURIED UTILITIES LOCATION

BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LANCASTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION. AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

 STAKE OUT LIMIT OF DISTURBANCE 2. INSTALL CONSTRUCTION ENTRANCE AS DESIGNATED ON THE PLANS.

3. INSTALL ALL PERIMETER COMPOST FILTER SOCKS, DIVERSION FILTER SOCKS, J-HOOK, E&S MATTING WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.

4. CONSTRUCT SEDIMENT TRAPS. ONLY LIMITED CLEARING AND GRUBBING IS PERMITTED FOR CONSTRUCTION OF ACCESS TO THE SEDIMENT TRAPS. CONSTRUCTION OF THE SEDIMENT TRAPS SHALL INCLUDE THE NECESSARY CLEARING AND GRUBBING, EARTHWORK, INSTALLATION OF THE PERMANENT BASIN OUTFALL SYSTEM AND ALL OTHER SEDIMENT TRAPS FEATURES AS SHOWN ON TH PLANS AND DETAILS, AND ANY NECESSARY TEMPORARY STABILIZATION OF ALL DISTURBED AREAS. THE BASIN IS TO BE STABILIZED AND FUNCTIONING PROPERLY PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITIES. UPON INSTALLATION OF THE SEDIMENT TRAP CONCRETE RISER WITH TEMPORARY DEWATERING HOLES AND TEMPORARY EMBANKMENT SEDIMENT TRAP, AN IMMEDIAT INSPECTION OF THE MEASURES SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND THE LANCASTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER MEASURES ARE INSTALLED AND SEALED, PER PLAN. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES. REFER TO THE SEDIMENT BASIN SOI CONSERVATION DISTRICT MONITORING, INSPECTION AND REPORTING REQUIREMENTS PROVIDED ON THE SOIL EROSION AND SEDIMENT POLLUTION CONTROL NOTES FOR ADDITIONAL SEDIMEN BASIN REQUIREMENTS DURING CONSTRUCTION

ONCE SEDIMENT TRAPS ARE CONSTRUCTED, STABILIZED AND FUNCTIONING PROPERLY, INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. BUILDIN CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY OWNER. THE CONCRETE WASHOUT MUST BE INSTALLED BEFORE ANY CONCRETE CAN BE POURED ON-SITE. CONTRACTO MUST PERFORM BULK OF EARTHWORK TO BALANCE CUTS AND FILLS TO THE GREATEST EXTENT POSSIBLE. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS AND SEEDING SPECIFICATIONS IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS.

6. INITIATE STORM SEWER INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE.

7. CONTINUE WITH THE BALANCE OF EARTHWORK INCLUDING UTILITY INSTALLATION (SANITARY, ELECTRIC, TELEPHONE, CABLE AND GAS) WHERE APPLICABLE 8. INSTALL ALL CURBING SHOWN IN THIS PHASE AND INSTALL STONE BASE COURSE IN THE DRIVEWAY AND PARKING AREAS

9. INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPE AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE. THEY MUST B STABILIZED. ALL LANDSCAPE AREAS MUST BE STABILIZED AND PERMANENT SEEDING OR PLACEMENT OF SOD MUST BE APPLIED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINAT MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 7 VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOF SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION. REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NO ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED IN THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.

10. A SITE INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OR CONVERSION OF SEDIMENT TRAPS AND BASINS. ONCE STONE BASE COURSE HAS BEEN SPREAD IN ALL PAVED AREAS AND ALL LANDSCAPE AREAS HAVE BEEN STABILIZED. BEGIN CONVERTING SEDIMENT TRAP TO FINAL GRADES IN ACCORDANCE WITH BMP SEQUENCE OF CONSTRUCTION. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONVERSION OF ABOVE GROUND BASIN #1. A LICENSED PROFESSIONAL OR DESIGNEE KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF ABOVE GROUND BASIN #1, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGH

11. ANY E&S BMPS THAT ARE TO REMAIN AS PCSM BMPS MUST BE MODIFIED WHERE NECESSARY TO MEET THE REQUIREMENTS OF THE PERMANENT FACILITY. IF ANY SEDIMENT BASINS OR TRAPS ARE TO BE CONVERTED TO DETENTION PONDS, CONVERSION SHOULD BE RESTRICTED TO THE GROWING SEASON, AND THE SEQUENCE SHOULD DESCRIBE THE PROCEDURE TO BE USED. THIS SHOULD

a) FLUSHING ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER SYSTEM

THE METHOD OF DEWATERING THE IMPOUNDMENT

REMOVAL AND PROPER DISPOSAL OF ACCUMULATED SEDIMENT REMOVAL OF ALL OTHER TEMPORARY FACILITIES SUCH AS BAFFLES, CLEANOUT STAKES, DEWATERING FACILITIES ETC

d) SEDIMENT PROTECTION OF PERMANENT ORIFICE OR WEIR UNTIL INTERIOR OF PERMANENT FACILITY IS STABILIZED e) REMOVAL OF THE TEMPORARY RISER AND THE INSTALLATION/OPENING OF THE PERMANENT RISER.

STABILIZATION OF THE INTERIOR OF THE IMPOUNDMENT AS WELL AS STEPS NECESSARY TO PROVIDE

WILL REQUIRE REHABILITATION TO RESTORE THEM TO PROPER FUNCTIONING. 11.INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS.

12. INSTALL FINAL VEGETATION AND LANDSCAPING SPECIFIED ON THE LANDSCAPE PLAN. 13.UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE LANCASTER COUNTY CONSERVATION DISTRICT, REMOVE EROSION

AND SEDIMENT CONTROL FACILITIES INCLUDING COMPOST FILTER SOCKS. TREE PROTECTION FENCING, CONSTRUCTION FENCING, ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY 14.CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ, 271.1 ET SEQ THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIA OR WASTE AT THIS SITE.

ANY PROPOSED INFILTRATION CAPACITY INSTALLATION OF PCSM BMPS NOT USED AS TEMPORARY E&S BMPS SHOULD BE SCHEDULED FOR AFTER THE AREAS TRIBUTARY TO THEM HAVE BEEN

STABILIZED. WHEREVER THIS IS NOT POSSIBLE, THE PCSM BMPS SHOULD BE PROTECTED FROM SEDIMENT-LADEN RUNOFF. FAILURE TO ADEQUATELY PROTECT PCSM BMPS FROM SEDIMENT DEPOSITION

15.DEMOBILIZE 16. A NOTICE OF TERMINATION FORM SHOULD BE SUBMITTED TO THE LANCASTER COUNTY CONSERVATION DISTRICT UPON STABILIZATION AND FINAL COMPLETION OF THIS PROJECT



REVISIONS REV DATE COMMENT



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JHT/SW

P-CIVL-CND

PROJECT No.: PAA240089.00-0 DRAWN BY: **CHECKED BY**

CAD I.D.

PROJECT: PRELIMINARY LAND **DEVELOPMENT**

PLANS

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY OMMONWEALTH OF PENNSYLVANIA



1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100



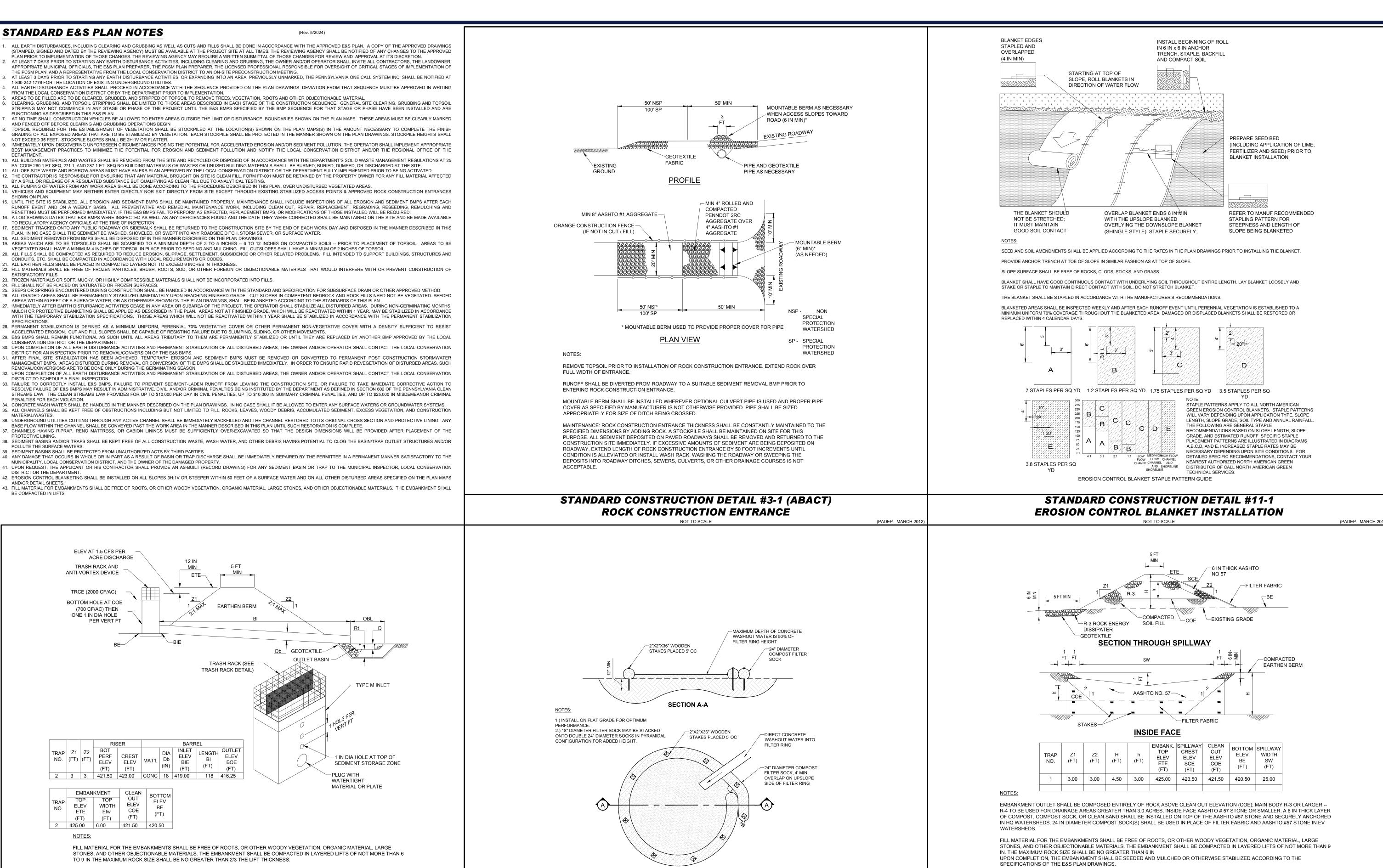
SEDIMENT **CONTROL NOTES AND DETAILS**

ORG. DATE - 01/02/2025

Fax: (215) 996-9102 www.BohlerEngineering.com

EROSION AND

C-804



UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. ALL SEDIMENT TRAPS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES SHALL BE PROVIDED. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH TRAP. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE TRAP IN THE MANNER DESCRIBED IN THE E&S PLAN

CHECK EMBANKMENTS, SPILLWAYS, AND OUTLETS FOR EROSION, PIPING AND SETTLEMENT. CLOGGED OR DAMAGED SPILLWAYS AND/OR EMBANKMENTS SHALL BE IMMEDIATELY RESTORED TO THE DESIGN SPECIFICATIONS. DISPLACED RIPRAP WITHIN THE OUTLET PROTECTION SHALL BE REPLACED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS INSIDE THE TRAP SHALL BE STABILIZED BEFORE CONVERSION TO STORMWATER MANAGEMENT FACILITY.

STANDARD CONSTRUCTION DETAIL #8-8 CONCRETE RISER WITH TEMPORARY DEWATERING HOLES

TYPICAL COMPOST SOCK WASHOUT INSTALLATION

A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS

-WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS. OPEN DITCHES OR SURFACE WATERS.

-SHOULD BE A MINIMUM OF 10 FEET WIDE AND PROVIDE AT LEAST 12 INCHES OF FREEBOARD ABOVE THE LIQUID AND SOLID

WASTE ANTICIPATED BETWEEN CLEANOUT INTERVALS. -THE PIT SHOULD BE LINED WITH PLASTIC SHEETING OF AT LEAST

10-MIL THICKNESS (WITH NO HOLES OR TEARS) TO PREVENT LEACHING OF LIQUIDS INTO THE GROUND. -ALL CONCRETE

WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND

REPAIRED OR REPLACED IMMEDIATELY. -ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75%

CAPACITY. -PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY

STANDARD CONSTRUCTION DETAIL #8-1 EMBANKMENT SEDIMENT TRAP

ALL SEDIMENT TRAPS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT

MATERIALS REMOVED FROM THE TRAP IN THE MANNER DESCRIBED IN THE E&S PLAN.

AND/OR EMBANKMENTS SHALL BE IMMEDIATELY RESTORED TO THE DESIGN SPECIFICATIONS.

DISPLACED RIPRAP WITHIN THE SPILLWAY OR OUTLET PROTECTION SHALL BE REPLACED IMMEDIATELY

ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES SHALL BE PROVIDED.

A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH TRAP. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT

HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF

CHECK EMBANKMENTS, SPILLWAYS, AND OUTLETS FOR EROSION, PIPING AND SETTLEMENT. CLOGGED OR DAMAGED SPILLWAYS

ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS INSIDE THE TRAP SHALL BE STABILIZED BEFORE CONVERSION

TO A STORMWATER MANAGEMENT FACILITY. TO ASSIST IN REMOVING SEDIMENT, WHICH MAY BE SATURATED, A DEVICE SUCH AS IS

SHOWN IN STANDARD CONSTRUCTION DETAIL #7-18 MAY BE USED TO DEWATER THE SEDIMENT PRIOR TO ITS REMOVAL.

Call before you dir YOU MUST CALL 811 BEFORE ANY EXCAVATION 1-800-242-1776 #XXXXXXXXX **NOT APPROVED FOR** CONSTRUCTION THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC EVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC DOCUMENT UNLESS INDICATED OTHERWISE PROJECT No.: PAA240089.00-0 DRAWN BY: JHT/SW **CHECKED BY** CAD I.D. P-CIVL-CND PROJECT: PRELIMINARY LAND **DEVELOPMENT PLANS**

PENNMARK

ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET **TOWNSHIP OF MOUNT JOY**

LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

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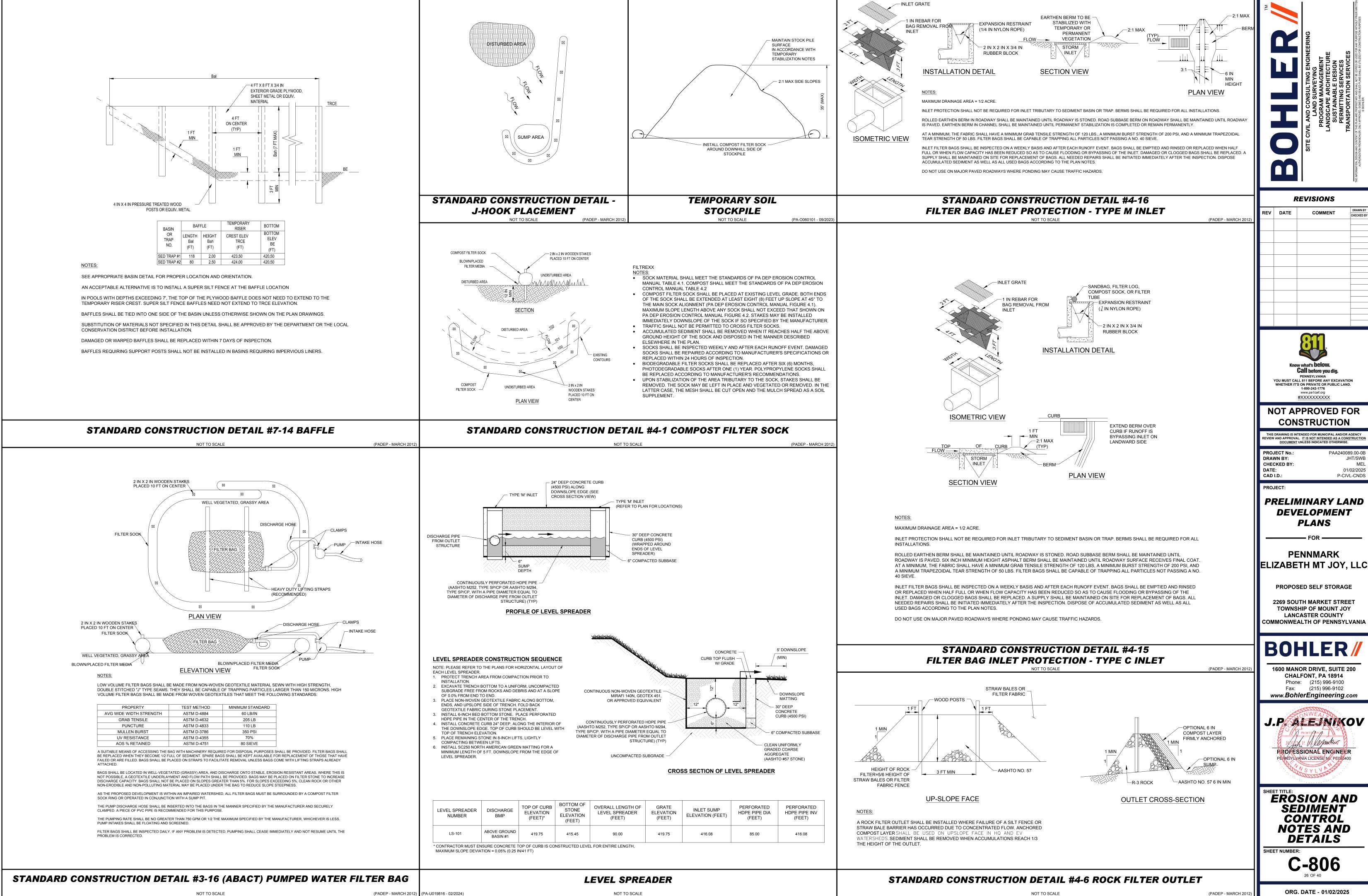
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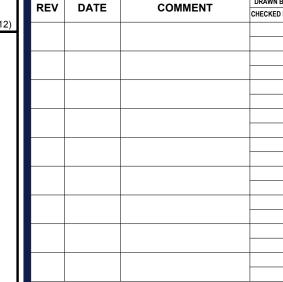
COMMENT

J.P. ALEJNIKOV // Comment PROFESSIONAL ENGINEER NASYLVANIA LICENSE No. PE08640

EROSION AND SEDIMENT CONTROL **NOTES AND DETAILS**



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PRELIMINARY LAND DEVELOPMENT

P-CIVL-CNDS

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PENNMARK

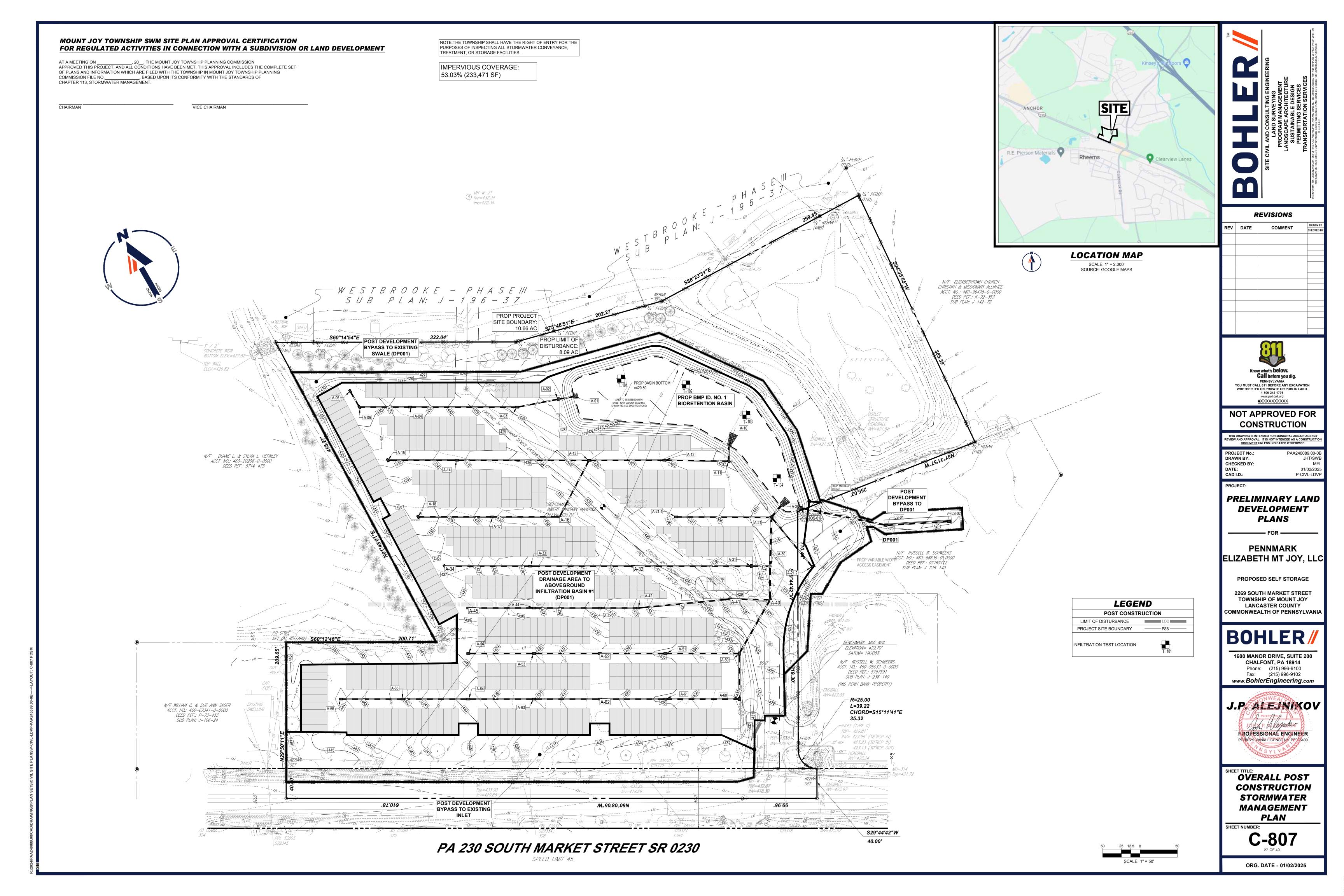
PROPOSED SELF STORAGE

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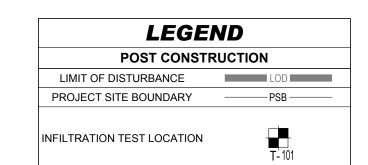
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J.P. ALEJNIKOV PROFESSIONAL ENGINEER

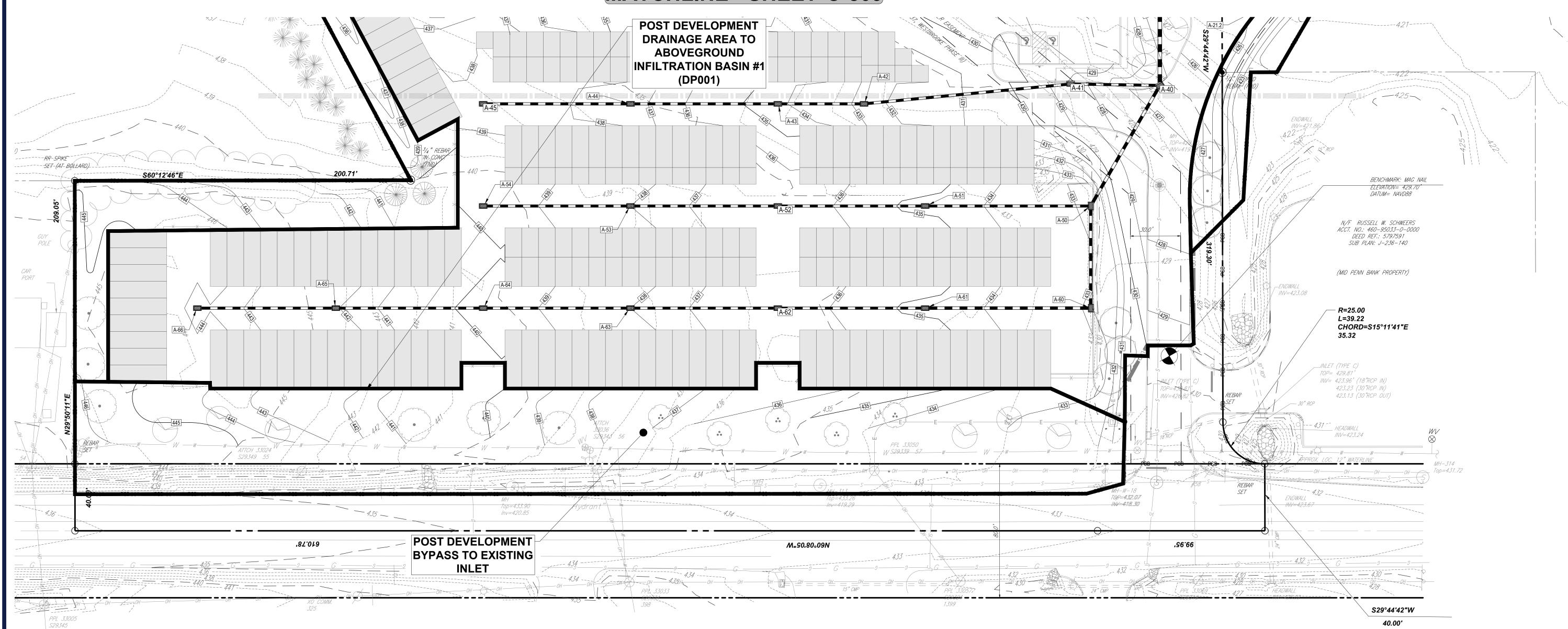
EROSION AND SEDIMENT CONTROL **NOTES AND DETAILS**







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PRELIMINARY LAND **DEVELOPMENT PLANS**

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

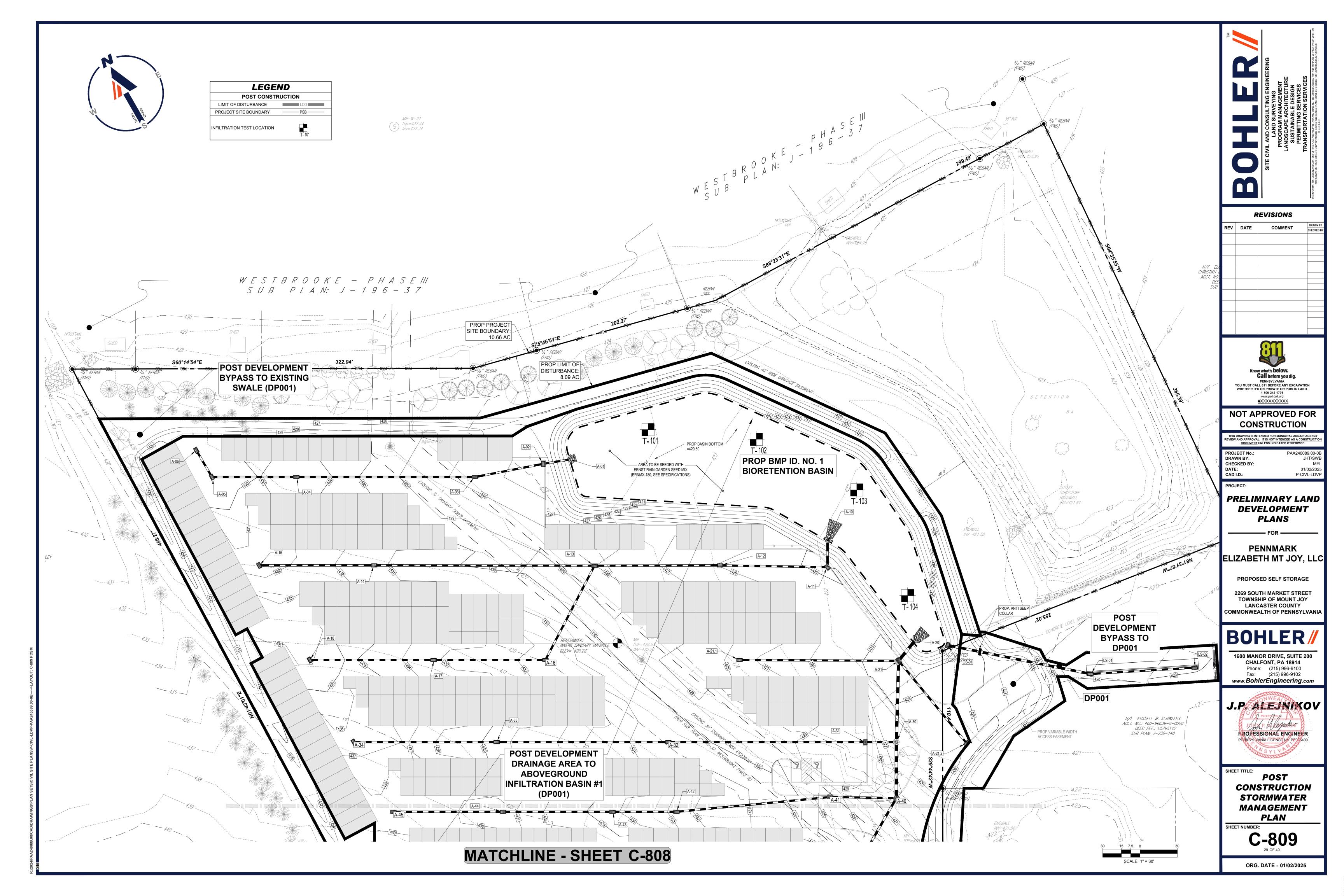
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J.P. ALEJNIKOV John Wegniker PROFESSIONAL ENGINEER

POST CONSTRUCTION STORMWATER **MANAGEMENT** PLAN

C-808



REFER TO THE RMP CONSTRUCTION DETAILS FOR THE CONSTRUCTION OF ALL PROPOSED STORMWATER MANAGEMENT RMPs REFER TO THE PCSWM PLAN AND DETAILS FOR SPECIFIC BMP CONSTRUCTION GUIDELINES. AS-BUILT PLANS OF THE STORMWATER BMPs FOR EACH PROJECT PHASE SHALL BE PROVIDED WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH PHASE. THE AS-BUILT PLANS SHALL BE SIGNED AND SEALED BY A PA REGISTERED PROFESSIONAL

A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS. PRIOR TO ACCEPTING THE NOT. THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION. TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.

LONG-TERM OPERATION AND MAINTENANCE

SCHEDULE

DESCRIBED HEREIN

(Rev. 5/2024)

. UNTIL THE SITE IS STABILIZED AND DURING THE CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY CONTRACTOR. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AS SPECIFIED. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY AND IN ACCORDANCE WITH THESE PROCEDURES, PLANS, AND DETAILS. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS

ALL SITE INSPECTIONS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INDICATING THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST

SHOULD ON-SITE EROSION OCCUR FROM THE LANDSCAPED AREAS, THE SOURCE OF EROSION SHALL BE IMMEDIATELY STABILIZED AND THE INLETS AND STORMWATER PIPING SHALL BE CHECKED FOR ACCUMULATION AND CLEARED IF ACCUMULATION OF SEDIMENT EXISTS. I. HEAVY CONSTRUCTION VEHICLES SHALL NOT BE PARKED ON OR DRIVEN OVER BMP FACILITIES AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY EQUIPMENT, INCLUDING MOWERS. INSPECT INFILTRATION FACILITIES AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SIGNS OF EROSION. REMOVE ACCUMULATED SEDIMENT FROM THE FACILITIES AS REQUIRED. RESTORE ORIGINAL CROSS-SECTION IF NECESSARY

PROPERLY DISPOSE OF SEDIMENT AS SPECIFIED. FOR ABOVE-GROUND INFILTRATION FACILITIES REMOVE AND REPLACE SAND/STONE LAYER AS NECESSARY IF FACILITY DEWATERING TIME EXCEEDS 72 HOURS. S RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT BMPs AS

DEFINITION OF CLEAN FILL AND IMPORT/EXPORT

MATERIAL NOTES

(Rev. 5/2024)

DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE APPLICANT. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE

TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE. THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL

AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL

MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL"

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THE REGULATIONS ARE AVAILABLE ON-LINE AT WWW PACODE COM

RECYCLING OR DISPOSAL OF MATERIALS

THE FOLLOWING IS A LIST THAT INCLUDES. BUT THAT IS NOT LIMITED TO, THE POTENTIAL CONSTRUCTION WASTES THAT MAY EX

- TRASH (CANS, BOTTLES, ETC.)

- YARD WASTE (LEAVES, GRASS CLIPPINGS, ETC.) DEBRIS COLLECTED IN INLETS

SEDIMENT CAPTURED IN ANY PCSM BMP ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH LOCAL REQUIREMENTS. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED,

PLANTING SOIL SPECIFICATION FOR INFILTRATION, **BIOFILTRATION AND MRC FACILITIES**

FOR MOST BIO-RETENTION BIO-INEIL TRATION AND BIO-FILTRATION FACILITIES, PLANTING SOIL SHALL BE A MANUFACTURED SOIL COMPRISED OF A CLEAN TOPSOIL SUPPLEMENTED WITH ORGANIC MATERIAL AND COARSE SAND. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A PLANTING SOIL THAT MEETS THE "TARGET TEST RESULTS OF COMPLETED PLANTING SOIL". INCLUDING THE USE OF COMPOST THAT ALSO MEETS THE INDEPENDENT REQUIREMENTS NOTED HEREIN. THE CONTRACTOR SHALL PROVIDE ALL SUBMITTALS OUTLINED BELOW TO THE PROJECT ENGINEER PRIOR TO INSTALLATION

TARGET TEST RESULTS OF COMPLETED PLANTING SOIL:

THE COMPLETED PLANTING SOIL SHALL MEET, AT A MINIMUM, THE FOLLOWING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLEMENT THE ABOVE STARTER BLEND AS NECESSARY TO ACHIEVE THIS GOAL:

- SAND: 60-80% BY WEIGHT SILT: 25% MAXIMUM BY WEIGHT
- CLAY: 10% MAXIMUM BY WEIGHT ORGANIC MATTER: 5-7% (DRY WEIGHT BASIS)
- HYDRAULIC CONDUCTIVITY (ASTM F1815) AT 75% PROCTOR (ASTM D698): 2-6 IN/HR SOLUBLE SALT CONTENT (ELECTRICAL CONDUCTIVITY 1 SOIL: 2 WATER) MAXIMUM 3 MMHO/CM

- COMPOST USED IN THE COMPLETED SOIL MUST BE SOURCED FROM A FACILITY PARTICIPATING IN THE US COMPOSTING COUNCIL'S (USCC) SEAL OF TESTING ASSURANCE (STA) PROGRAM. COMPOST MUST COMPLY WITH THE FOLLOWING:
- SOLUBLE SALT CONTENT (ELECTRICAL CONDUCTIVITY 1 SOIL : 2 WATER) MAXIMUM 5 MMHO/CM, EXCEPT FOR RE-PROCESSED MUSHROOM COMPOST WHICH SHALL BE PERMITTED A MAXIMUM OF 10 MMHO/CM.
- MOISTURE CONTENT: 30-60% (WET WEIGHT BASIS ORGANIC MATTER CONTENT: 30-65% (DRY WEIGHT BASIS PARTICLE SIZE: 98% PASSES THROUGH 1/2" SCREEN
- MATURITY (BIOASSAY): SEED EMERGENCE AND SEEDING VIGOR, PERCENT RELATIVE TO POSITIVE CONTROL, SHALL BOTH BE A MINIMUM OF 80% PHYSICAL CONTAMINANTS (INERTS): < 0.5% (DRY WEIGHT BASIS)

IF ON-SITE SOILS ARE TO BE USED IN THE FINISHED BLEND:

- CHEMICAL CONTAMINANTS: MEETS OR EXCEEDS US EPA CLASS A STANDARD, 40 CFR §503.13, TABLE 3
- BIOLOGICAL CONTAMINANTS, FECAL COLIFORM BACTERIA OR SALMONELLA: MEETS OR EXCEEDS US EPA CLASS A STANDARD, 40 CFR
- LAB TESTS MUST BE DATED WITHIN 6 MONTHS PRIOR TO DELIVERY TO THE WORK SITE. SUBMITTALS SHALL BE PROVIDED 3 MONTHS
- PRIOR TO INSTALLATION TO PREVENT DELAYS IN CONSTRUCTION. IN SUMMARY, THE CONTRACTOR MUST PROVIDE A SUBMITTAL PACKAGE CONTAINING THE FOLLOWING, AT A MINIMUM:
- 1 A REPRESENTATIVE SAMPLE SHALL BE COLLECTED FROM BORROW SOILS AND SHALL BE TESTED FOR SUITABILITY AS A TOPSOIL BASE PRIOR TO USING IN THE COMPLETED BLEND. TEST RESULTS SHOULD DEMONSTRATE COMPLIANCE WITH PENNSYLVANIA EPA'S CLEAN FILL REQUIREMENTS AND THAT THE TEXTURE IS A LOAM, SANDY LOAM OR CLAY LOAM TOPSOIL.
- 2. A MOCK-UP BLENDED SAMPLE MUST BE CREATED USING THE TESTED ON-SITE SOILS FOR THE PURPOSE OF TESTING AND CONFIRMATION OF FEASIBILITY TO MEET THE COMPLETED PLANTING SOIL REQUIREMENTS NOTED ABOVE. THE MOCK-UP MUST BE APPROVED BY THE PROJECT ENGINEER PRIOR TO FINAL BLENDING AND INSTALLATION.
- SOIL TEST RESULTS OF THE COMPLETED SOIL BY AN INDEPENDENT SOIL TESTING LABORATORY MEETING OR EXCEEDING SPECIFICATIONS NOTED HEREIN (SEE SPECIFICATIONS OUTLINED IN "TEST RESULTS OF COMPLETED PLANTING SOIL" ABOVE)
- COMPOST TEST RESULTS PREPARED BY AN INDEPENDENT SOIL TESTING LABORATORY MEETING OR EXCEEDING SPECIFICATIONS
- A USCC STA CERTIFICATE SHALL BE PROVIDED FOR THE COMPOST SUPPLIER.

WHERE FEASIBLE, IT IS PREFERABLE THAT THE PLANTING SOIL IS INSTALLED USING EQUIPMENT THAT CAN PLACE THE MATERIAL WITHOUT ENTERING THE LIMITS OF THE BMP FACILITY. HOWEVER, IF IT IS NECESSARY TO ENTER THE FACILITY, ALL EQUIPMENT UTILIZED O INSTALL OR GRADE SOILS SHALL BE WIDE-TRACK OR BALLOON TIRES RATED WITH AN AVERAGE GROUND PRESSURE LESS THAN 10 ISI. THE SUBSOIL SHALL BE SCARIFIED 3-6" IN DEPTH PRIOR TO PLACEMENT OF PLANTING SOIL. SOIL SHALL BE INSTALLED IN 12-18" LIFTS AND COMPACTED TO 65-75% PROCTOR (ABOUT 75-250 PSI). WITHOUT EXCEPTION, SOIL SHOULD NOT BE COMPACTED HIGHER THAN 75% PROCTOR (250 PSI), ONCE

THE SOILS HAVE BEEN FULLY PLACED. THE ENTIRE AREA SHALL BE MARKED AND OFF-LIMITS TO MACHINERY.

A PRE-BLENDED IMPORT SOIL IS PREFERRED. HOWEVER, THE CONTRACTOR MAY USE AVAILABLE ON-SITE SOILS IN THE MIX PROVIDED THAT THEY ARE TESTED AND MEET THE PENNSYLVANIA EPA'S CLEAN FILL REQUIREMENTS. AND THAT THE PHYSICAL TEST RESULTS. CLASSIFY THE SOIL AS A LOAM, SANDY LOAM OR CLAY LOAM, THE FOLLOWING IS INTENDED ONLY AS A STARTER MIX. THE CONTRACTOR WILL BE EXPECTED TO SUPPLEMENT AS NECESSARY TO ACHIEVE THE TARGET RANGES LISTED UNDER THE SECTION TITLED "TEST RESULTS OF FINISHED PLANTING SOIL" ABOVE

- 20-35% TOPSOIL BASE (LOAM, SANDY LOAM OR CLAY LOAM) BY VOLUME 30-70% COARSE SAND (ASTM C-33 CONCRETE SAND) BY VOLUME
- 20-30% COMPOST (USCC STA CERTIFIED) BY VOLUME (NO MORE THAN 30% BY VOLUME)

BEFORE TESTING AND AMENDING TO ACHIEVE THE TARGET TEST RESULTS OF THE FINISHED PLANTING SOIL, THIS SOIL SHOULD BE CREENED AND BLENDED THOROUGHLY. NOTE THAT THESE ARE BY-VOLUME MEASUREMENTS TO ASSIST WITH IN-FIELD BLENDING WHEREAS THE TARGET TEST RESULTS ARE GENERALLY BY-WEIGHT MEASUREMENTS.

SEQUENCE OF BMP INSTALLATION AND REMOVAL

§102.4(b)(5)(vii)

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED FOUR (4) DAYS, OR ANY STAGE THEREOF. THE PROJECT SITE SHALL BE MMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO: THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE OF THE LANCASTER COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATION. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS

WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN. THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LANCASTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED FROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY LIPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THI OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

- STAKE OUT LIMIT OF DISTURBANCE
- 2. INSTALL CONSTRUCTION ENTRANCE AS DESIGNATED ON THE PLANS 3 INSTALL ALL PERIMETER COMPOST FILTER SOCKS DIVERSION FILTER SOCK J-HOOK E&S MATTING WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.
- 4. CONSTRUCT SEDIMENT TRAPS. ONLY LIMITED CLEARING AND GRUBBING IS PERMITTED FOR CONSTRUCTION OF ACCESS TO THE SEDIMENT TRAPS. CONSTRUCTION OF THE SEDIMENT TRAPS SHALL INCLUDE THE NECESSARY CLEARING AND GRUBBING. EARTHWORK, INSTALLATION OF THE PERMANENT BASIN OUTFALL SYSTEM AND ALL OTHER SEDIMENT TRAPS FEATURES AS SHOWN ON THE PLANS AND DETAILS, AND ANY NECESSARY TEMPORARY STABILIZATION OF ALL DISTURBED AREAS. THE BASIN IS TO BE STABILIZED AND FUNCTIONING PROPERLY PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITIES. **UPON INSTALLATION** OF THE SEDIMENT TRAP CONCRETE RISER WITH TEMPORARY DEWATERING HOLES AND TEMPORARY EMBANKMENT SEDIMENT TRAP, AN IMMEDIATE INSPECTION OF THE MEASURES SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND THE LANCASTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER MEASURES ARE INSTALLED AND SEALED, PER PLAN. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES. REFER TO THE SEDIMENT BASIN SOIL CONSERVATION DISTRICT MONITORING, INSPECTION AND REPORTING REQUIREMENTS PROVIDED ON THE SOIL EROSION AND SEDIMENT POLLUTION CONTROL NOTES FOR ADDITIONAL SEDIMENT BASIN REQUIREMENTS DURING
- 5. ONCE SEDIMENT TRAPS ARE CONSTRUCTED, STABILIZED AND FUNCTIONING PROPERLY, INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY OWNER. THE CONCRETE WASHOUT MUST BE INSTALLED BEFORE ANY CONCRETE CAN BE POURED ON-SITE. CONTRACTOR MUST PERFORM BULK OF EARTHWORK TO BALANCE CUTS AND FILLS TO THE GREATEST EXTENT POSSIBLE. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS AND SEEDING SPECIFICATIONS IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS.
- 6. INITIATE STORM SEWER INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM
- 7. CONTINUE WITH THE BALANCE OF EARTHWORK INCLUDING UTILITY INSTALLATION (SANITARY, ELECTRIC, TELEPHONE, CABLE AND
- 8. INSTALL ALL CURBING SHOWN IN THIS PHASE AND INSTALL STONE BASE COURSE IN THE DRIVEWAY AND PARKING AREAS.
- 9. INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPE AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. ALL LANDSCAPE AREAS MUST BE STABILIZED AND PERMANENT SEEDING OR PLACEMENT OF SOD MUST BE APPLIED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASI SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED IN THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
- 10.A SITE INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OR CONVERSION OF SEDIMENT TRAPS AND BASINS. ONCE STONE BASE COURSE HAS BEEN SPREAD IN ALL PAVED AREAS AND ALL LANDSCAPE AREAS HAVE BEEN STABILIZED. BEGIN CONVERTING SEDIMENT TRAP TO FINAL GRADES IN ACCORDANCE WITH BMP SEQUENCE OF CONSTRUCTION. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONVERSION OF ABOVE GROUND BASIN #1. A LICENSED PROFESSIONAL OR DESIGNEE KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF ABOVE GROUND BASIN #1, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT
- 11.ANY E&S BMPS THAT ARE TO REMAIN AS PCSM BMPS MUST BE MODIFIED WHERE NECESSARY TO MEET THE REQUIREMENTS OF THE PERMANENT FACILITY. IF ANY SEDIMENT BASINS OR TRAPS ARE TO BE CONVERTED TO DETENTION PONDS, CONVERSION SHOULD BE RESTRICTED TO THE GROWING SEASON, AND THE SEQUENCE SHOULD DESCRIBE THE PROCEDURE TO BE USED. THIS
- 1) FLUSHING ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER SYSTEM
- THE METHOD OF DEWATERING THE IMPOUNDMENT REMOVAL AND PROPER DISPOSAL OF ACCUMULATED SEDIMENT
- REMOVAL OF ALL OTHER TEMPORARY FACILITIES SUCH AS BAFFLES, CLEANOUT STAKES, DEWATERING
- **FACILITIES ETC** d) SEDIMENT PROTECTION OF PERMANENT ORIFICE OR WEIR UNTIL INTERIOR OF PERMANENT FACILITY IS
- STABILIZED PREMOVAL OF THE TEMPORARY RISER AND THE INSTALLATION/OPENING OF THE PERMANENT RISER. f) STABILIZATION OF THE INTERIOR OF THE IMPOUNDMENT AS WELL AS STEPS NECESSARY TO PROVIDE

ANY PROPOSED INFILTRATION CAPACITY INSTALLATION OF PCSM BMPS NOT USED AS TEMPORARY E&S BMPS SHOULD BE SCHEDULED FOR AFTER THE AREAS TRIBUTARY TO THEM HAVE BEEN STABILIZED. WHEREVER THIS IS NOT POSSIBLE, THE PCSM BMPS SHOULD BE PROTECTED FROM SEDIMENT-LADEN RUNOFF. FAILURE TO ADEQUATELY PROTECT PCSM BMPS FROM SEDIMENT DEPOSITION WILL REQUIRE REHABILITATION TO RESTORE THEM TO PROPER FUNCTIONING

12.INSTALL FINAL VEGETATION AND LANDSCAPING SPECIFIED ON THE LANDSCAPE PLAN. 13. UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE

FILTER SOCKS, TREE PROTECTION FENCING, CONSTRUCTION FENCING. ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY. 14. CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ, 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THIS SITE.

LANCASTER COUNTY CONSERVATION DISTRICT, REMOVE EROSION AND SEDIMENT CONTROL FACILITIES INCLUDING COMPOST

15. DEMOBILIZE. 16.A NOTICE OF TERMINATION FORM SHOULD BE SUBMITTED TO THE LANCASTER COUNTY CONSERVATION DISTRICT UPON STABILIZATION AND FINAL COMPLETION OF THIS PROJECT.

CRITICAL STAGES

(Rev. 5/2024)

(Rev. 5/2024)

• CONSTRUCTION OF SEDIMENT TRAP #1 AND #2 • CONVERSION OF SEDIMENT TRAP #1 AND #2 TO PERMANENT CONDITIONS

THERE ARE NO WETLANDS LOCATED ON THE PROJECT SITE.

FXISTING

GROUND

ELEVATION (FT)

424.00

424.00

423.50

423.50

422.00

LOCATION OF ALL SURFACE WATERS AND THEIR

§102.4(b)(5)(v)

THE SUBJECT SITE DRAINS TO UNNAMED TRIBUTARY TO DONEGAL CREEK, WHICH HAS A (CWF/MF COLD WATER FISHES, MIGRATORY

RECEIVING SURFACE WATERS

CLASSIFICATION UNDER CHAPTER 93

I. THE SUBJECT SITE DRAINS TO AN UNNAMED TRIBUTARY TO DONEGAL CREEK, WHICH HAS A (CWF/MF COLD WATER FISHES, MIGRATORY FISHES) CHAPTER 93 CLASSIFICATION. 2. THE DEVELOPMENT IS IN NEITHER AN HQ NOR AN EV WATERSHED AND THEREFORE, NO BOUNDARIES ARE SHOWN.

GEOLOGIC FORMATIONS/SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION

(Rev. 5/2024)

§102.8(f)(2)

TEST PIT

NUMBER

DR-101A @ TP-101

DR-101B @ TP-101

DR-102A @ TP-102

DR-102B @ TP-102

DR-103A @ TP-103

DR-103B @ TP-103

§102.4(b)(5)(xii)

THERE ARE NO GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT COULD CAUSE CONTAMINANT POLLUTION DURING EARTH

ELEVATION

WATER

ELEVATION

NE

NE

(FT)

ZONE

ELEV

DEPTH

4.00

3.50

3.50

2.00

2.00

1.50

1.50

INFILTRATION TESTING SUMMARY TABLE

TESTING WAS PERFORMED BY EARTH ENGINEERING, INC. ON 8/13/2024 THROUGH 8/13/2024.

THE MINIMUM FACTOR OF SAFETY RECOMMENDED BY THE PA BMP MANUAL IS 3.0.

ANY E&S BMPS THAT ARE TO REMAIN AS PCSM BMPS MUST BE MODIFIED WHERE NECESSARY TO MEET THE REQUIREMENTS OF THE PERMANENT FACILITY. IF ANY SEDIMENT BASINS OR TRAPS ARE TO BE CONVERTED TO DETENTION PONDS, CONVERSION SHOULD BE RESTRICTED TO THE GROWING SEASON, AND THE SEQUENCE SHOULD DESCRIBE THE PROCEDURE TO BE USED. THIS SHOULD INCLUDE: FLUSHING ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER

- THE METHOD OF DEWATERING THE IMPOUNDMENT
- REMOVAL AND PROPER DISPOSAL OF ACCUMULATED SEDIMENT REMOVAL OF ALL OTHER TEMPORARY FACILITIES SUCH AS BAFFLES, CLEANOUT STAKES, DEWATERING
- e) SEDIMENT PROTECTION OF PERMANENT ORIFICE OR WEIR UNTIL INTERIOR OF PERMANENT FACILITY IS
- REMOVAL OF THE TEMPORARY RISER AND THE INSTALLATION/OPENING OF THE PERMANENT RISER STABILIZATION OF THE INTERIOR OF THE IMPOUNDMENT AS WELL AS STEPS NECESSARY TO PROVIDE

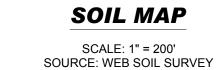
ANY PROPOSED INFILTRATION CAPACITY

BMPS FROM SEDIMENT

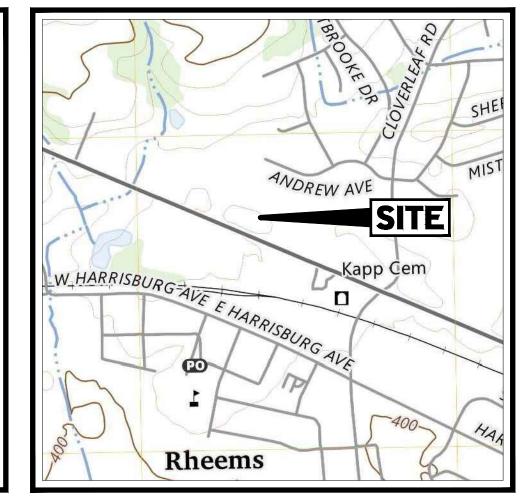
INSTALLATION OF PCSM BMPS NOT USED AS TEMPORARY E&S BMPS SHOULD BE SCHEDULED FOR AFTER THE AREAS TRIBUTARY TO THEM HAVE BEEN STABILIZED. WHEREVER THIS IS NOT POSSIBLE, THE PCSM BMPS SHOULD BE PROTECTED FROM SEDIMENT-LADEN RUNOFF. FAILURE TO ADEQUATELY PROTECT PCSM

DEPOSITION WILL REQUIRE REHABILITATION TO RESTORE THEM TO PROPER FUNCTIONING.



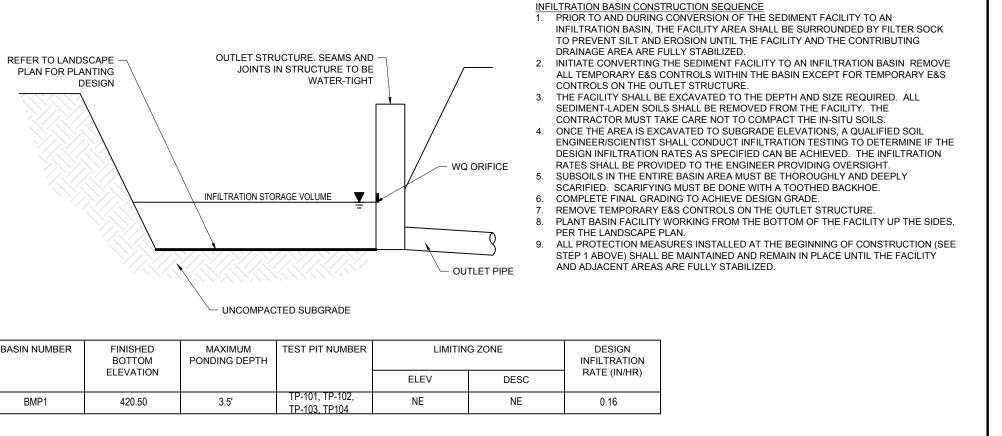


(PA-U019806 - 09/202





USGS MAP SCALE: 1" = 500' SOURCE: USGS



CROSS SECTION SCHEMATIC OF INFILTRATION BASIN NOT TO SCALE

LONG-TERM OPERATION AND MAINTENANCE SCHEDULE **BMP** SCHEDULE **INSPECTION TASK MAINTENANCE FAILURE INDICATORS** FAILURE INDICATORS INCLUDE IF THE RAINGARDEN/BIORETENTION BASIN DOES NOT DEWATER WITHIN 72 HOURS OR IF AN INSPECT FOR LITTER AND ABUNDANCE OF WETLAND PLANTS ARE SEDIMENT ACCUMULATION FOUND WITHIN THE 4 TIMES PER YEAR - INSPECT VEGETATIVE COVER NEEDED MAINTENANCE SHOULD RAINGARDEN/BIORETENTION BASIN UPON BE CONDUCTED IMMEDIATELY OBSERVING A FAILURE INDICATOR A CONDITION - EVALUATE PLANT GROWTH AFTER EACH INSPECTION. THE | QUALIFIED INDIVIDUAL SUCH AS AN ENGINEER OR SOIL SCIENTIST/ENGINEER SHALL BE LITTER AND SEDIMENT SHALL BE BMP 6.4.5 RAIN GARDEN / REMOVED TO RESTORE DESIGN CONSULTED TO DETERMINE THE EXACT BIORETENTION CAPACITIES AND DISPOSED OF IN CAUSE OF FAILURE. UPON FURTHER ACCORDANCE WITH LOCAL, INVESTIGATION PERFORMED BY THE STATE AND FEDERAL QUALIFIED INDIVIDUAL A REMEDIATION PLAN REGULATIONS. SHALL BE IMPLEMENTED TO RESTORE THE REMOVE DETRITUS, CUT BACK BASIN TO ITS ORIGINAL DESIGN CAPACITIES, DORMANT PERENNIAL PLANS THIS INCLUDES PERFORMING ADDITIONAL - INSPECT FOR INVASIVE PLANT ANNUALLY INFILTRATION TESTING TO DETERMINE SPECIES WHETHER THE FACILITY HAS BEEN BROUGHT INSPECT MULCH LEVEL AND BACK TO ITS ORIGINAL DESIGN CAPACITIES. REPLENISH AS NECESSARY INSPECT INLETS, MANHOLES, EXCESSIVE PONDING AROUND THE INLET GRATES ALL ON-SITE **EVERY 3 MONTHS** STORM DRAINAGE SYSTEM COULD INDICATE THAT THERE MAY BE AND STORMWATER INLETS, MANHOLES, AND SEDIMENT/DEBRIS BUILDUP. PIPING STORMWATER PIPING.

RATE

0.50

0.25

0.25

0.25

INFILTRATION TESTING

FI FVATION

(FT)

420.00

420.00

420.00

420.00

420.00

420.00

420.00

TYPES, DEPTH, SLOPE, LOCATIONS, AND LIMITATIONS OF THE SOILS §102.4(b)(5)(ii)

SOIL DESCRIPTIONS

DESIGN

RATE

(IN/HR)

0.17

0.08

0.08

0.25

0.08

FACTOR OF

SAFETY

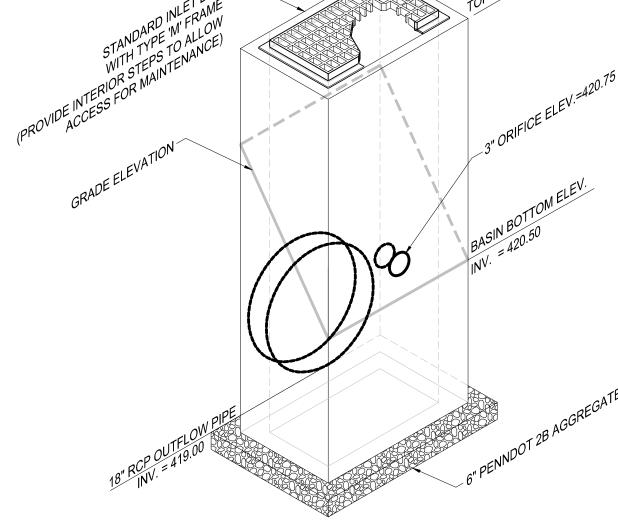
3.00

3.00

SOIL GROUP - SILT LOAM, 3 TO 8 PERCENT SLOPES

LIMITATIO							:	IIA S	`				IN	INC	3 T	'C
SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/ STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYDRIC/ HYDRIC INCLUSIONS	LOW STRENGTH/ LANDSLIDE PRONE	SLOW PERCOLATI ON	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK- SWELL	POTENTIAL SINKHOLE	PONDING	OODIVALLIA.

HAGERSTOWN X S X X X X X X X X X X X



BUTYL RESIN MASTIC SEAL OR OTHER LONG-TERM SEAL SHALL BE PLACED WITHIN ALL JOINTS OF THE STRUCTURE WHEN ASSEMBLED AND BETWEEN TOP OF GRATE AND TOP OF STRUCTURE.

> **OUTLET STRUCTURE DETAIL ABOVE GROUND BASIN #1**

> > N.T.S.

REVISIONS COMMENT REV DATE



NOT APPROVED FOR CONSTRUCTION

#XXXXXXXXX

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JHT/SW

P-CIVL-CND

DRAWN BY: **CHECKED BY:**

CAD I.D. PROJECT:

PRELIMINARY LAND **DEVELOPMENT**

PLANS

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY OMMONWEALTH OF PENNSYLVANIA

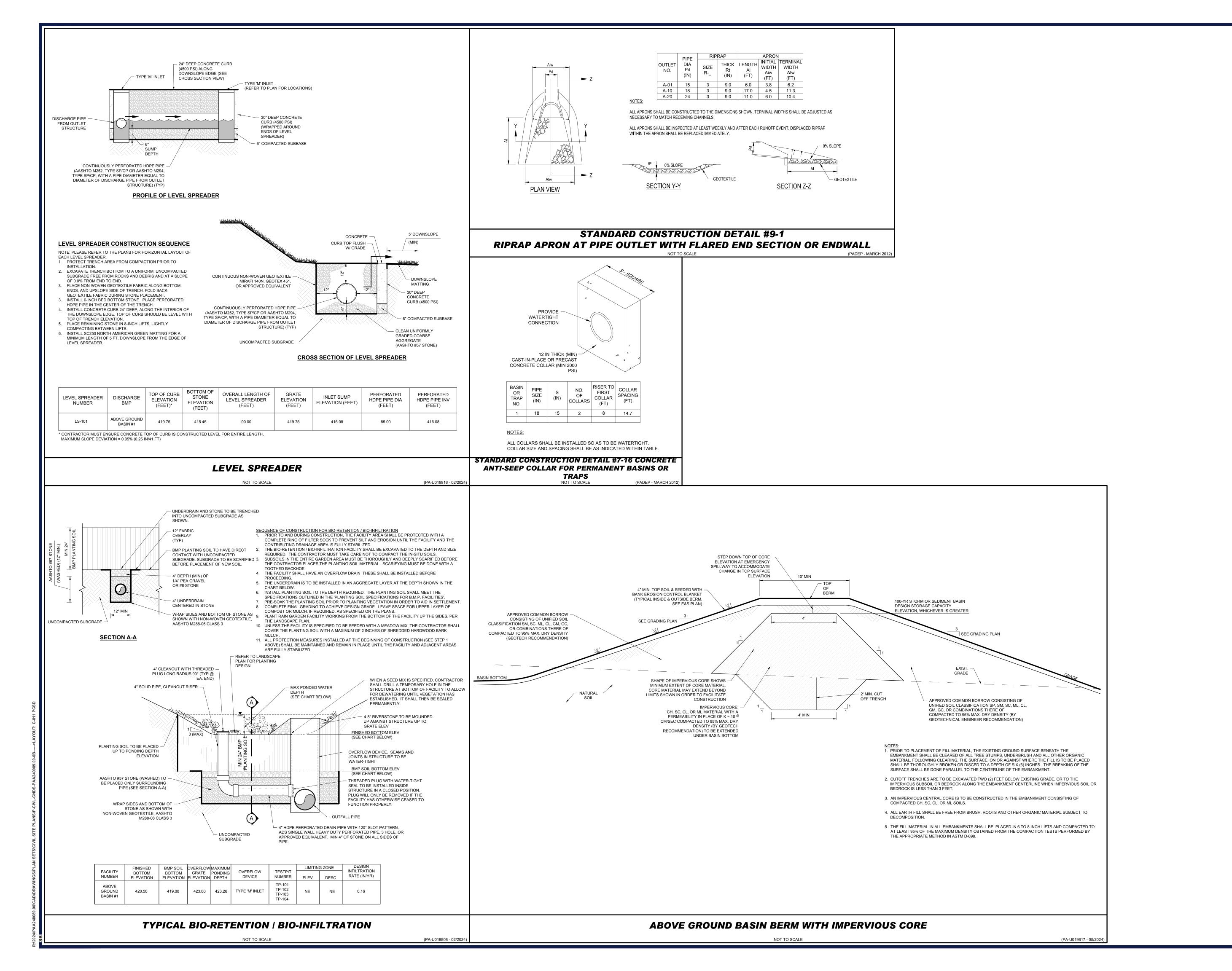
1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100 Fax: (215) 996-9102

J.P. ALEJNIKOV PROFESSIONAL ENGINEER ENVSYLVANIA LICENSE No. PE0864

www.BohlerEngineering.com

SHEET TITLE:

POST CONSTRUCTION STORMWATER MANAGEMENT **NOTES AND DETAILS**



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES

TRANSPORTATION SERVICES

TRANSPORTATION SERVICES

TRANSPORTATION SERVICES

TRANSPORTATION SERVICES

TRANSPORTATION SERVICES

TRANSPORTATION SERVICES

**GROWN ROAN BOHLER ONLY APPROVED. SIGNED PAINS SHALL BE UTILIZED FOR CONSTRUCTION PURP
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P-CIVL-CNDS

PROJECT No.: PAA240089.00-0E
DRAWN BY: JHT/SWE
CHECKED BY: MEI

CAD I.D.:
PROJECT:

DEVELOPMENT PLANS

PRELIMINARY LAND

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

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1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100 Fax: (215) 996-9102 www.BohlerEngineering.com

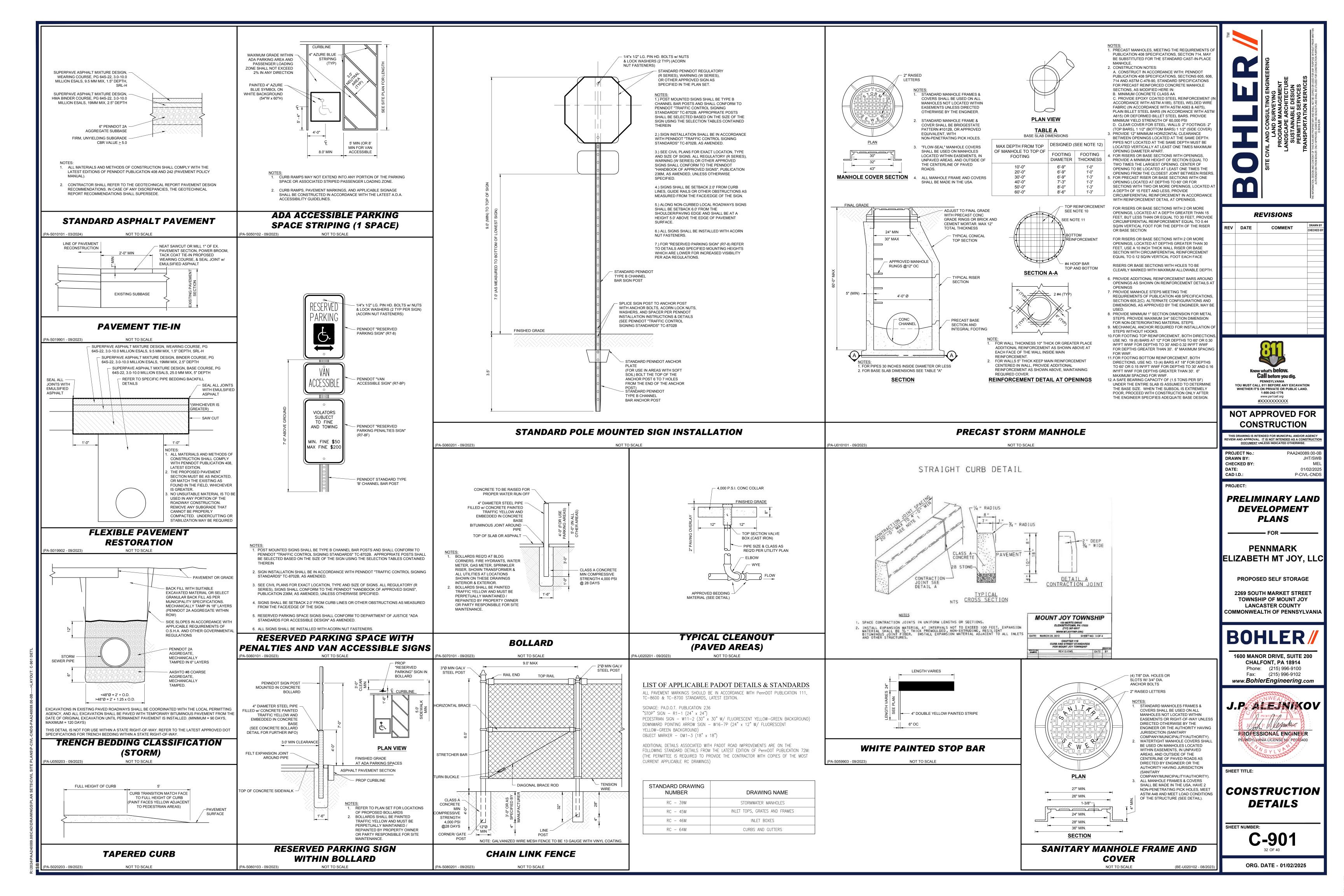
J.P. ALEJNIKOV

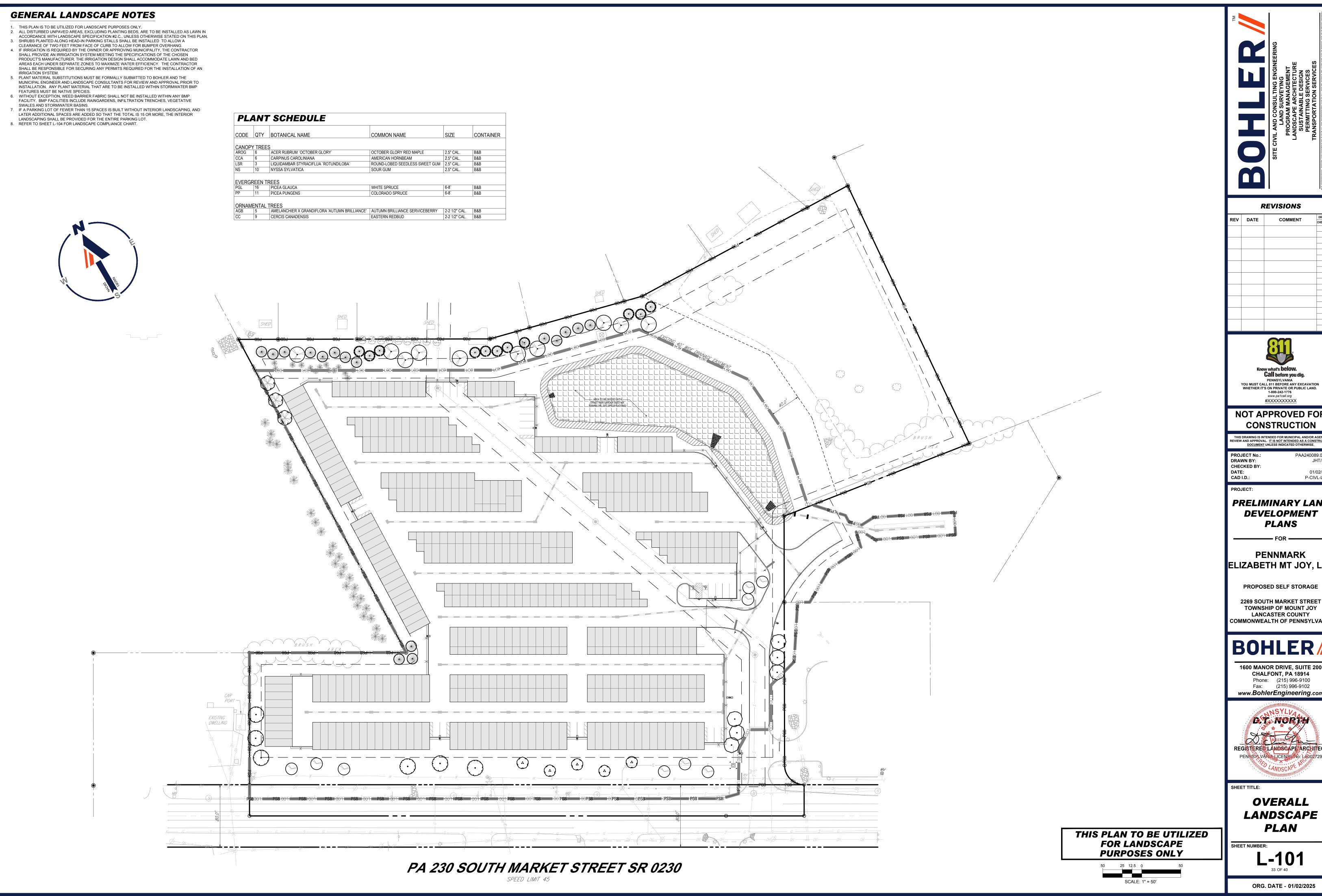
MANUAL MANUAL PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NG. PECE 6400

SHEET TITLE:

POST
CONSTRUCTION
STORMWATER
MANAGEMENT
NOTES AND DETAILS

C-81





REVISIONS

REV DATE COMMENT

Know what's **below. Call** before you dig.

#XXXXXXXXXXX **NOT APPROVED FOR**

CONSTRUCTION

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01/02/2025 P-CIVL-LLGT

PRELIMINARY LAND **DEVELOPMENT PLANS**

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY OMMONWEALTH OF PENNSYLVANIA

BOHLER

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D.T. NORTH

OVERALL *LANDSCAPE* PLAN

L-101



GENERAL LANDSCAPE NOTES

THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.

ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN. 3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.

4. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR

SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN

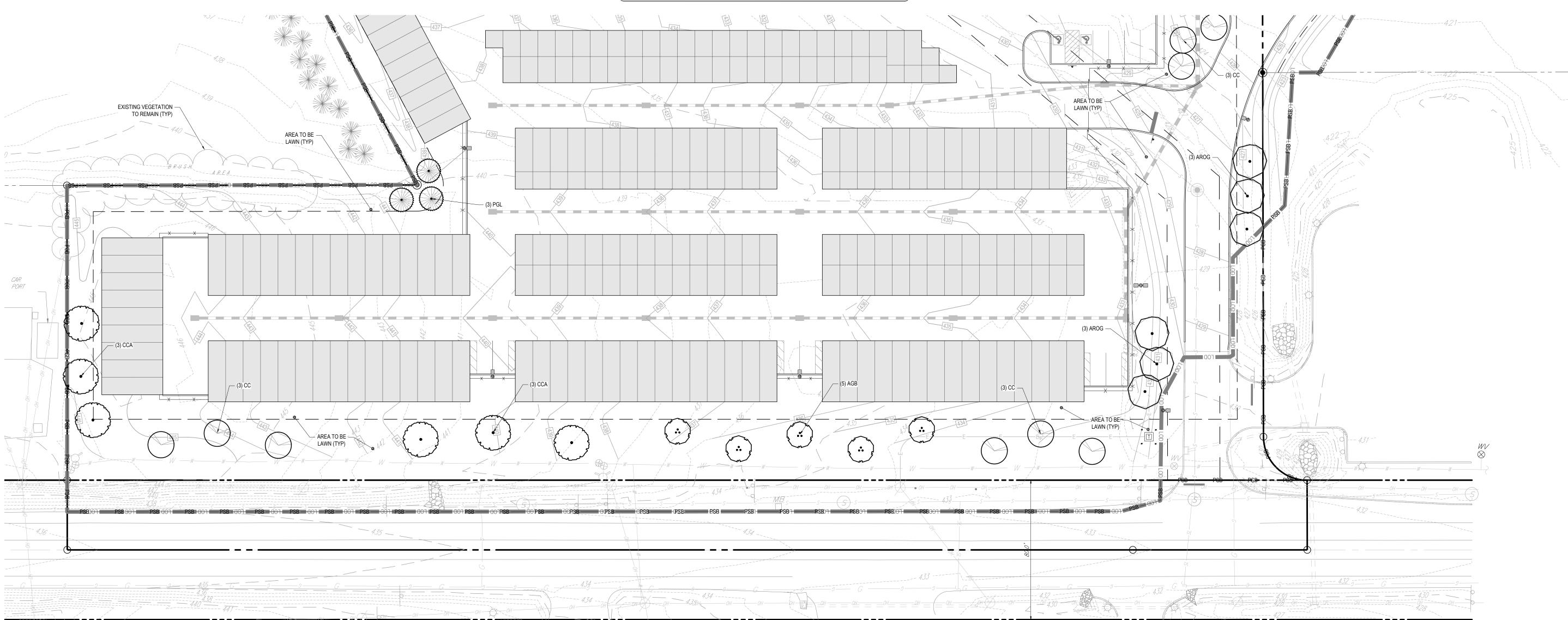
- IRRIGATION SYSTEM.

 5. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- 6. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
 7. IF A PARKING LOT OF FEWER THAN 15 SPACES IS BUILT WITHOUT INTERIOR LANDSCAPING, AND
- LATER ADDITIONAL SPACES ARE ADDED SO THAT THE TOTAL IS 15 OR MORE, THE INTERIOR LANDSCAPING SHALL BE PROVIDED FOR THE ENTIRE PARKING LOT.

 8. REFER TO SHEET L-104 FOR LANDSCAPE COMPLIANCE CHART.

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINE
CANOP	Y TREE	S			
AROG	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL.	B&B
CCA	6	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL.	B&B
LSR	3	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROUND-LOBED SEEDLESS SWEET GUM	2.5" CAL.	B&B
NS	10	NYSSA SYLVATICA	SOUR GUM	2.5" CAL.	B&B
PGL	REEN T	PICEA GLAUCA	WHITE SPRUCE	6-8,	B&B
PP	11	PICEA PUNGENS	COLORADO SPRUCE	6-8`	B&B

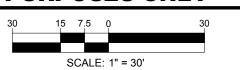
MATCHLINE - SHEET L-103



PA 230 SOUTH MARKET STREET SR 0230

SPEED LIMIT 45

THIS PLAN TO BE UTILIZED FOR LANDSCAPE **PURPOSES ONLY**



REVISIONS

REV	DATE	COMMENT	DRAWN B
IXLV	DAIL	COMMENT	CHECKED



#XXXXXXXXXXX **NOT APPROVED FOR**

CONSTRUCTION THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTIC DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: DRAWN BY: CHECKED BY: DATE: CAD I.D.: 01/02/2025 P-CIVL-LLGT

PRELIMINARY LAND **DEVELOPMENT PLANS**

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY

BOHLER

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Phone: (215) 996-9100

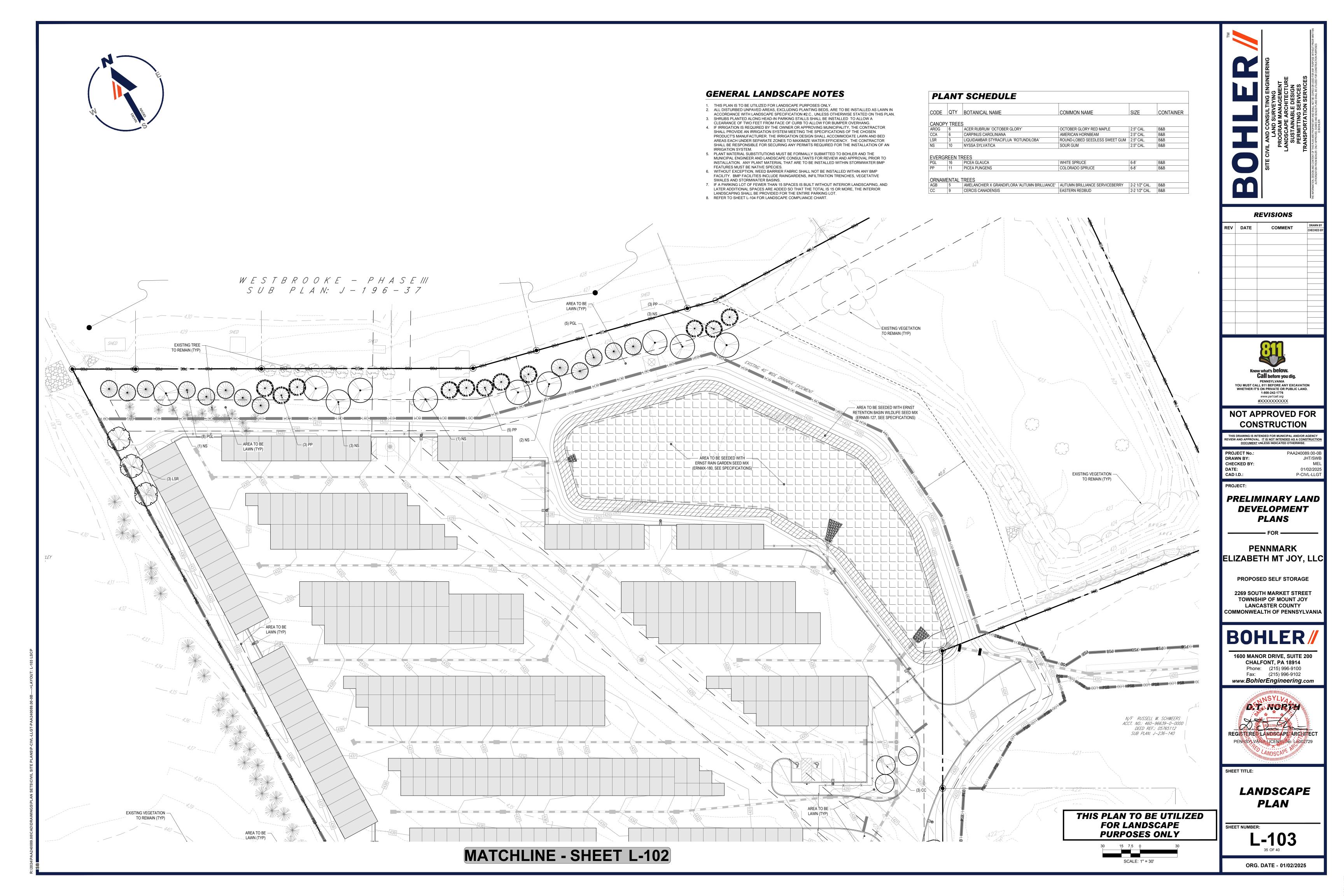
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LANDSCAPE PLAN

L-102



SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING: 135-299 LANDSCAPING	B.(3) FOR EVERY 750 SQUARE FEET OF REQUIRED LANDSCAPE STRIP, ONE SHADE/ORNAMENTAL TREE SHALL BE PROVIDED IN THE REQUIRED LANDSCAPE	ALONG NORTH PROPERTY LINE REQUIRED: 8,120 ±SF / 750 = 10.83 OR 11 TREES PROVIDED: 3 NS, 8 PP (11 TREES)	COMPLIES
AND SCREENING REQUIREMENTS	STRIPS. IF DECIDUOUS, THESE TREES SHALL HAVE A CLEAR TRUNK AT LEAST FIVE FEET ABOVE FINISHED GRADE; IF EVERGREEN, THESE TREES SHALL HAVE A MINIMUM HEIGHT OF SIX FEET. ALL REQUIRED LANDSCAPE STRIPS SHALL HAVE LANDSCAPING	ALONG WEST PROPERTY LINE (EXCLUDING LENGTHS OF EXISTING VEGETATION) REQUIRED: 6,502 ±SF / 750 = 8.67 OR 9 TREES PROVIDED: 3 CCA, 3 LSR, 3 PGL (9 TREES)	
	MATERIALS DISTRIBUTED ALONG THE ENTIRE LENGTH OF THE LOT LINE ABUTTING THE YARD, BUT SHALL NOT NECESSARILY BE REQUIRED TO HAVE A UNIFORM SEPARATION DISTANCE ALONG THE ENTIRE LENGTH OF THE LANDSCAPE STRIP.	ALONG SOUTH PROPERTY LINE (EXCLUDING DRIVEWAY WIDTH) REQUIRED: 6,573 ±SF / 750 = 8.76 OR 9 TREES PROVIDED: 3 CCA, 6 CC (9 TREES) (ALSO COUNTING TOWARDS 119-59.G.(2) BELOW)	
		ALONG EAST PROPERTY LINE (EXCLUDING LENGTHS OF EXISTING VEGETATION AND DRIVEWAY WIDTHS) REQUIRED: 6,670 ±SF / 750 = 8.89 OR 9 TREES PROVIDED: 6 AROG, 3 CC (9 TREES) (5 AROG ALSO COUNTING TOWARDS 119-59.G.(2) BELOW)	
	C.(1) ALL NONRESIDENTIAL AND MULTIFAMILY DWELLING USES, WITH THE EXCEPTION OF AGRICULTURAL USES, SHALL CONTAIN A LANDSCAPE SCREEN, IN ADDITION TO THE REQUIRED LANDSCAPE STRIP, WHEN SUCH USE IS ADJACENT TO A RESIDENTIAL ZONE OR TO A PROPERTY THAT IS AVAILABLE FOR RESIDENTIAL USE. THE LANDSCAPE SCREEN MAY OVERLAP WITH A REQUIRED SETBACK OR RESIDENTIAL BUFFER STRIP AND SHALL BE A MINIMUM OF 10 FEET IN WIDTH, UNLESS A GREATER WIDTH IS REQUIRED BY ANOTHER SECTION OF THIS CHAPTER.	AN ADDITIONAL LANDSCAPE SCREEN HAS BEEN PROVIDED ADJACENT TO RESIDENTIAL USE.	COMPLIES
	D.(1) LANDSCAPED STRIP. WHEN A PARKING LOT IS LOCATED IN A YARD WHICH ABUTS A STREET, A LANDSCAPED STRIP SHALL BE PROVIDED ON THE PROPERTY ALONG THE ENTIRE STREETLINE. UNLESS A GREATER WIDTH IS REQUIRED BY THIS CHAPTER FOR A SPECIFIC USE, THE LANDSCAPE STRIP SHALL BE A MINIMUM OF 15 FEET WIDE. THE WIDTH OF THE STRIP SHALL BE MEASURED FROM THE ULTIMATE STREET RIGHT-OF-WAY LINE. THE STRIP MAY BE LOCATED WITHIN ANY OTHER LANDSCAPED STRIP REQUIRED TO BE LOCATED ALONG A STREET. IF THERE IS NO BUILDING OR OTHER STRUCTURE ON THE PROPERTY, THE PARKING LOT SHALL STILL BE SEPARATED FROM THE STREET BY THE LANDSCAPED STRIP.	REQUIRED: 15' WIDTH PROVIDED: 45' WIDTH	COMPLIES
135-135 AREA AND BULK REGULATIONS	E.(4) RESIDENTIAL BUFFER STRIP. ANY LOT ADJOINING LAND WITHIN A RESIDENTIAL ZONE OR LAND THAT IS AVAILABLE FOR RESIDENTIAL USE SHALL MAINTAIN A FIFTY-FOOT SETBACK FOR NONRESIDENTIAL BUILDINGS, STRUCTURES, OFF-STREET PARKING LOTS, LOADING AREAS AND OUTDOOR STORAGE AREAS, FROM THE PROPERTY BOUNDARY THAT IS SHARED WITH THE RESIDENTIAL DISTRICT OR LAND THAT IS AVAILABLE FOR RESIDENTIAL USE. SUCH AREAS SHALL BE USED FOR A LANDSCAPE STRIP AND SCREEN, SEE § 135-299.	REQUIRED: 50' WIDTH PROVIDED: 54' WIDTH, SEE 135-299.C.(1) ABOVE FOR PLANTING STRIP REQUIREMENT.	COMPLIES, SEE ABOVE
SALDO: 119-59 LANDSCAPING AND STREET TREE	G.(2) THE NUMBER OF STREET TREES SHALL BE BASED ON TWO STREET TREES REQUIRED FOR EVERY 100 LINEAR FEET OF NEW STREET MEASURED AT THE CENTER LINE.	LENGTH ALONG PA 230: 677 ±LF (EXCLUDING DRIVEWAY WIDTH) REQUIRED: (677 / 100) x 2 = 13.54 OR 14 TREES PROVIDED: 5 AGB PLUS 3 CCA, 6 CC PROVIDED PER 135-299.B.(3) (14 TREES)	COMPLIES
REQUIREMENTS		LENGTH ALONG PROPOSED ACCESS DRIVE: 270 ±LF (EXCLUDING DRIVEWAY WIDTHS) REQUIRED: (270 / 100) x 2 = 5.4 OR 5 TREES PROVIDED: 5 AROG PROVIDED PER 135-299.B.(3) (5 TREES)	
	I. GROUND COVER. GROUND COVER SHALL BE PROVIDED ON ALL AREAS OF THE PROJECT TO PREVENT SOIL EROSION. ALL AREAS WHICH ARE NOT COVERED BY PAVING, STONE, OR OTHER SOLID MATERIAL SHALL BE PROTECTED WITH A SUITABLE GROUND COVER, CONSISTING OF SPREADING PLATS, INCLUDING SODS AND GRASSES, LESS THAN 18 INCHES IN HEIGHT	GROUNDCOVER HAS BEEN PROVIDED ON ALL AREAS OF THE PROJECT NOT COVERED BY PAVING OR LANDSCAPING.	COMPLIES

ERNST SEED CO. RETENTION BASIN WILDLIFE SEED MIX SPECIFICATIONS (ERNMX-127)

PANICUM CLANDESTINUM 'TIOGA' CAREX VULPINOIDEA (PA ECOTYPE) ELYMUS VIRGINICUS (PA ECOTYPE) CAREX LURIDA (PA ECOTYPE) CAREX SCOPARIA (PA ECOTYPE) VERBENA HASTATA (PA ECOTYPE) JUNCUS EFFUSUS AGROSTIS PERENNANS (NY ECOTYPE) ASCLEPIAS INCARNATA (PA ECOTYPE) SCIRPUS CYPERINUS (PA ECOTYPE) HELENIUM AUTUMNALE (PA ECOTYPE) ASTER NOVAE-ANGLIAE (PA ECOTYPE)	DEERTONGUE, TIOGA FOX SEDGE VIRGINIA WILD RYE LURID SEDGE BLUNT BROOM SEDGE BLUE VERVAIN SOFT RUSH AUTUMN BENTGRASS, ALBANY PINE BUSH SWAMP MILKWEED WOOL GRASS COMMON SNEEZEWEED NEW ENGLAND ASTER	0.5% 0.3% 0.2% 0.1%
,		
JUNCUS EFFUSUS	SOFT RUSH	1.5%
	AUTUMN BENTGRASS, ALBANY PINE BUSH	0.5%
ASCLEPIAS INCARNATA (PA ECOTYPE)	SWAMP MILKWEED	0.5%
SCIRPUS CYPERINUS (PA ECOTYPE)	WOOL GRASS	0.3%
HELENIUM AUTUMNALE (PA ECOTYPE)	COMMON SNEEZEWEED	0.2%
ASTER NOVAE-ANGLIAE (PA ECOTYPE)	NEW ENGLAND ASTER	0.1%
ASTER PUNICEUS (PA ECOTYPE)	PURPLESTEM ASTER ASTER	0.1%
ASTER UMBELLATA (PA ECOTYPE)	FLAT TOPPED WHITE ASTER	0.1%
EUPATORIUM PERFOLIATUM (PA ECOTYPE)	BONESET	0.1%
LOBELIA SIPHILITICA (PA ECOTYPE)	GREAT BLUE LOBELIA	0.1%
SEEDING RATE: 20 LBS PER ACRE OF THE ER	DNET MIV	
SELDING NATE. 20 LDS FER ACRE OF THE ER	VINO I MIIV	

NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS APPROPRIATE FOR THE TIME OF YEAR:

- ANNUAL RYE (10 LBS PER ACRE) • OR SPRING OATS (64 LBS PER ACRE) OR WINTER RYE (56 LBS PER ACRE)
- 1. THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. THE MOST CURRENT FORMULATION AS SPECIFIED BY THE ERNST COMPANY AT THE TIME OF PLANTING
- 2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY. THE
- CONTRACTOR MUST ENSURE DIRECT SEED-TO-SOIL CONTACT. HYDROSEEDING IS NOT PERMITTED WITH THIS SEED MIX; IT WILL PROHIBIT GERMINATION. 3. THE ENTIRE FACILITY SHALL BE STABILIZED WITH A NORTH AMERICAN GREEN SC150 STRAW &
- COCONUT BLANKET (OR APPROVED EQUAL). THE BLANKET SHOULD BE INSTALLED ON TOP OF THE SEED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS. 4. SEED MIX WILL NEED DAILY SUPPLEMENTAL WATERING UNTIL IT HAS GERMINATED AND REACHED
- AN AVERAGE HEIGHT OF AT 12-18". 5. THE SEEDING AREA SHALL BE MOWED ONCE AFTER THE FIRST GROWING SEASON, EARLY IN THE SPRING, AND THEN SHALL BE MOWED NO MORE THAN ONCE EVERY THREE YEARS THEREAFTER

ERNST SEED CO. RAIN GARDEN MIX **SEEDING SPECIFICATIONS (ERNMX-180)**

	<u> </u>	_
CHASMANTHIUM LATIFOLIUM (PA/VA ECOTYPE BLEND)	RIVER OATS	38
ELYMUS VIRGINICUS (PA ECOTYPE)	VIRGINIA WILD RYE	20
CAREX VULPINOIDEA (PA ECOTYPE)	FOX SEDGE	10
ECHINACEA PURPUREA	PURPLE CONEFLOWER	49
PENSTEMON DIGITALIS (PA ECOTYPE)	TALL WHITE BEARDTONGUE	39
RUDBECKIA HIRTA (COASTAL PLAIN NC ECOTYPE)	BLACKEYED SUSAN	39
COREOPSIS LANCEOLATA (COASTAL PLAIN NC ECOTYPE)	LANCELEAF COREOPSIS	39
TRADESCANTIA OHIENSIS (PA ECOTYPE)	OHIO SPIDERWORT	29
HELIOPSIS HELIANTHOIDES (PA ECOTYPE)	OXEYE SUNFLOWER	29
AGROSTIS PERENNANS (PA ECOTYPE)	AUTUMN BENTGRASS	29
CHAMAECRISTA FASCICULATA (PA ECOTYPE)	PARTRIDGE PEA	29
LIATRIS SPICATA (PA ECOTYPE)	MARSH (DENSE) BLAZING STAR	29
ASTER LAEVIS (NY ECOTYPE)	SMOOTH BLUE ASTER	1.
SENNA HEBECARPA (VA & WV ECOTYPE)	WILD SENNA	19
ASTER NOVAE-ANGLIAE (PA ECOTYPE)	NEW ENGLAND ASTER	19
ASCLEPIAS INCARNATA (PA ECOTYPE)	SWAMP MILKWEED	19
JUNCUS TENUIS (PA ECOTYPE)	PATH RUSH	19
JUNCUS EFFUSUS	SOFT RUSH	1%
MONARDA FISTULOSA (FORT INDIANTOWN GAP-PA ECOTYPE)	WILD BERGAMOT	1%
EUPATORIUM COELESTINUM (VA ECOTYPE)	MISTFLOWER	0.
BAPTISIA AUSTRALIS (SOUTHERN WV ECOTYPE)	BLUE FALSE INDIGO	0.
SOLIDAGO JUNCEA (VA ECOTYPE)	EARLY GOLDENROD	0.
PYCNANTHEMUM TENUIFOLIUM	SLENDER MOUNTAINMINT	0.

SEEDING RATE: 20 lb. PER ACRE OF THE ERNST MIX

NURSE CROP: THE ERNST SEED MIX MUST BE ACCOMPANIED BY ONE OF THE FOLLOWING TEMPORARY SEED SPECIFICATIONS APPROPRIATE FOR THE TIME OF YEAR:

- ANNUAL RYE (10 LBS PER ACRE) OR SPRING OATS (64 LBS PER ACRE) OR WINTER RYE (56 LBS PER ACRE)
- 1 THE FORMULATION NOTED ABOVE IS REPRESENTATIVE OF THE ERNST SEED SPECIFICATION. THE MOST CURRENT FORMULATION AS SPECIFIED BY THE ERNST COMPANY AT THE TIME OF PLANTING SHALL BE
- 2. SEED SHOULD BE APPLIED USING DRILL SEEDING OR BROADCAST SEEDING METHODS ONLY. THE
- THIS SEED MIX; IT WILL PROHIBIT GERMINATION. 3. THE ENTIRE FACILITY SHALL BE STABILIZED WITH A NORTH AMERICAN GREEN SC150 STRAW & COCONUT
- BLANKET (OR APPROVED EQUAL). THE BLANKET SHOULD BE INSTALLED ON TOP OF THE SEED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
- 4. THE SEED MIX WILL NEED DAILY SUPPLEMENTAL WATERING UNTIL IT HAS GERMINATED AND REACHED AN
- 5. THE SEEDING AREA SHALL BE MOWED ONCE AFTER THE FIRST GROWING SEASON, EARLY IN THE SPRING, AND THEN SHALL BE MOWED NO MORE THAN ONCE EVERY THREE YEARS THEREAFTER EARLY IN SPRING

LANDSCAPE SPECIFICATIONS

LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED

THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS

OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS

- TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 5.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS. LAWN - LAWN AREAS SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. FOR SOIL BED PREPARATIONS. REFER TO ITEM 8 BELOW.
- SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE
- STATED ON THE LANDSCAPE PLAN. E. FERTILIZER FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
- FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY . PLANT MATERIAL ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST

EDITION, AS PUBLISHED BY AMERICAN HORT (FORMERLY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION).

- IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4". WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED, PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER. THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A
- CLEAN STATE AT THE END OF EACH WORKDAY, ALL DEBRIS. MATERIALS AND TOOLS SHALL BE PROPERLY STORED. STOCKPILED OR DISPOSED
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL
- BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS, EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY
- ANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED
- B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION,
- GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE

PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.

- PERFORMED BY A CERTIFIED SOIL LABORATORY. B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS. AS SPECIFIED HEREIN. MAY NEED TO BE CONDUCTED BY THE CONTRACTOR DEPENDING ON SITE CONDITIONS. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF
- TO INCREASE DRAINAGE. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE
- A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
- B. CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±). ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH. EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS
- DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AND LAWN AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED
- COMPACTED THICKNESS. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE
- DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]): 20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER 20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BI UF CHIP OR APPROVED NITROGEN FERTILIZER

THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS, ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING.

NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO

- POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS MAKING NECESSARY ADJUSTMENTS AS DIRECTED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN,
- MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
- PLANTS: MARCH 15TH TO DECEMBER 15TH LAWN AND MEADOW SEED MIXES: MARCH 1ST TO MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 15TH
- PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA
 - BETULA VARIETIES POPULUS VARIETIES **CARPINUS VARIETIES** PRUNUS VARIETIES CRATAEGUS VARIETIES KOELREUTERIA QUERCUS VARIETIES LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA
- LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED
 - 1 PART PEAT MOSS 1 PART COMPOSTED COW MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS: 2 TABLETS PER 1 GALLON PLAN
- 3 TABLETS PER 5 GALLON PLANT 4 TABLETS PER 15 GALLON PLANT LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY. J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL. THE POINT AT WHICH THE ROOT FLARE BEGINS. IS SET AT GROUND LEVEL

COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

- AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL. K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST YEAR OF PLANTING. .. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND
- NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED
- ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE SPECIFICATION 2.F. ABOVE) B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING. THEY SHALL BE HEALED IN WITH MULCH OR SOIL. ADEQUATELY WATERED AND
- PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10TH AND JUNE 30TH. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6")

DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

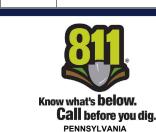
PROTECTED FROM EXTREME HEAT. SUN AND WIND.

REPRESENTATIVE.

- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE
- THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED. B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE. CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS,
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE
- LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL
- SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON, ANY DEBRIS SHALL BE DISPOSED OF OFE-SITE WITHOUT EXCEPTION, A PLANT SHALL BE CONSIDERED "DEAD OR DYING" IF MORE THAN 30% OF ITS BRANCHES ARE DEAD. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR.
- CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING FERTILIZING. WEEDING. MOWING. TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS. EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED

COMMENT REV DATE

REVISIONS



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PROJECT No.: PAA240089.00-0 DRAWN BY: JHT/SW CHECKED BY:

CAD I.D.

PROJECT: PRELIMINARY LAND DEVELOPMENT

PLANS

PENNMARK ELIZABETH MT JOY, LLC

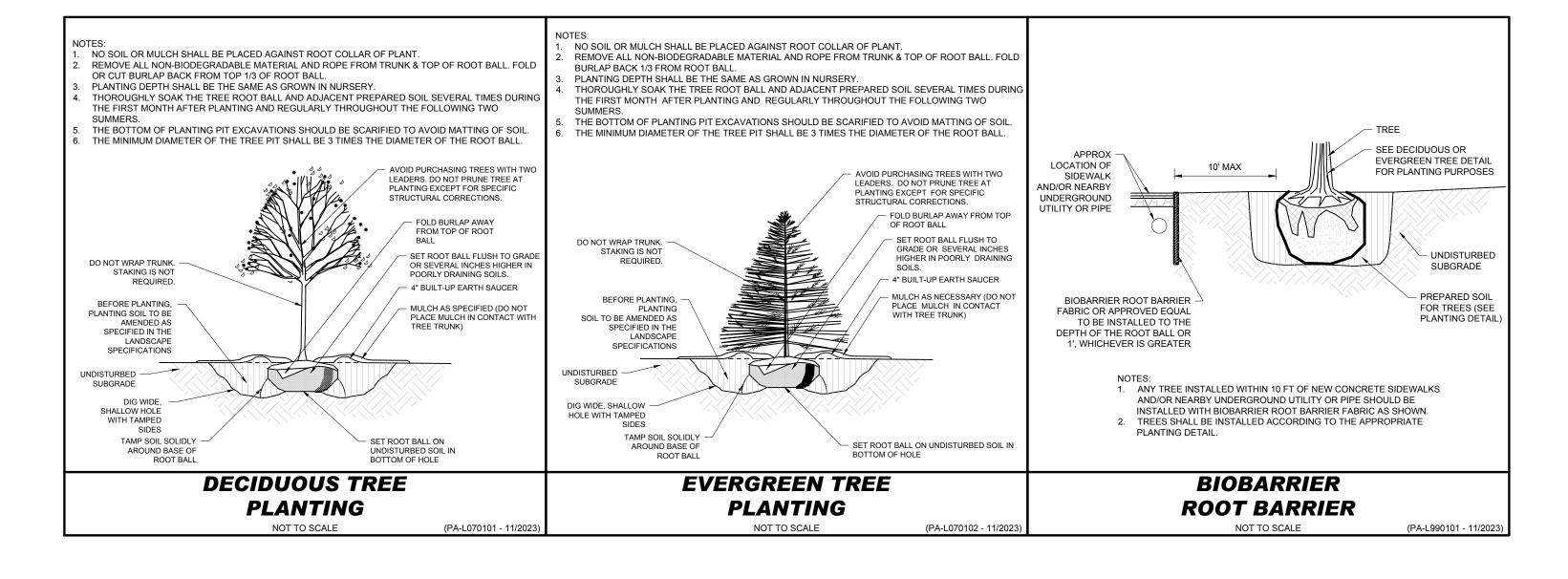
PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET **TOWNSHIP OF MOUNT JOY** LANCASTER COUNTY OMMONWEALTH OF PENNSYLVANIA

1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100 Fax: (215) 996-9102



LANDSCAPE NOTES & **DETAILS**



	MOUNTING HEIGHT		MENT LUM. LUI	VIENS I	LLF	DESCRIP	TION				POLE		
1	20'-0" AFG	SINGLE	9650	(REA LUMINAIRE, TYPE 2, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-x-x)		GHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-	-DM19/
S 2	20'-0" AFG	SINGLE	8373							REA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-HS-x		GHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-	
D 1 S 2	20'-0" AFG 20'-0" AFG	BACK-BAC SINGLE	K 9762 8462							REA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-x-x) REA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-HS-x		GHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B- GHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-	
S 6	20'-0" AFG	SINGLE	8523							REA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSXT-LED-P2-40K-70CRI-13M-X-RPA-HS-X REA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSXT-LED-P2-40K-70CRI-T4M-x-RPA-HS-X		GHT STEEL POLE, 17-6 LENGTH (RSS-17-6-4B- GHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-	
V 1	20'-0" AFG	SINGLE	10358							REA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T5W-x-RPA-x-x)		GHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-	
33	10'-0" AFF	SINGLE	5453	- (/ALL LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T3M-x)		,	
15	10'-0" AFF	SINGLE	5342	(0.900	LITHONIA	LIGHTING	G, D-SERIES S	SIZE 1 LED W	/ALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T4M-x)			
VED AREA	E - RESIDENTIAL (VER	I J AFG)	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.					
		,	ILLUMINANCE	Fc	1.90	6.6	0.5	3.80	N.A. 13.20				
			ILLUMINANCE	Fc	1.90	6.6	0.5	3.80					

EXISTING

DWELLING

GENERAL LIGHTING NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).

 5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT

DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND

- OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND
- APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. 7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.

 8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED
- OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS 9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- 10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL
- PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL 12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

13. REFER TO SHEET L-204 FOR LIGHTING COMPLIANCE CHART

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



REVISIONS

REV DATE COMMENT

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DRAWN BY: CHECKED BY: DATE: CAD I.D.:

P-CIVL-LLGT

PROJECT:

PRELIMINARY LAND **DEVELOPMENT PLANS**

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA

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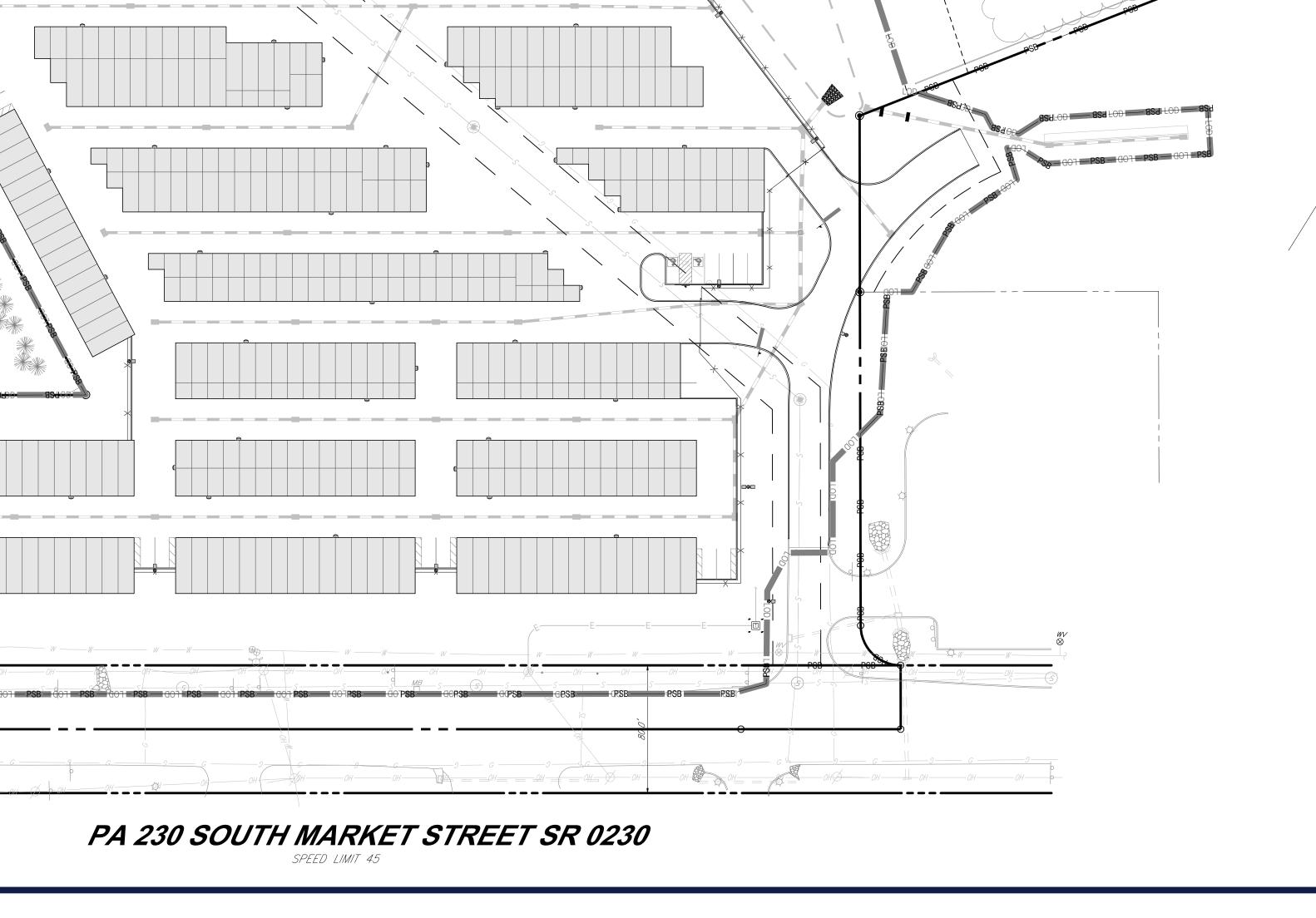
www.BohlerEngineering.com

D.T. NORTH REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:

OVERALL LIGHTING PLAN

L-201





LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2	1	20'-0" AFG	SINGLE	9650	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P2-S	2	20'-0" AFG	SINGLE	8373	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P3-D	1	20'-0" AFG	BACK-BACK	9762	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM28AS-x-x)
P3-S	2	20'-0" AFG	SINGLE	8462	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-HS-x)	· · · · · · · · · · · · · · · · · · ·
P4-S	6	20'-0" AFG	SINGLE	8523	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T4M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P5W	1	20'-0" AFG	SINGLE	10358	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T5W-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
W3*	33	10'-0" AFF	SINGLE	5453	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T3M-x)	
W4*	15	10'-0" AFF	SINGLE	5342	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T4M-x)	

CALCULATION SUMMARY

* REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING LOCATION AND HEIGHT.

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.36	6.6	0.0	N.A.	N.A.
PROPERTY LINE - NON-RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.04	0.5	0.0	N.A.	N.A.
PROPERTY LINE - RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.	N.A.
PAVED AREA	ILLUMINANCE	Fc	1.90	6.6	0.5	3.80	13.20

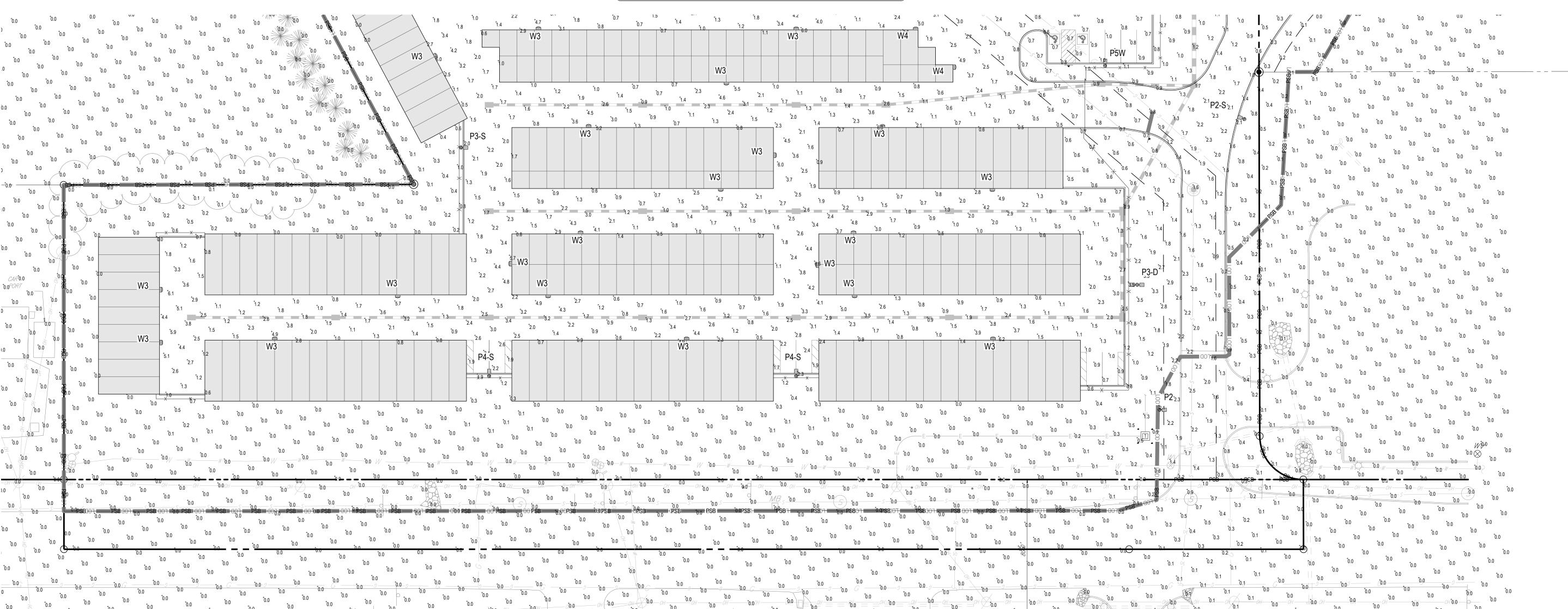
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- 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE
- 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS
- THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED
- OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED. 9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE
- PRESENT AND FUNCTIONING AT ALL TIMES.

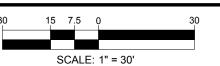
 10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE
- 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL
- 12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

 13. REFER TO SHEET L-204 FOR LIGHTING COMPLIANCE CHART.

MATCHLINE - SHEET L-203



THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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PROJECT No.: DRAWN BY: **CHECKED BY:** DATE: CAD I.D.:

PRELIMINARY LAND **DEVELOPMENT PLANS**

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET **TOWNSHIP OF MOUNT JOY** LANCASTER COUNTY OMMONWEALTH OF PENNSYLVANIA

BOHLER

1600 MANOR DRIVE, SUITE 200 CHALFONT, PA 18914 Phone: (215) 996-9100 Fax: (215) 996-9102 www.BohlerEngineering.com



LIGHTING PLAN

L-202



LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
P2	1	20'-0" AFG	SINGLE	9650	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P2-S	2	20'-0" AFG	SINGLE	8373	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T2M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P3-D	1	20'-0" AFG	BACK-BACK	9762	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM28AS-x-x)
P3-S	2	20'-0" AFG	SINGLE	8462	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T3M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P4-S	6	20'-0" AFG	SINGLE	8523	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T4M-x-RPA-HS-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
P5W	1	20'-0" AFG	SINGLE	10358	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (DSX1-LED-P2-40K-70CRI-T5W-x-RPA-x-x)	LITHONIA LIGHTING, ROUND STRAIGHT STEEL POLE, 17'-6" LENGTH (RSS-17-6-4B-DM19AS-x-x)
W3*	33	10'-0" AFF	SINGLE	5453	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 3, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T3M-x)	
W4*	15	10'-0" AFF	SINGLE	5342	0.900	LITHONIA LIGHTING, D-SERIES SIZE 1 LED WALL LUMINAIRE, TYPE 4, ZERO UP-LIGHT (DSXW1-LED-20C-40K-T4M-x)	

CALCULATION SUMMARY

* REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING LOCATION AND HEIGHT.

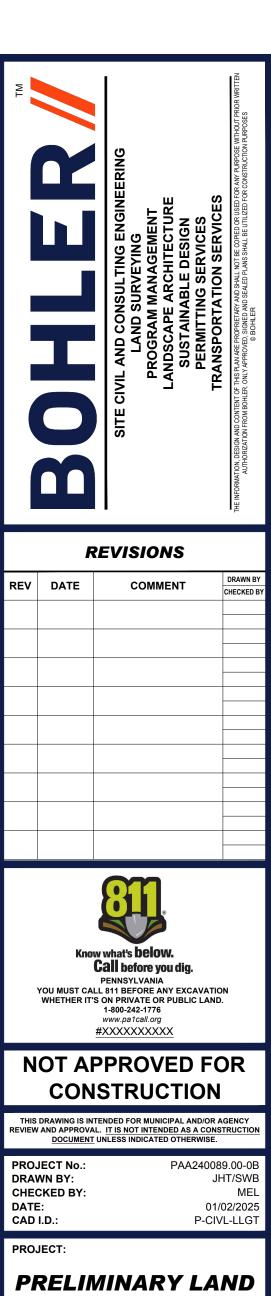
	_						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.36	6.6	0.0	N.A.	N.A.
PROPERTY LINE - NON-RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.04	0.5	0.0	N.A.	N.A.
PROPERTY LINE - RESIDENTIAL (VERT 5' AFG)	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.	N.A.
PAVED AREA	ILL UMINANCE	Fc	1 90	6.6	0.5	3 80	13 20

GENERAL LIGHTING NOTES

REGULATIONS.

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE
- FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER
- RELATED VARIABLE FIELD CONDITIONS.

 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION
- LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE
- 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF
- RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED
- OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE
- FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- 10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL
- PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL



DEVELOPMENT

PLANS

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PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY LANCASTER COUNTY

BOHLER

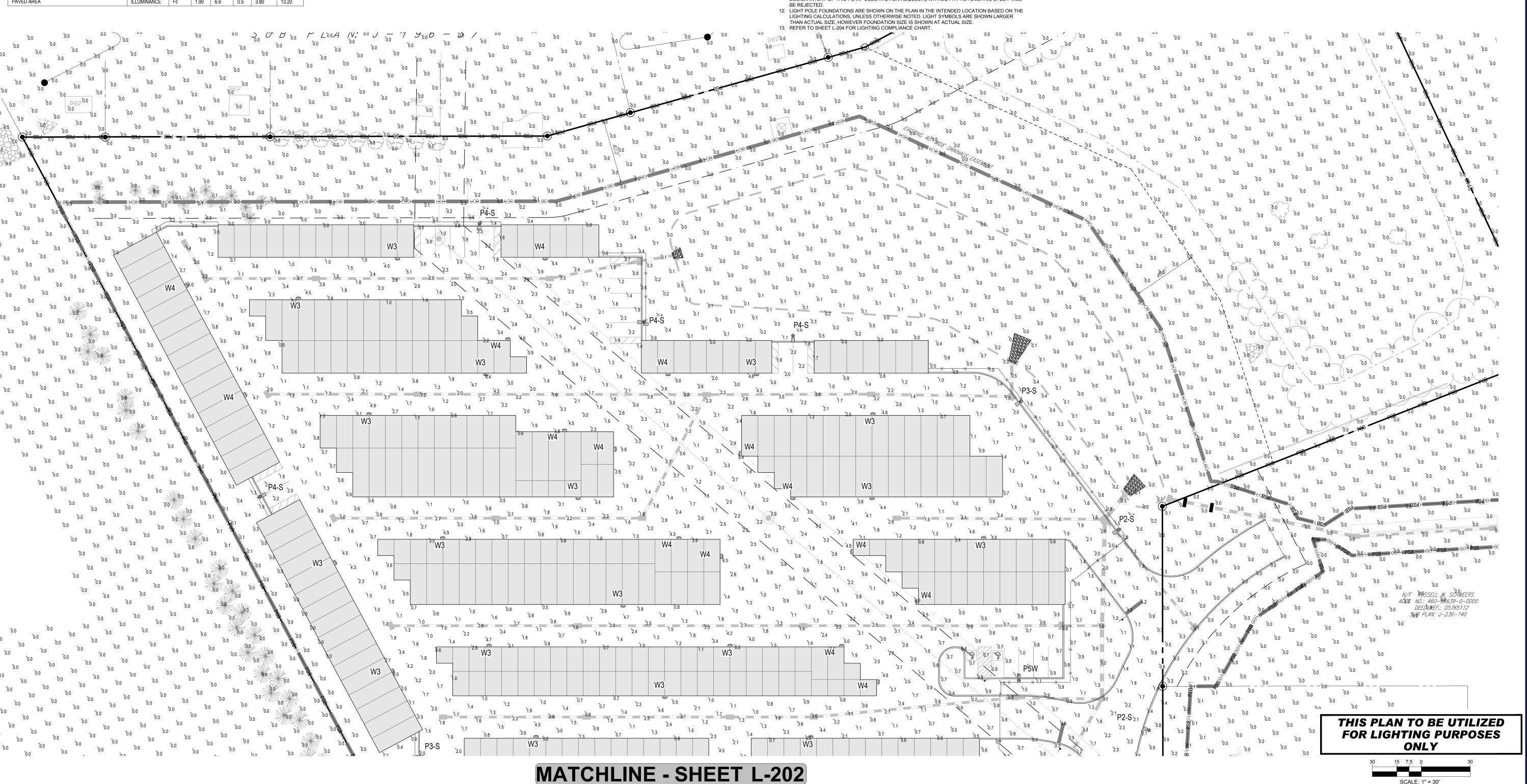
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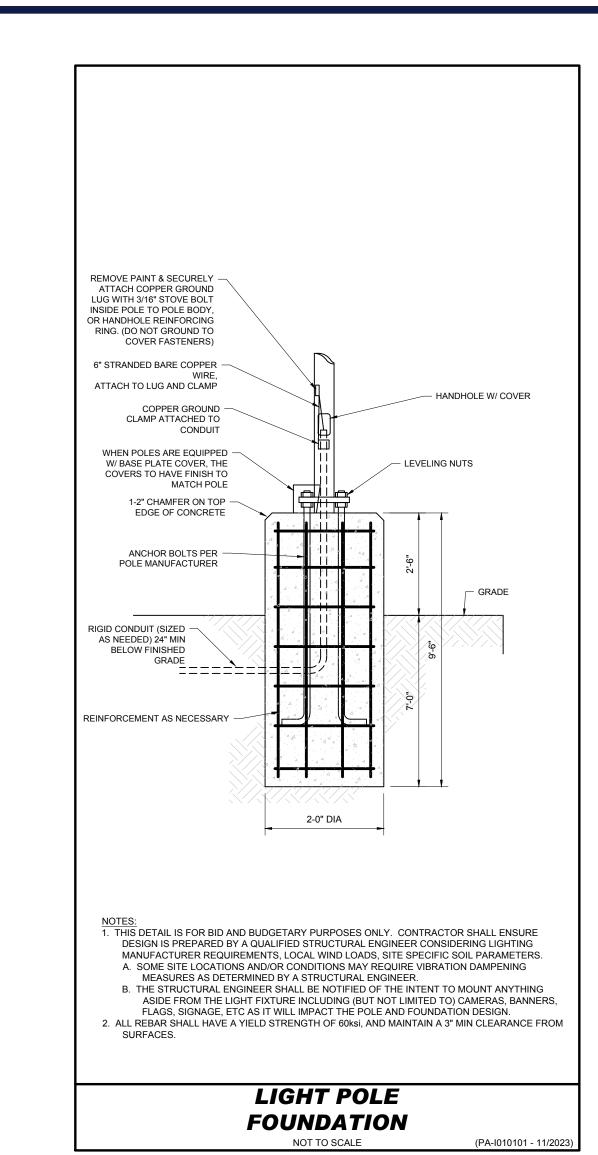
D.T. NORTH

LIGHTING PLAN

L-203



SECTION	GHTING COMPLIANCE CHAR	
ZONING: 135-245 MINIWAREHOUSES	I. LIGHTING FACILITIES SHALL BE PROVIDED AND ARRANGED IN A MANNER WHICH SHALL PROTECT THE HIGHWAY AND NEIGHBORING PROPERTIES FROM ANY DIRECT GLARE OR HAZARDOUS INTERFERENCE OF ANY KIND.	COMPLIANCE
135-298 LIGHTING REGULATIONS	C.(2) WALL-MOUNTED LUMINAIRES INTENDED FOR PARKING LOT ILLUMINATION ON COMMERCIAL, INDUSTRIAL, NONRESIDENTIAL, AND MULTIFAMILY RESIDENTIAL BUILDINGS AND STRUCTURES SHALL HAVE FIXTURES THAT CUT OFF DIRECT LIGHT FROM VIEW. ALL PARKING LOT AND SITE PERIMETER LIGHTING SHALL BE LOCATED ON POLES OR AT GROUND LEVEL AND MUST BE DIRECTED TOWARDS THE PROPERTY INTERIOR. ALL LUMINAIRES DESIGNED FOR ENTRYWAYS AND DECORATIVE PURPOSES ON NONRESIDENTIAL AND MULTIFAMILY RESIDENTIAL BUILDINGS AND STRUCTURES WHICH EXCEED 2,000 LUMENS (150-WATTS INCANDESCENT) SHALL HAVE FIXTURES THAT CUT OFF DIRECT LIGHT FROM VIEW.	COMPLIES
	C.(3) ALL NONRESIDENTIAL SITE LIGHT SOURCES, AND RESIDENTIAL LIGHT SOURCES HIGHER THAN 12 FEET, SHALL BE DIRECTED AWAY FROM PUBLIC STREETS AND PRIVATE PROPERTIES. THE LAMPS SHALL BE SHIELDED IN A MANNER SO THAT THEY ARE NOT VISIBLE FROM THE ADJOINING PROPERTY. SENSOR-CONTROLLED LAMPS EXCEEDING 2,000 LUMENS (150-WATTS INCANDESCENT) SHALL HAVE CUTOFF-TYPE LUMINAIRES.	COMPLIES
	C.(5) IN PARKING LOTS, LUMINAIRES SHALL BE LOCATED ON MAST ARMS, WHERE NECESSARY, SUCH THAT TREES DO NOT INTERFERE WITH THE REQUIRED LIGHTING.	COMPLIES
	C.(6) PARKING FACILITY, VEHICULAR AND PEDESTRIANWAY LIGHTING (EXCEPT FOR SAFETY, SECURITY APPLICATIONS AND ALL-NIGHT BUSINESS OPERATIONS) FOR COMMERCIAL, INDUSTRIAL, AND INSTITUTIONAL USES SHALL BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATIONS. WHEN SAFETY AND SECURITY LIGHTING IS PROPOSED FOR AFTER-HOURS ILLUMINATION, IT SHALL NOT BE IN EXCESS OF 33% OF THE NUMBER OF FIXTURES REQUIRED OR PERMITTED FOR ILLUMINATION DURING REGULAR BUSINESS HOURS.	COMPLIES
	C.(12) LUMINARIES SHALL NOT BE PERMITTED WHICH SHINE INTO THE NIGHT SKY. FLOOD AND/OR SPOT LIGHTS UTILIZED FOR THE UPLIGHTING OF BUILDING FACADES AND LANDSCAPING SHALL HAVE LUMINAIRES WITH A MAXIMUM OUTPUT OF NO MORE THAN 1,800 LUMENS (100 WATTS INCANDESCENT) AND SHALL BE COMPLETELY SHIELDED TO PREVENT GLARE INTO THE NIGHT SKY.	COMPLIES
	C.(16)(A) THE MAXIMUM PERMITTED ILLUMINATION PROJECTED FROM ANY USE ONTO A RESIDENTIAL USE SHALL AT NO TIME EXCEED 0.1 FOOTCANDLE, MEASURED LINE-OF-SIGHT FROM ANY POINT ON THE RECEIVING RESIDENTIAL PROPERTY.	COMPLIES
	C.(16)(B) THE MAXIMUM PERMITTED ILLUMINATION PROJECTED AWAY FROM ANY PROPERTY TO A NONRESIDENTIAL USE SHALL AT NO TIME EXCEED 1.0 FOOTCANDLE, MEASURED LINE-OF-SIGHT FROM ANY POINT ON THE RECEIVING PROPERTY.	COMPLIES
	C.(17) VEGETATION SCREENS SHALL NOT BE EMPLOYED TO SERVE AS THE PRIMARY MEANS FOR CONTROLLING GLARE. GLARE CONTROL SHALL BE ACHIEVED PRIMARILY THROUGH THE USE OF SUCH MEANS AS CUTOFF FIXTURES, SHIELDS, BAFFLES, AND APPROPRIATE APPLICATION OF FIXTURE MOUNTING HEIGHT, WATTAGE, AIMING ANGLE, AND FIXTURE PLACEMENT	COMPLIES
	D.(2) AN EXTERIOR LIGHTING PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, A DETAILED GRID OF ILLUMINATION LEVELS, A CALCULATION AS TO THE AVERAGE ILLUMINATION LEVELS, THE NUMBER OF LIGHTING FIXTURES, THE HEIGHT AND LOCATION OF THE MOUNTING FIXTURES, INCLUDING THE UNDERSIDE OF ANY CANOPIES, DETAILS AS TO HOW LIGHTING WILL BE RECESSED, AND REQUIRED DETAILS OF HOW LIGHTING WILL BE SHIELDED AND THE ANGLE OF THE SHIELDING WHEN REQUIRED, AND DETAILS OF ANY BUILDING-OR CANOPY-MOUNTED LIGHTING TO SHOW THAT THE OUTLINE AND ROOFLINE PROVISIONS HAVE BEEN MET.	COMPLIES
135-326 PERFORMANCE AND DESIGN STANDARDS FOR ALL NONRESIDENTIAL	C. PARKING AREAS SHALL BE SUITABLY ILLUMINATED FOR NIGHT USE IF NIGHT OPERATIONS SHALL BE PROPOSED. ALL LIGHTING SHALL BE REFLECTED AWAY FROM LOTS IN A RESIDENTIAL ZONING DISTRICT OR ANY EXISTING RESIDENTIAL DEVELOPMENT.	COMPLIES





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 DATE:
 01/02/2025

 CAD I.D.:
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PROJECT:

PRELIMINARY LAND DEVELOPMENT PLANS

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

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HEET TITLE:

LIGHTING DETAILS

LIEET NIIMBED:

L-204