

PLANNING COMMISSION PRELIMINARY PLAN APPROVAL CERTIFICATE

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION GRANTED PRELIMINARY PLAN APPROVAL OF THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS MARKED SHEET(S) THROUGH _____, WHICH FORM A PART OF THE APPLICATION DATED _____, LAST REVISED _____, AND BEARING MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____.

THIS PLAN MAY NOT BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR LANCASTER COUNTY NOR MAY ANY CONSTRUCTION BE INITIATED.

CHAIRMAN _____ VICE CHAIRMAN _____

CERTIFICATE OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, _____, 20____.

[SEAL OF ENGINEER OR SURVEYOR]

STORMWATER MANAGEMENT PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT, _____, 20____.

[SEAL OF REGISTERED PROFESSIONAL]

UTILITY DESIGN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE (PUBLIC) (COMMUNITY) (SEWER) (WATER) SYSTEM(S) HAS/HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RULES, REGULATIONS AND (STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR WASTE WATER COLLECTION SYSTEM EXTENSIONS) AND (THE GENERAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION) OF MOUNT JOY TOWNSHIP AUTHORITY AND THE WATER SUPPLY (WILL MEET) (WILL BE TREATED TO MEET) THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, _____, 20____.

[SEAL OF REGISTERED PROFESSIONAL]

PRELIMINARY DESIGN REVIEW CERTIFICATE - SEWER

THE (NAME OF PUBLIC SEWER PROVIDER) PRESENTLY HAS ADEQUATE CAPACITY IN THE EXISTING PUBLIC SANITARY SEWER SYSTEM TO CONVEY THE ESTIMATED _____ GALLONS PER DAY SANITARY SEWAGE FLOW FROM THIS PROPOSED DEVELOPMENT. THE FACILITIES TO BE CONSTRUCTED MUST MEET WITH THE APPROVAL OF THE (NAME OF PUBLIC SEWER PROVIDER) ENGINEER AND SOLICITOR AND COMPLY WITH THE AUTHORITY'S RULES, REGULATIONS AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEM EXTENSIONS.

CHAIRMAN _____ VICE CHAIRMAN _____

PRELIMINARY DESIGN REVIEW CERTIFICATE - WATER

(NAME OF PUBLIC WATER PROVIDER) PRESENTLY HAS ADEQUATE CAPACITY IN THE EXISTING PUBLIC WATER SYSTEM TO DELIVER THE ESTIMATED _____ GALLONS PER DAY WATER SUPPLY DEMAND TO THIS PROPOSED DEVELOPMENT. THE FACILITIES TO BE CONSTRUCTED MUST MEET WITH THE APPROVAL OF THE (NAME OF PUBLIC WATER PROVIDER) ENGINEER AND SOLICITOR AND COMPLY WITH THE AUTHORITY'S RULES, REGULATIONS AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION.

CHAIRMAN _____ VICE CHAIRMAN _____

PLANNING COMMISSION FINAL PLAN APPROVAL CERTIFICATE

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

CHAIRMAN _____ VICE CHAIRMAN _____

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION

STATE OF: _____
COUNTY OF: _____



ZONING MAP
SCALE: 1" = 2,000'
SOURCE: MOUNT JOY TOWNSHIP

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED _____, _____, OF _____, WHO, BEING DULY SWORN OR AFFIRMED ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE _____ OF THE PROPERTY SHOWN ON THE PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID ON BEHALF OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED NOT FOR DEDICATION) ARE HEREBY DEDICATED TO THE PUBLIC USE.

MY COMMISSION EXPIRES, _____

CERTIFICATE OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, _____, 20____.

JOHN P. ALEJNIKOV
PA LICENSE # PE086400

[SEAL OF ENGINEER OR SURVEYOR]

DRIVEWAY CERTIFICATION

I HEREBY CERTIFY THAT, CONSISTENT WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, A PERMIT CAN BE ISSUED TO ALLOW DRIVEWAY(S) AND/OR STREETS(S) TO BE CONSTRUCTED AT THE LOCATIONS SHOWN HEREON, _____, 20____.

OWNER
PENNMAR ELIZABETH TOWNSHIP MOUNT JOY ASSOCIATES LP
1000 GERMANTOWN PIKE SUITE A2
PLYMOUTH MEETING, PA 19462
ROBERT SICHELSTIEL, BROKER OF RECORD

DEVELOPER
PENNMAR ELIZABETH TOWNSHIP MOUNT JOY ASSOCIATES LP
1000 GERMANTOWN PIKE SUITE A2
PLYMOUTH MEETING, PA 19462
ROBERT SICHELSTIEL, BROKER OF RECORD

PREPARED BY



CONTACT: MATTHEW LANDROW, PE

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

FOR

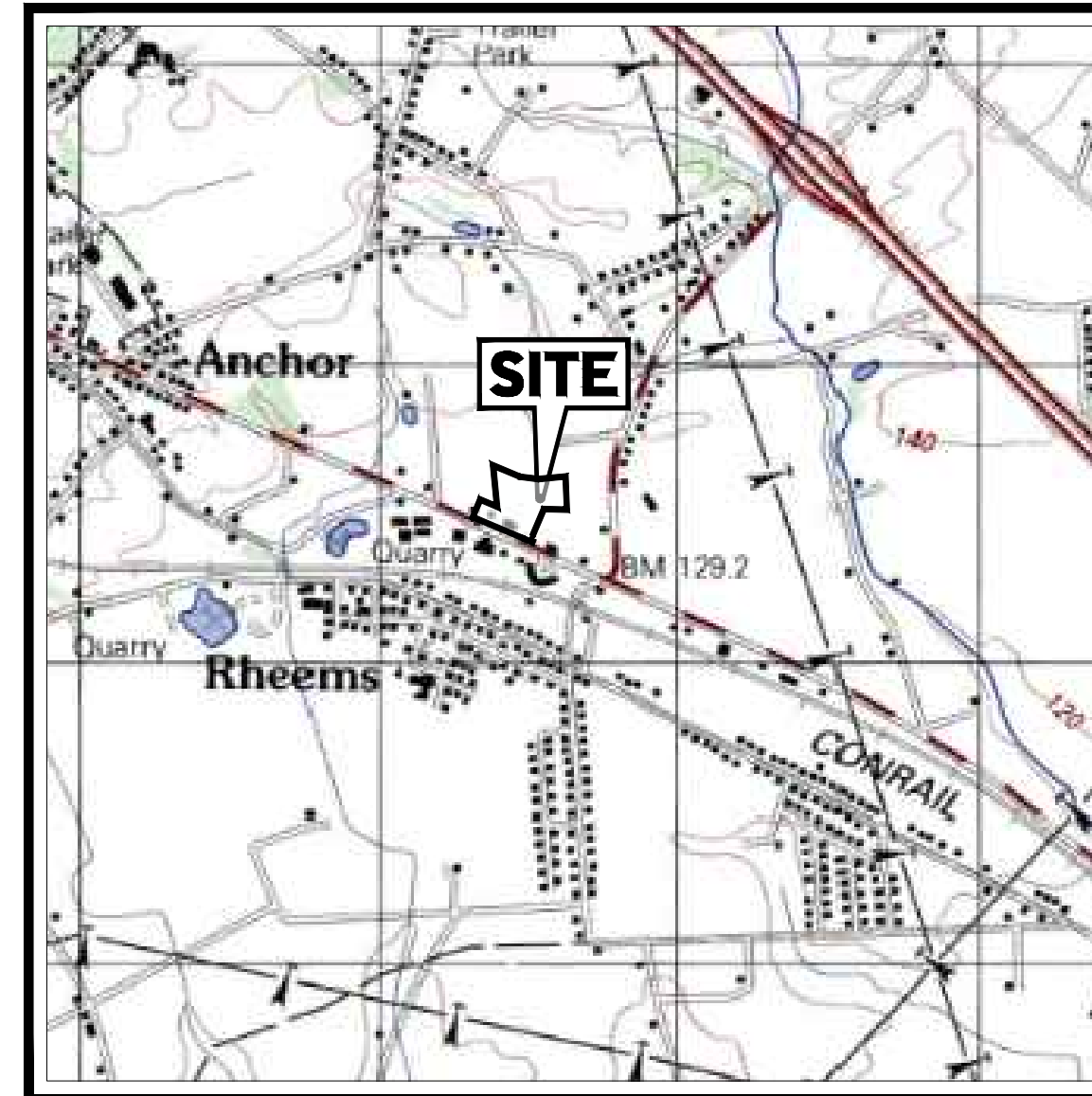
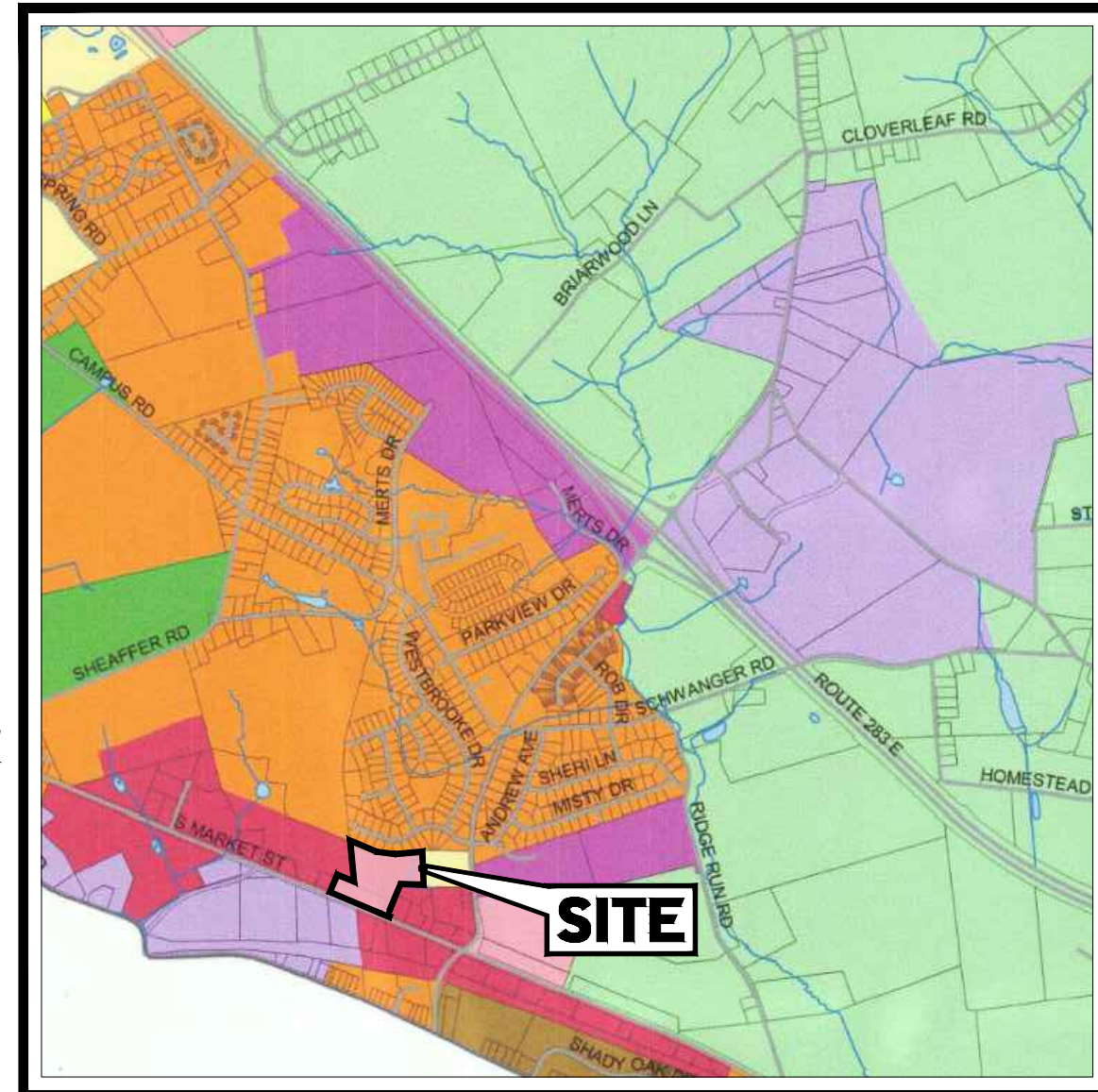
PROPOSED SELF STORAGE PENNMAR ELIZABETH MT JOY, LLC

LOCATION OF SITE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY

COMMONWEALTH OF PENNSYLVANIA

ACCT NO.: 460-32729-0-0000 & 460-04088-0-0000

DEED REF.: 5707-539 & Z-85-556



LOCATION MAP
SCALE: 1" = 2,000'
SOURCE: GOOGLE MAPS



USGS MAP
SCALE: 1" = 2,000'
SOURCE: USGS

REFERENCES AND CONTACTS

- REFERENCES**
- **BOUNDARY & TOPOGRAPHIC SURVEY:**
HERSHEY SURVEYING, INC.
60 WEST CHURCH STREET, SUITE C
DENVER, PA 17517
DATED: 8/5/10
JOB # 101069-25
ELEVATIONS: NAVD 1988
 - **GEOTECHNICAL INVESTIGATION REPORT:**
EARTH ENGINEERING, INC.
149 MAIN STREET
EMMAUS, PENNSYLVANIA 18049
DATED: 8/13/2024
 - **TRIP GENERATION ASSESSMENT:**
GROVE MILLER ENGINEERING, INC.
4800 LINGESTOWN ROAD, SUITE 307
HARRISBURG, PA 17402
DATED: 10/17/2023

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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LANCASTER COUNTY PLANNING COMMISSION'S REVIEW CERTIFICATE

THE LANCASTER COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON _____, 20____, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE LANCASTER COUNTY PLANNING COMMISSION IN LGPC FILE NO. _____. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE LANCASTER COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT OR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

CHAIRMAN _____

VICE CHAIRMAN _____



REVISIONS

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PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIVL-CND5

PRELIMINARY LAND DEVELOPMENT PLANS

PENNMAR ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA



1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
www.BohlerEngineering.com



SHEET TITLE:

COVER SHEET

SHEET NUMBER:
C-101
1 OF 40

ORG. DATE - 01/02/2025

R:\2024\PA240089-00\DRAWINGS\PLAN SET\CIVIL SITE PLANS\IP-CIVL-CND5-PA240089-00-0B-1-LAYOUT_C-101.CDW

PENNSYLVANIA SITE NOTES

(Rev. 5/2024)

- 1. PROPERTY OWNER: PENNMAR ELIZABETHTOWN MT JOY, LLC, 2269 SOUTH MARKET STREET ELIZABETH TOWN, PA 17022
2. EXISTING PROPERTY INFORMATION: TPN 36-00-03910-00-5 AND TPN 36-00-03906-10-8
3. APPLICANT/EQUITABLE OWNER: ELIZABETH MT JOY, LLC
4. HORIZONTAL DATUM +85 BASED ON PENNSYLVANIA STATE PLANE SOUTH COORDINATES, NAD 83. VERTICAL DATUM IS NAVD 1988. BENCHMARK: 420.226
5. THE AREA BETWEEN THE ULTIMATE AND LEGAL RIGHT-OF-WAY -OF THE ROAD SHALL BE OFFERED TO THE AGENCY HAVING JURISDICTION.
6. ALL CURB AND PAVEMENT RADII ARE 6', UNLESS OTHERWISE NOTED.
7. ALL PROPOSED PINS AND MONUMENTS SHALL BE PLACED AND CERTIFIED BY A LICENSED PENNSYLVANIA PROFESSIONAL SURVEYOR.

PENNSYLVANIA DRAINAGE & UTILITY NOTES

(Rev. 5/2024)

- 1. THESE PLANS INVOLVE BUILDINGS THAT MAY BE BUILT AT A LATER DATE. THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING, BUT NOT LIMITED TO STORM, SANITARY, TELECOM, GAS, AND ELECTRIC, AND IRRIGATION LINES TO A POINT AT LEAST FIVE FEET (5') BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE.
2. STORM AND SANITARY PIPE LENGTHS INDICATED IN THE PLANS ARE NOMINAL AND ARE MEASURED FROM THE CENTERS OF INLETS AND MANHOLES.
3. UNLESS OTHERWISE NOTED, ALL NEW UTILITIES/SERVICES, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, TELECOM, GAS, ETC. MUST BE INSTALLED UNDERGROUND.
4. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS, MUST BE REPAIRED IN ACCORDANCE WITH THE REFERENCED MUNICIPAL, COUNTY, AND/OR DOT DETAILS AS APPLICABLE.
5. VARIOUS ASPECTS OF THE UTILITY DESIGNS DEPICTED ON THE PLANS ARE SCHEMATIC IN ORDER TO PROVIDE PLAN CLARITY OR TO CONVEY A DESIGN INTENT.
6. UNLESS INDICATED OTHERWISE, MAINLINE (15' OR LARGER) STORM SEWER PIPE SHALL BE DUAL WALL, TYPE S, HIGH-DENSITY POLYETHYLENE (HDPE) OR POLYPROPYLENE (PP) PIPE WITH SMOOTH INTERIORS AND ANNULAR CORRUGATIONS WITH SOIL TIGHT JOINTS.

STORM DRAINAGE

- 6. UNLESS INDICATED OTHERWISE, MAINLINE (15' OR LARGER) STORM SEWER PIPE SHALL BE DUAL WALL, TYPE S, HIGH-DENSITY POLYETHYLENE (HDPE) OR POLYPROPYLENE (PP) PIPE WITH SMOOTH INTERIORS AND ANNULAR CORRUGATIONS WITH SOIL TIGHT JOINTS.
7. A MINIMUM OF FOUR FEET (4') OF HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM STRUCTURES AND OTHER UTILITIES.
8. UNLESS SPECIFIC MUNICIPAL DETAILS DICTATE OTHERWISE, ALL STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT REVISION OF PENNDOT PUBLICATION 408 - "SPECIFICATIONS", PUBLICATION 72M - "STANDARDS FOR ROADWAY CONSTRUCTION".
9. ALL INLETS SHALL BE PROVIDED WITH BICYCLE SAFE GRATES.
10. ALL STORM PIPE CONNECTIONS TO STRUCTURES SHALL BE MADE WATER TIGHT.

PENNSYLVANIA GRADING NOTES

(Rev. 5/2024)

- 1. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE IS PROVIDED IN BOTH PAVED AND LAWN AREAS AFTER CONSTRUCTION.
3. THE CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES.
4. WHERE SUBGRADE BUILDING AREAS ARE PROVIDED, THE CONTRACTOR MUST DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED SUBGRADE BUILDING AREA.
5. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A GEOTECHNICAL ENGINEER AND IMPLEMENT RECOMMENDED STABILIZATION MEASURES FOR ANY CUT SLOPES IN EXCESS OF 2:1 AND/OR FILL SLOPES IN EXCESS OF 3:1.
6. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS OR GEOTECHNICAL SPECIFICATIONS.
7. THE TOP AND BOTTOM OF WALL ELEVATIONS (G1 & G2) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND THE BOTTOM OF THE WALL AND DO NOT REPRESENT THE OVERALL HEIGHT OF THE WALL TO ITS EXTENTS.
8. ALL DISTURBED TOPSOIL ON THE SITE IS TO BE REDISTRIBUTED ON SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES.



REVISIONS

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PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIVL-CND5

PRELIMINARY LAND DEVELOPMENT PLANS

FOR

PENNMAR ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA



1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
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SHEET TITLE:

JURISDICTIONAL NOTES

SHEET NUMBER: C-103

3 OF 40

ORG. DATE - 01/02/2025

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 DRAWN BY: JHT/SWB
 CHECKED BY: MEL
 DATE: 01/02/2025
 CAD ID: P-CVIL-DVP

PRELIMINARY LAND DEVELOPMENT PLANS

FOR

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE
 2269 SOUTH MARKET STREET
 TOWNSHIP OF MOUNT JOY
 LANCASTER COUNTY
 COMMONWEALTH OF PENNSYLVANIA

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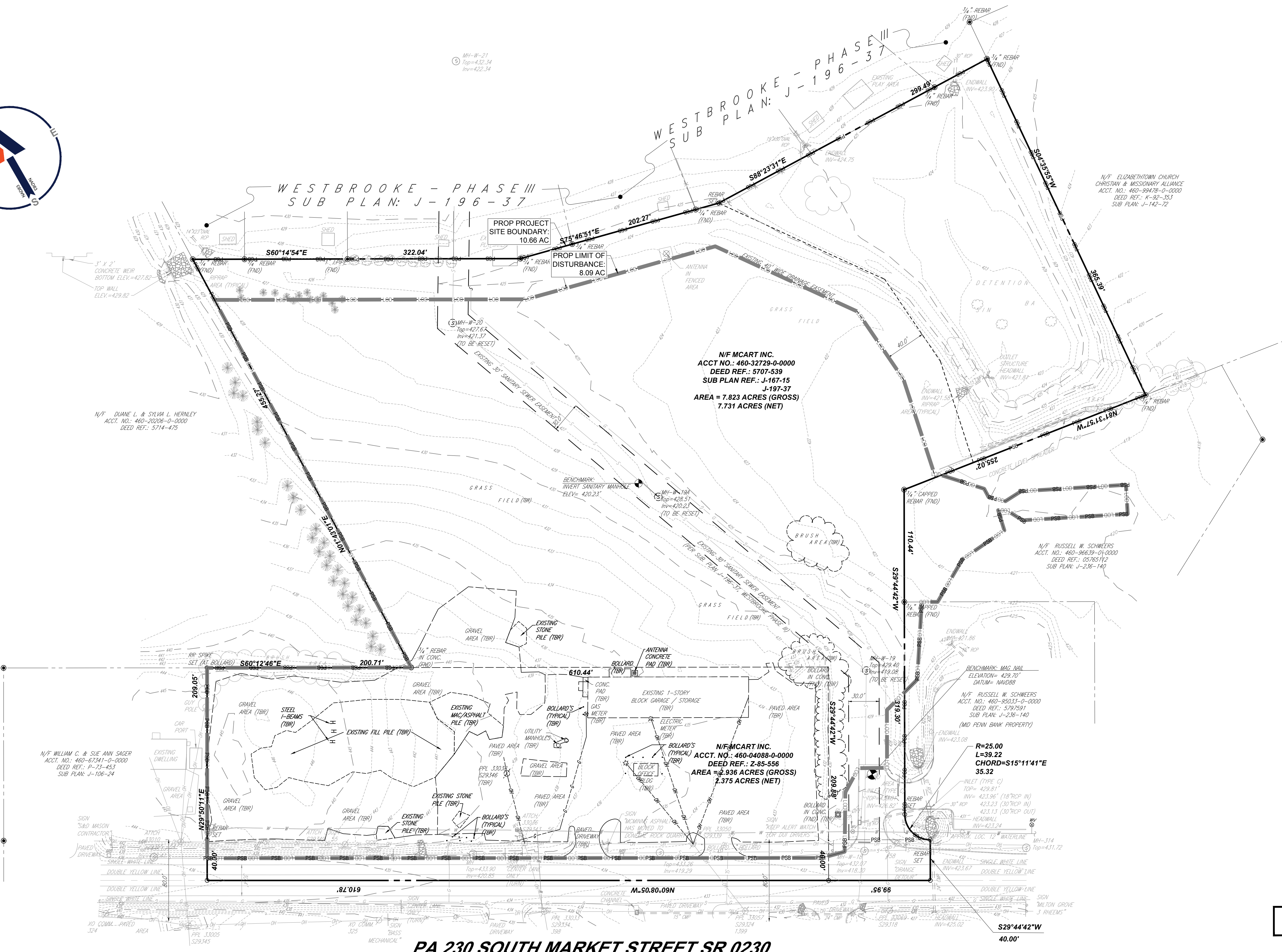
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EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET NUMBER:
C-201
 4 OF 40

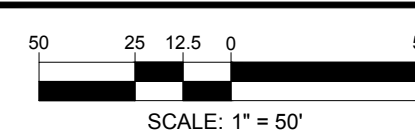
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DEMOLITION ABBREVIATIONS

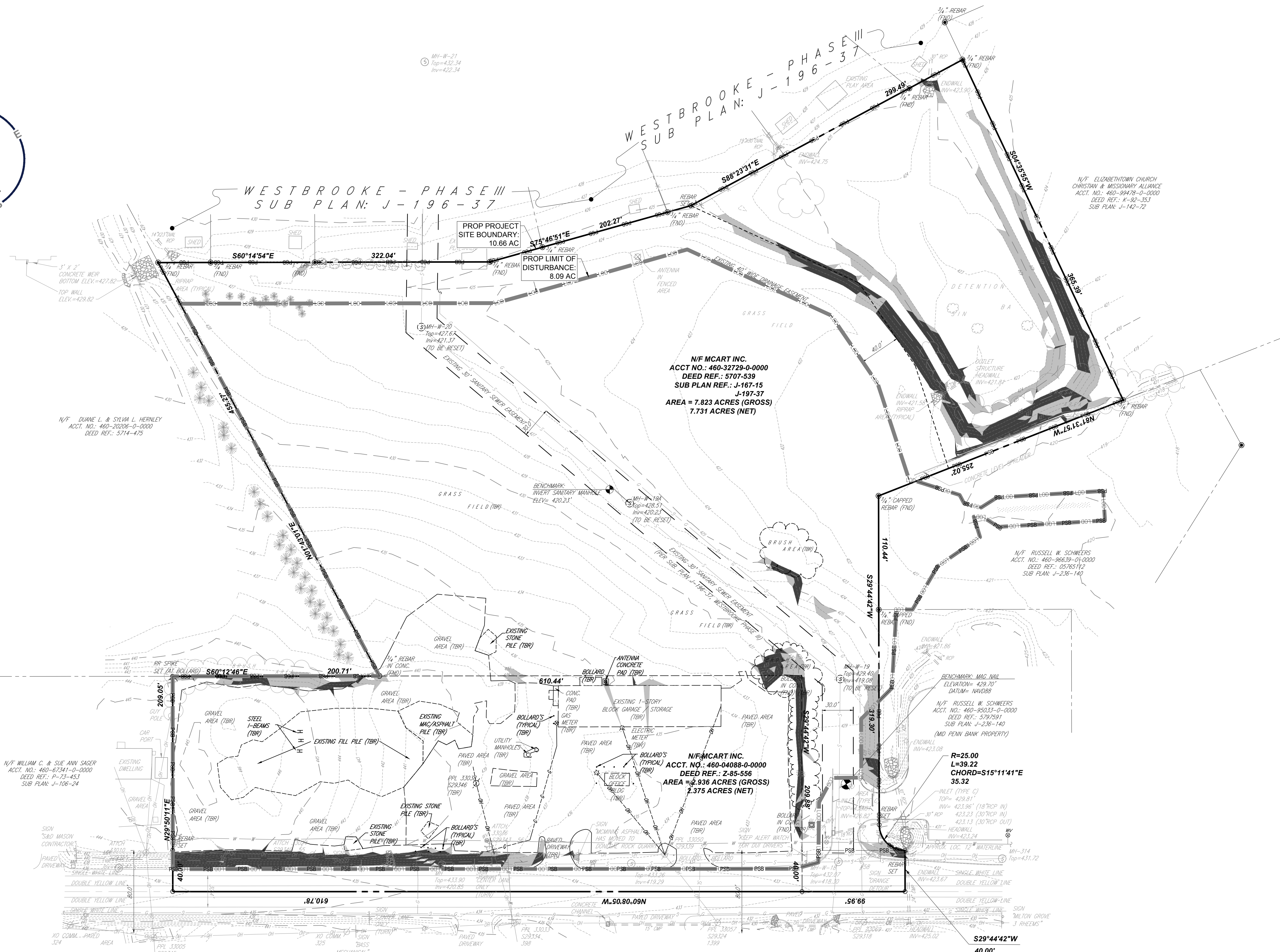
ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



PA 230 SOUTH MARKET STREET SR 0230
 SPEED LIMIT 45

R:\2024\PA240099-00\DRAWINGS\PLAN SET\CIVIL\LDP\PA240099-00-0B-LAYOUT-C-201-EXDM



STEEP SLOPE HATCH LEGEND

HATCH	DESCRIPTION
	25% OR GREATER STEEP SLOPES
	15-25% STEEP SLOPES

REVISIONS

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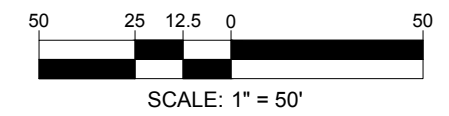
PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
DATE: 01/02/2025
CAD ID: P-CIVL-LDVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
FOR
PENNMARK ELIZABETH MT JOY, LLC
PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

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J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE005400

SHEET TITLE:
STEEP SLOPES PLAN
SHEET NUMBER:
C-202
5 OF 40
ORG. DATE - 01/02/2025



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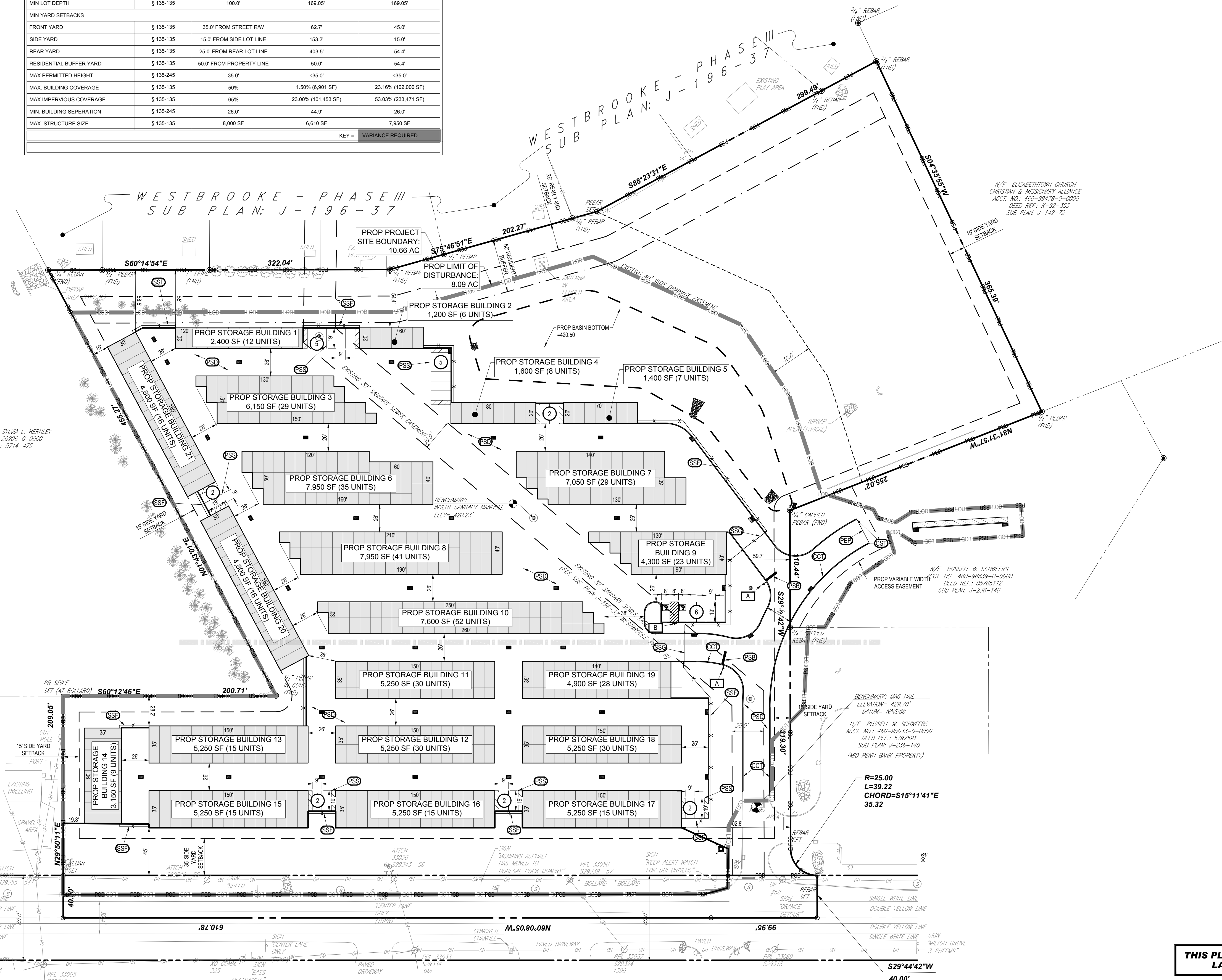
ZONING TABLE				
ZONE: C-2 - GENERAL COMMERCIAL USE: MINIWAREHOUSE (APPROVED BY SPECIAL EXCEPTION) ACCT. NO. 460-04088-0-0000 & 460-32729-0-0000				
APPLICANT/ OWNER INFORMATION				
APPLICANT:	ELIZABETH MT. JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022			
PROPERTY OWNER:	ELIZABETH MT. JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022			
BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	\$ 135-245	1.0 AC. (43,560 SF)	10.107 AC (440,252 SF)	10.107 AC (440,252 SF)
MIN LOT WIDTH	\$ 135-245	150.0'	685.66'	685.66'
MIN LOT DEPTH	\$ 135-135	100.0'	169.05'	169.05'
MIN YARD SETBACKS				
FRONT YARD	\$ 135-135	35.0' FROM STREET R/W	62.7'	45.0'
SIDE YARD	\$ 135-135	15.0' FROM SIDE LOT LINE	153.2'	15.0'
REAR YARD	\$ 135-135	25.0' FROM REAR LOT LINE	403.5'	54.4'
RESIDENTIAL BUFFER YARD	\$ 135-135	50.0' FROM PROPERTY LINE	50.0'	54.4'
MAX PERMITTED HEIGHT	\$ 135-245	35.0'	<35.0'	<35.0'
MAX BUILDING COVERAGE	\$ 135-135	50%	1.50% (6,901 SF)	23.16% (102,000 SF)
MAX IMPERVIOUS COVERAGE	\$ 135-135	65%	23.00% (101,453 SF)	53.03% (233,471 SF)
MIN. BUILDING SEPERATION	\$ 135-245	26.0'	44.5'	26.0'
MAX. STRUCTURE SIZE	\$ 135-135	8,000 SF	6,610 SF	7,950 SF

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN STALL SIZE	\$ 119-53	9' X 19'	N/A	9' X 19'
MIN AISLE WIDTH	\$ 119-53	25'	N/A	25'
MIN NUMBER OF STALLS	\$ 135-343	19	N/A	26
PARKING SETBACK	\$ 135-135	15' FROM ALL R/W & LOT LINES	N/A	>15'

MINIWAREHOUSE:
 REQUIRED FOR MINIWAREHOUSE USE = 1 SPACE PER 25 UNITS PLUS ONE SPACE PER 250 SF OF OFFICE AREA
 (461 UNITS / 25 = 18.44) = 19 SPACES TOTAL REQUIRED
 TOTAL SPACES = 26 SPACES

PROPOSED REGULATORY SIGNAGE SYMBOL LEGEND		
KEY	QTY.	DESCRIPTION
A	2	"STOP" SIGN (R1-1)
B	1	"RESERVED PARKING" SIGN (R7-8) (12'X18") & "RESERVED PARKING PENALTIES" (R7-8F) (12'X18")

PROPOSED FEATURE KEY LEGEND	
KEY	DESCRIPTION
(CUB)	TYPICAL CONCRETE CURB
(EP)	EDGE OF PAVEMENT
(SP)	PAINTED STOP BAR
(SP)	STANDARD DUTY ASPHALT PAVEMENT
(SS)	PAINTED STRIPING
(SS)	SECURITY FENCE - 6' HEIGHT
(SS)	SECURITY GATE - 6' HEIGHT



REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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PROJECT No.:	PAA240089-00-0B
DRAWN BY:	JHT/SWB
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DATE:	01/02/2025
CAD ID:	P-CIVIL-LDVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
 FOR
PENNMAR
ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE
 2269 SOUTH MARKET STREET
 TOWNSHIP OF MOUNT JOY
 LANCASTER COUNTY
 COMMONWEALTH OF PENNSYLVANIA

BOHLER
 1600 MANOR DRIVE, SUITE 200
 CHALFONT, PA 18914
 Phone: (215) 996-9100
 Fax: (215) 996-9102
 www.BohlerEngineering.com

J.P. ALEJNIKOV
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE054400

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C-301
 6 OF 40

ORG. DATE - 01/02/2025

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

SCALE: 1" = 50'



ZONING TABLE				
ZONE: C-2 - GENERAL COMMERCIAL USE: MINIWAREHOUSES (APPROVED BY SPECIAL EXCEPTION) ACCT. NO. 460-04088-0-0000 & 460-32729-0-0000				
APPLICANT/ OWNER INFORMATION				
APPLICANT:	ELIZABETH MT JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022			
PROPERTY OWNER:	ELIZABETH MT JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022			
BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	§ 135-245	1.0 AC. (43,560 SF)	10,107 AC (440,252 SF)	10,107 AC (440,252 SF)
MIN LOT WIDTH	§ 135-245	150.0'	685.66'	685.66'
MIN LOT DEPTH	§ 135-135	100.0'	169.05'	169.05'
MIN YARD SETBACKS				
FRONT YARD	§ 135-135	35.0' FROM STREET R/W	62.7'	45.0'
SIDE YARD	§ 135-135	15.0' FROM SIDE LOT LINE	153.2'	15.0'
REAR YARD	§ 135-135	25.0' FROM REAR LOT LINE	403.5'	54.4'
RESIDENTIAL BUFFER YARD	§ 135-135	50.0' FROM PROPERTY LINE	50.0'	54.4'
MAX PERMITTED HEIGHT	§ 135-245	35.0'	<35.0'	<35.0'
MAX BUILDING COVERAGE	§ 135-135	50%	1.50% (6,901 SF)	23.16% (102,000 SF)
MAX IMPERVIOUS COVERAGE	§ 135-135	65%	23.00% (101,453 SF)	53.03% (233,471 SF)
MIN BUILDING SEPERATION	§ 135-245	26.0'	44.5'	26.0'
MAX. STRUCTURE SIZE	§ 135-135	8,000 SF	6,610 SF	7,950 SF
KEY = VARIANCE REQUIRED				

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN STALL SIZE	§ 119-53	9' X 19'	N/A	9' X 19'
MIN AISLE WIDTH	§ 119-53	25'	N/A	25'
MIN NUMBER OF STALLS	§ 135-343	19	N/A	26
PARKING SETBACK	§ 135-135	15' FROM ALL R/W & LOT LINES	N/A	>15'
MINIWAREHOUSE: REQUIRED FOR MINIWAREHOUSE USE = 1 SPACE PER 25 UNITS PLUS ONE SPACE PER 250 SF OF OFFICE AREA (461 UNITS / 25 = 18.44) = 19 SPACES TOTAL REQUIRED TOTAL SPACES = 26 SPACES				
KEY =				VARIANCE REQUIRED

PROPOSED REGULATORY SIGNAGE SYMBOL LEGEND		
KEY	QTY.	DESCRIPTION
A	2	"STOP" SIGN (R1-1)
B	1	"RESERVED PARKING" SIGN (R7-8) (12'X18") & "RESERVED PARKING PENALTIES" (R7-8F) (12'X18")

PROPOSED FEATURE KEY LEGEND	
KEY	DESCRIPTION
CCB	TYPICAL CONCRETE CURB
PEP	EDGE OF PAVEMENT
PSB	PAINTED STOP BAR
PSD	STANDARD DUTY ASPHALT PAVEMENT
PSL	PAINTED STRIPING
SSF	SECURITY FENCE - 6' HEIGHT
SSG	SECURITY GATE - 6' HEIGHT



REVISIONS				
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PROJECT No.:	PAA240089-00-0B
DRAWN BY:	JHT/SWB
CHECKED BY:	MEL
DATE:	01/02/2025
CAD ID:	P-CVILL-DVP

PROJECT:

PRELIMINARY LAND DEVELOPMENT PLANS

FOR

PENNMARK ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE

2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA



1600 MANOR DRIVE, SUITE 200
CHALFONT, PA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
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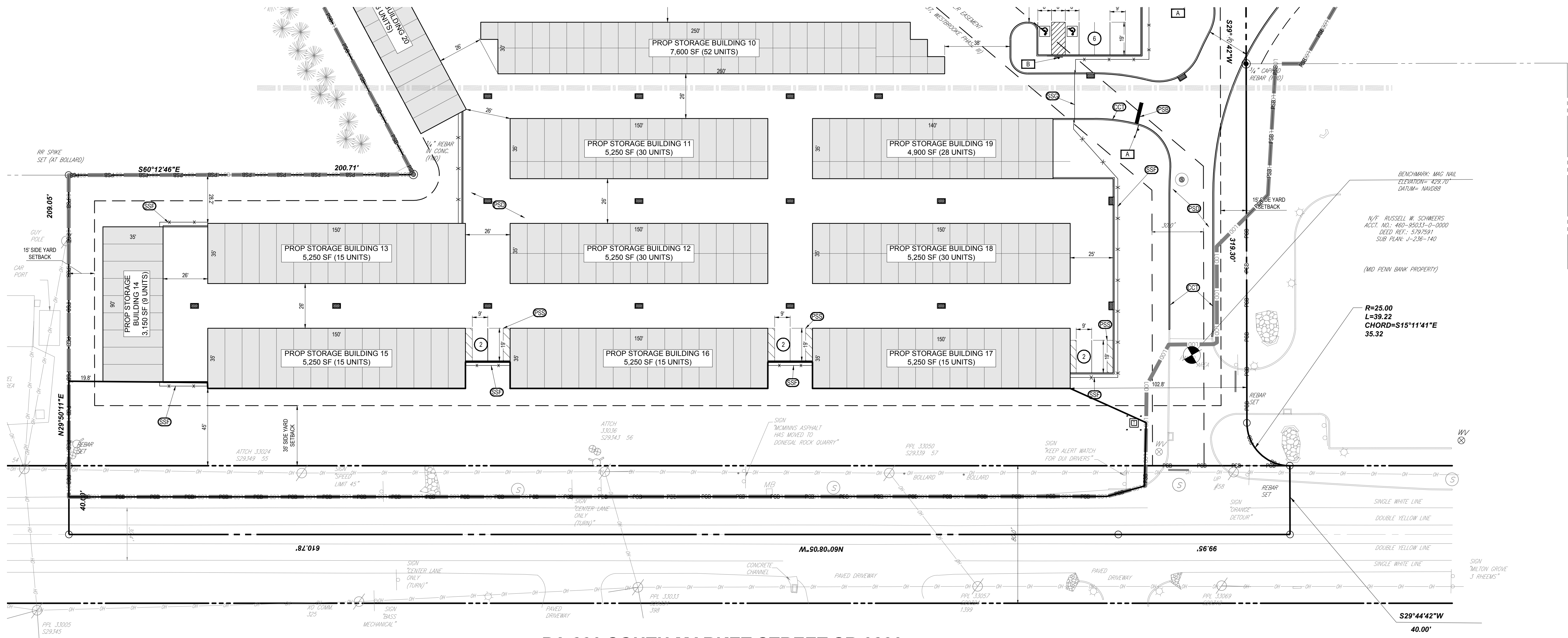
SHEET TITLE:

SITE PLAN

SHEET NUMBER:
C-302
7 OF 40

ORG. DATE - 01/02/2025

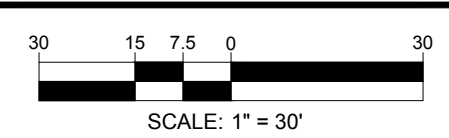
MATCHLINE - SHEET C-303



PA 230 SOUTH MARKET STREET SR 0230

SPEED LIMIT 45

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



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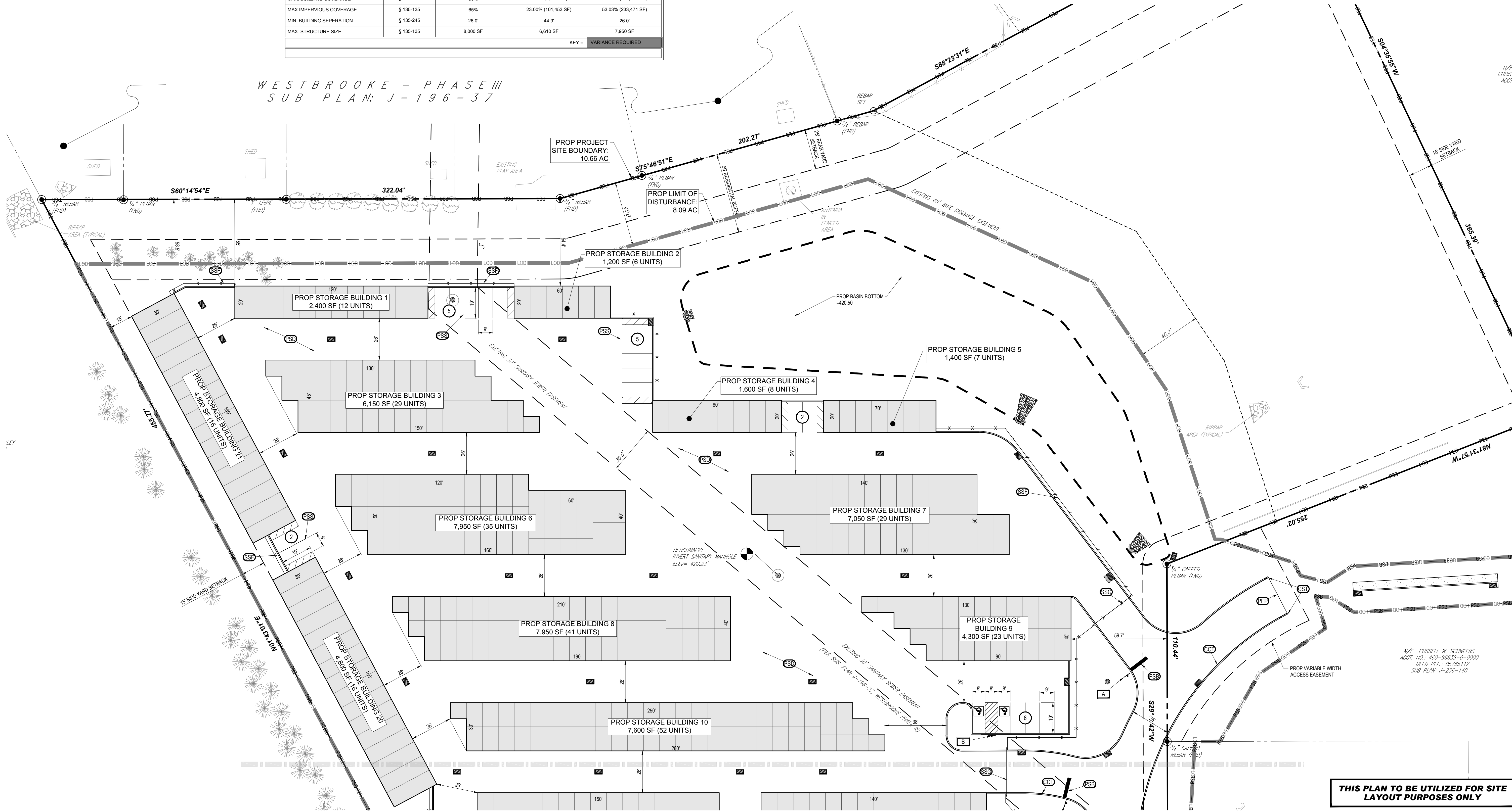
ZONING TABLE				
ZONE: C-2 - GENERAL COMMERCIAL USE: MINIWAREHOUSES (APPROVED BY SPECIAL EXCEPTION) ACCT. NO. 460-04088-0-0000 & 460-32729-0-0000				
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PROPERTY OWNER:	ELIZABETH MT. JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022			
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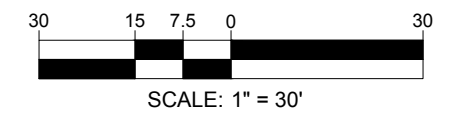
PROPOSED FEATURE KEY LEGEND	
KEY	DESCRIPTION
CC1	TYPICAL CONCRETE CURB
EP	EDGE OF PAVEMENT
PSB	PAINTED STOP BAR
CSB	STANDARD DUTY ASPHALT PAVEMENT
SSS	PAINTED STRIPING
SSF	SECURITY FENCE - 6' HEIGHT
SSG	SECURITY GATE - 6' HEIGHT

WESTBROOKE - PHASE III
SUB PLAN: J-196-37



MATCHLINE - SHEET C-302

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PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
CHECKED BY: 01/02/2025
DATE: P-CIVIL-LDVP
CAD ID:

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
FOR

PENNMAR ELIZABETH MT JOY, LLC

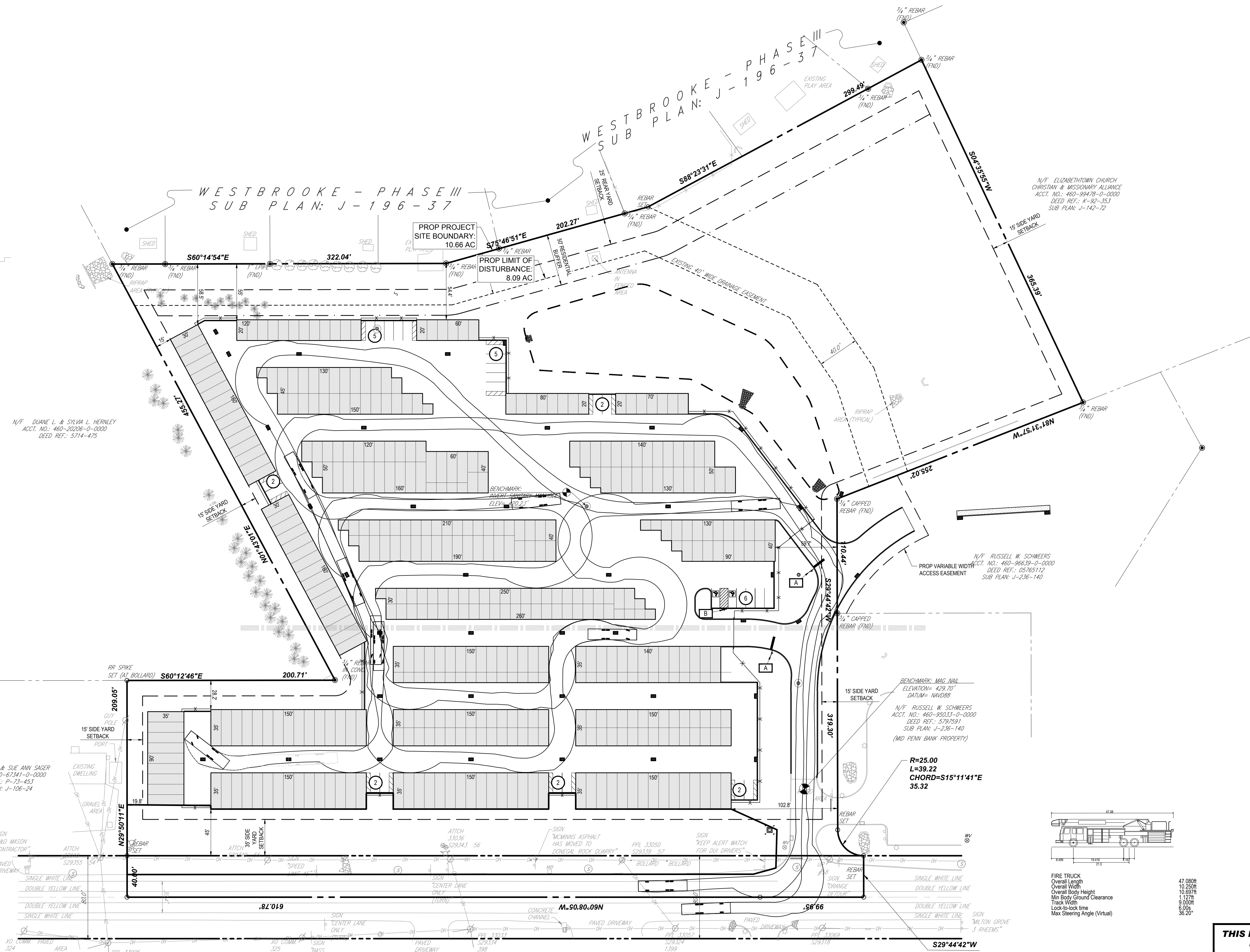
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2269 SOUTH MARKET STREET
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LANCASTER COUNTY
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J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE005400

SHEET TITLE:
SITE PLAN
SHEET NUMBER:
C-303
8 OF 40
ORG. DATE - 01/02/2025

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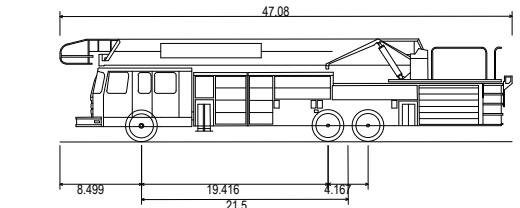


N/F DUANE L. & SYLVIA L. HERNLEY
ACCT. NO.: 460-20206-0-0000
DEED REF.: 5714-475

N/F RUSSELL W. SCHWEERS
ACCT. NO.: 460-94619-0-0000
DEED REF.: 05765112
SUB PLAN: J-236-140

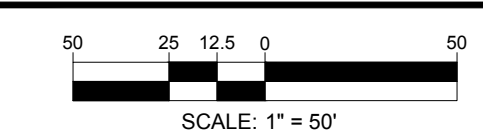
N/F RUSSELL W. SCHWEERS
ACCT. NO.: 460-94023-0-0000
DEED REF.: 5797891
SUB PLAN: J-236-140
(MID PENN BANK PROPERTY)

N/F WILLIAM C. & SUE ANN SAGER
ACCT. NO.: 460-67341-0-0000
DEED REF.: P-73-453
SUB PLAN: J-106-24



FIRE TRUCK
Overall Length 47.00ft
Overall Width 10.25ft
Overall Body Height 10.67ft
Min Body Ground Clearance 1.17ft
Track Width 9.00ft
Lock-to-lock time 6.00ft
Max Steering Angle (Virtual) 36.20

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PA 230 SOUTH MARKET STREET SR 0230
SPEED LIMIT 45

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PROJECT No.: PAA240089.00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIVL-LDVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
FOR
PENNMAR ELIZABETH MT JOY, LLC
PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

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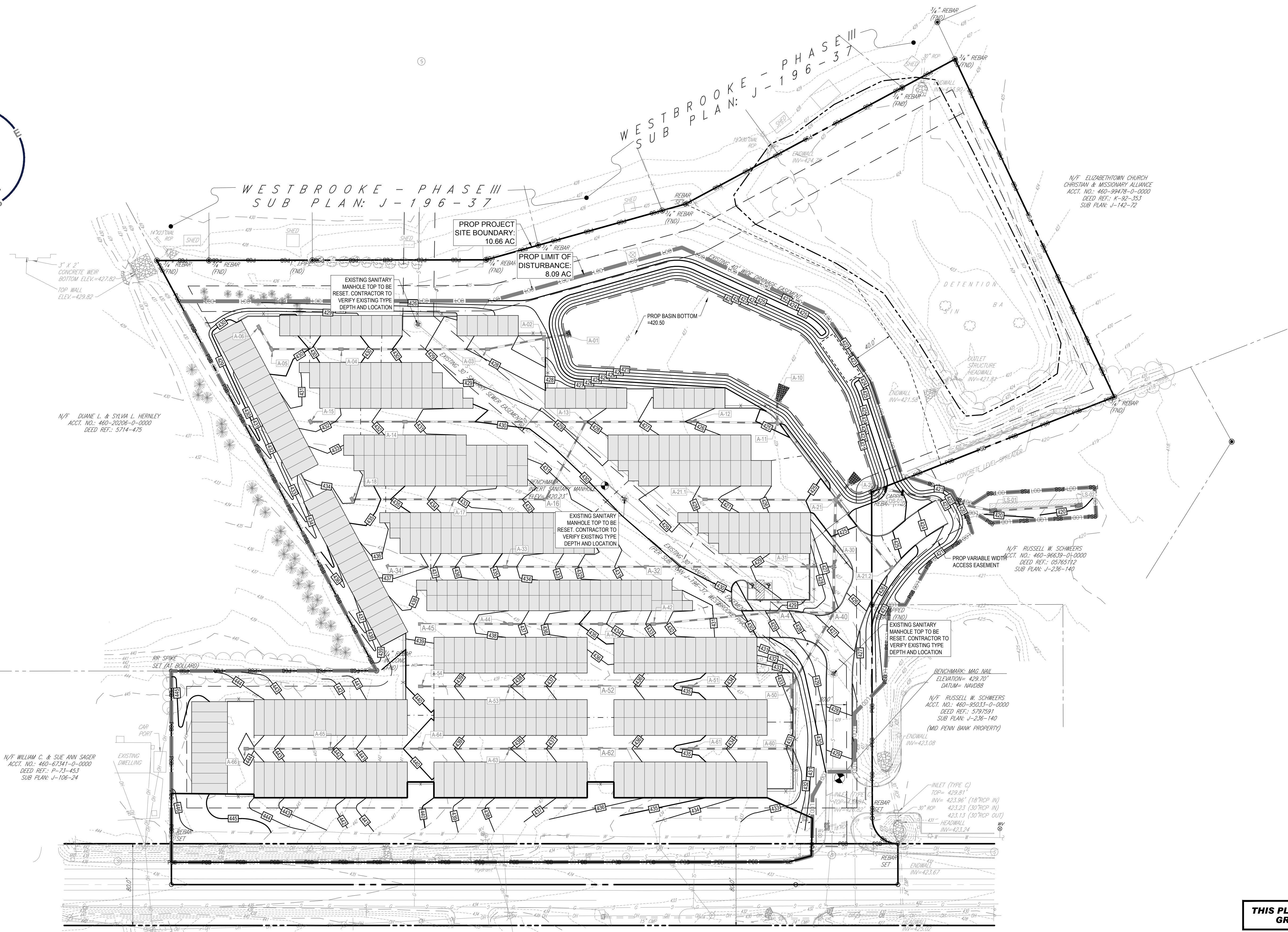
J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:
TRUCK CIRCULATION PLAN

SHEET NUMBER:
C-304
9 OF 40

ORG. DATE - 01/02/2025

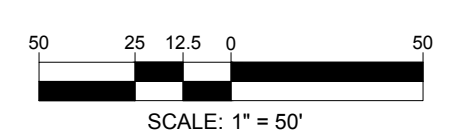
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PA 230 SOUTH MARKET STREET SR 0230
SPEED LIMIT 45

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PROJECT No.: PAA240089.00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIVL-LDVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
FOR
PENNMARQUE
ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

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J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:
OVERALL GRADING PLAN

SHEET NUMBER:
C-401
10 OF 40

ORG. DATE - 01/02/2025



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PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CVILL-DVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS

FOR
PENNMAR ELIZABETH MT JOY, LLC

PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

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J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE068400

SHEET TITLE:

GRADING PLAN

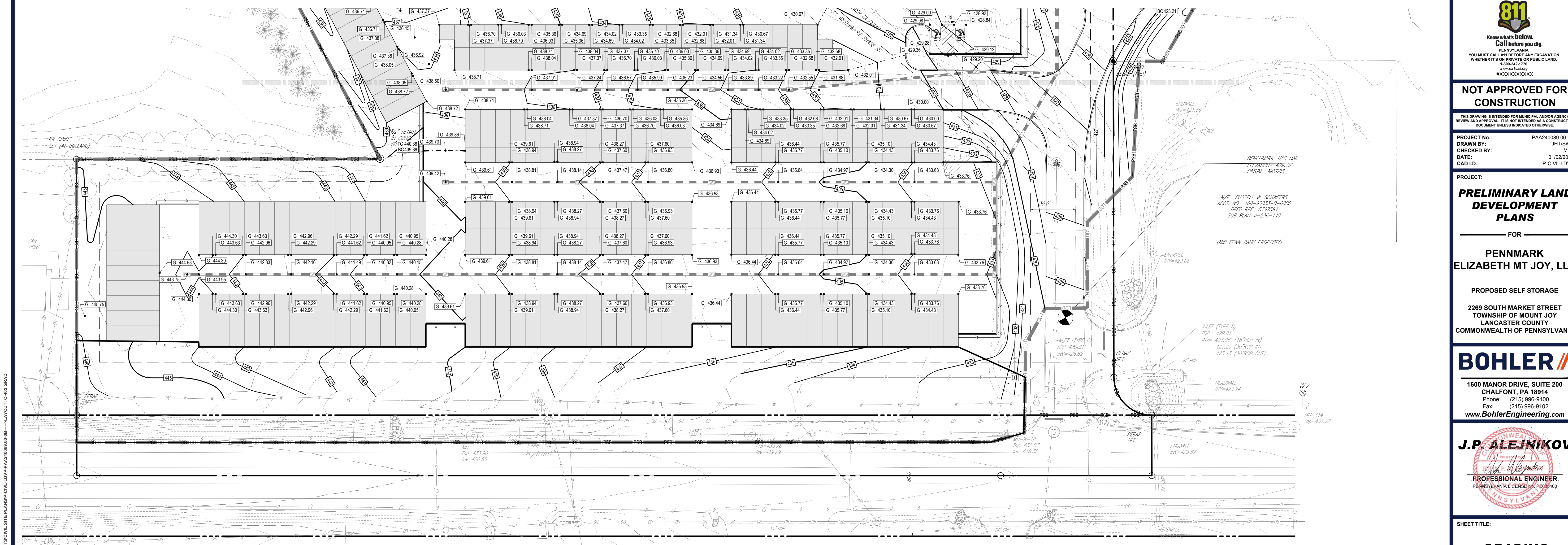
SHEET NUMBER:

C-402

11 OF 40

ORG. DATE - 01/02/2025

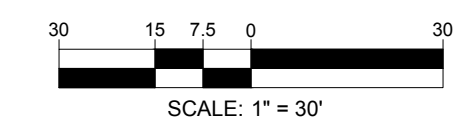
MATCHLINE - SHEET C-403



PA 230 SOUTH MARKET STREET SR 0230

SPEED LIMIT 45

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY





MN-W-21
Top=432.34
Inv=422.34

WESTBROOKE - PHASE III
SUB PLAN: J-196-37

WESTBROOKE - PHASE III
SUB PLAN: J-196-37

PROP PROJECT
SITE BOUNDARY:
10.66 AC

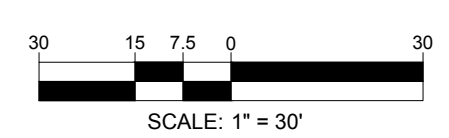
PROP LIMIT OF
DISTURBANCE:
8.09 AC

EXISTING SANITARY
MANHOLE TOP TO BE
RESET. CONTRACTOR TO
VERIFY EXISTING TYPE
DEPTH AND LOCATION

EXISTING SANITARY
MANHOLE TOP TO BE
RESET. CONTRACTOR TO
VERIFY EXISTING TYPE
DEPTH AND LOCATION

EXISTING SANITARY
MANHOLE TOP TO BE
RESET. CONTRACTOR TO
VERIFY EXISTING TYPE
DEPTH AND LOCATION

THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY



MATCHLINE - SHEET C-402

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PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIV-LDVP

PRELIMINARY LAND DEVELOPMENT PLANS

FOR
**PENNMAR
ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

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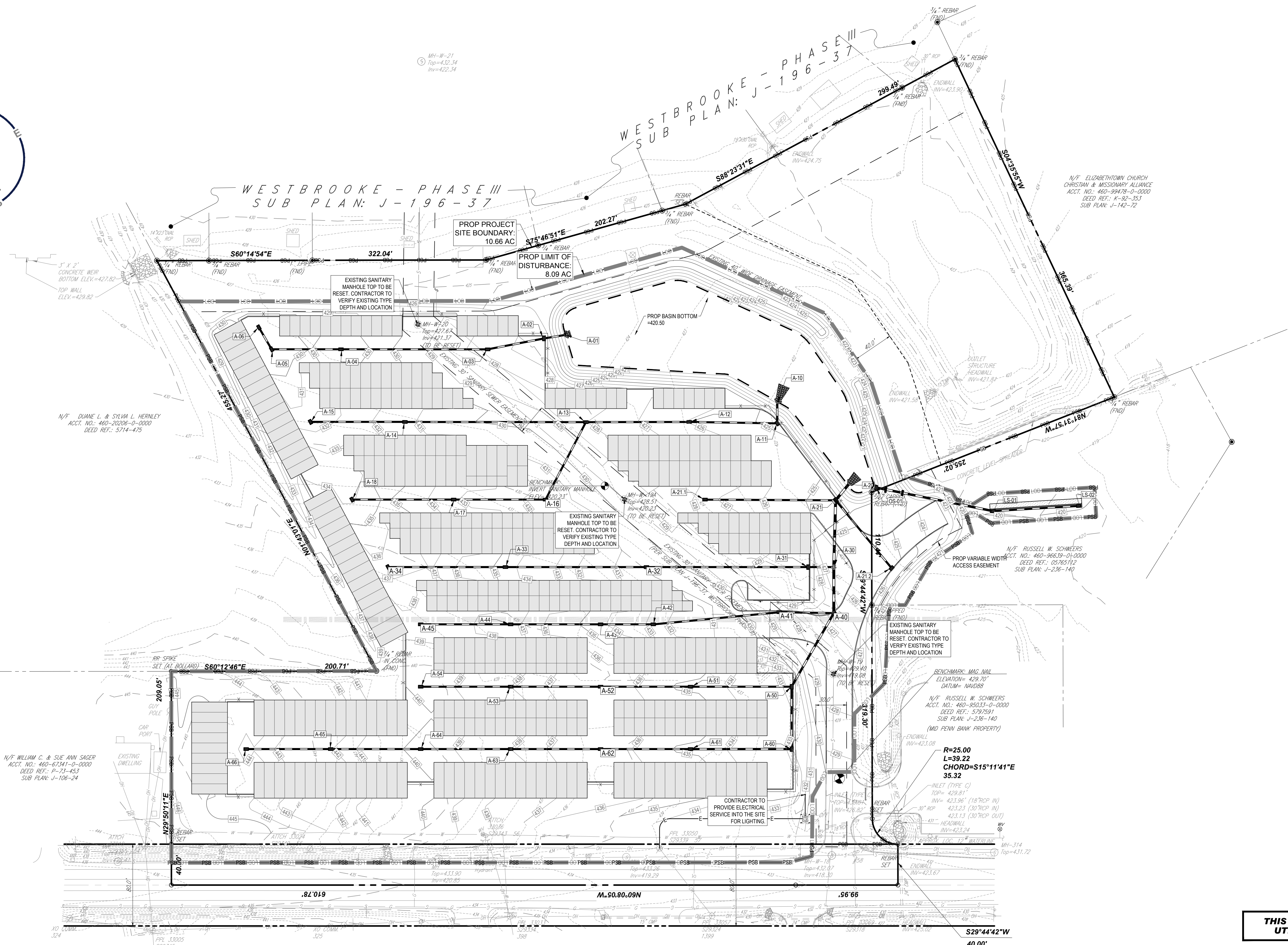
J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C-403
12 OF 40

ORG. DATE - 01/02/2025

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PROJECT No.: PAA240089.00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIVIL-LDVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
FOR
PENNMARQUE ELIZABETH MT JOY, LLC
PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

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J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:
OVERALL UTILITY PLAN
SHEET NUMBER:
C-501
13 OF 40
ORG. DATE - 01/02/2025

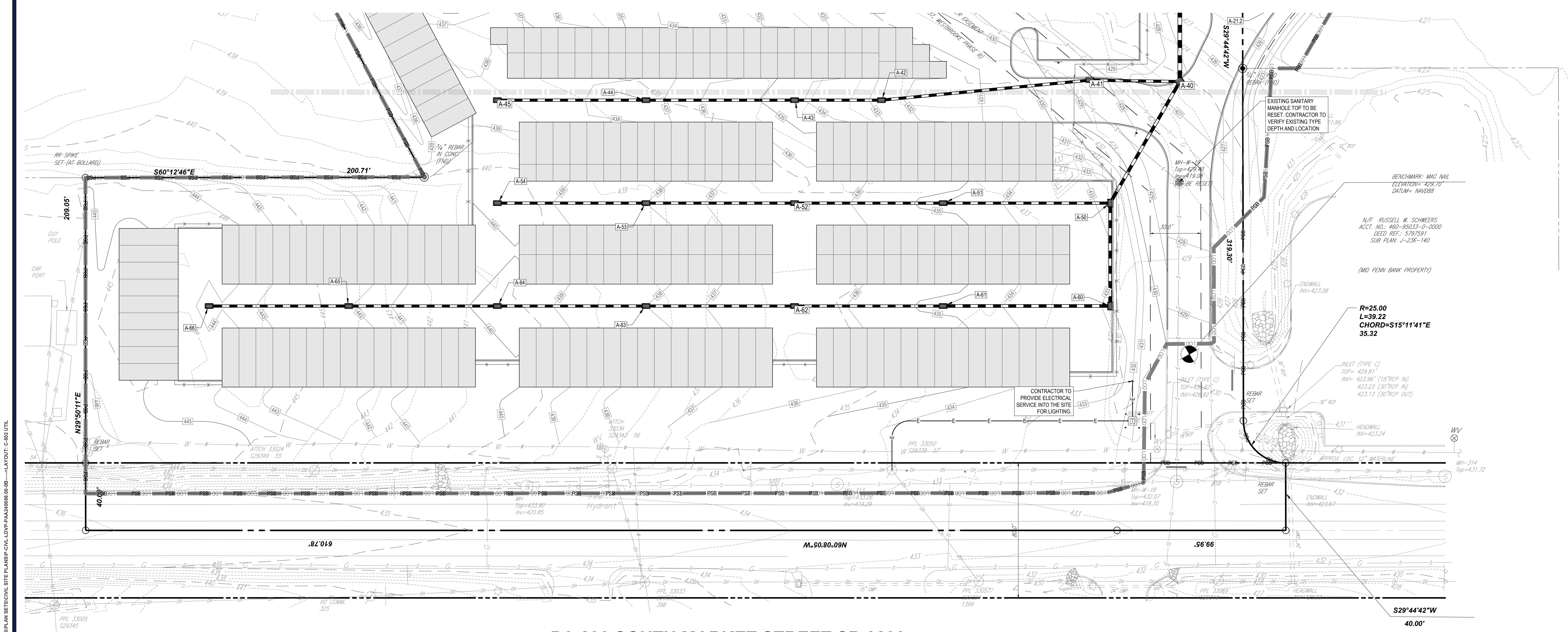
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SCALE: 1" = 20'

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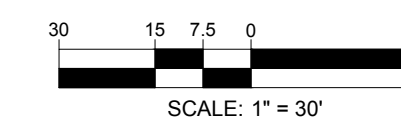
MATCHLINE - SHEET C-503



PA 230 SOUTH MARKET STREET SR 0230

SPEED LIMIT 45

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

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PROJECT No.: PAA240089-00-0B
 DRAWN BY: JHT/SWB
 CHECKED BY: MEL
 DATE: 01/02/2025
 CAD ID: P-CVIL-DVP

PROJECT:
PRELIMINARY LAND DEVELOPMENT PLANS
 FOR
PENNMARK ELIZABETH MT JOY, LLC
 PROPOSED SELF STORAGE
 2269 SOUTH MARKET STREET
 TOWNSHIP OF MOUNT JOY
 LANCASTER COUNTY
 COMMONWEALTH OF PENNSYLVANIA

BOHLER
 1600 MANOR DRIVE, SUITE 200
 CHALFONT, PA 18914
 Phone: (215) 996-9100
 Fax: (215) 996-9102
 www.BohlerEngineering.com

J.P. ALEJNIKOV
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE0065400

SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-502
 14 OF 40
 ORG. DATE - 01/02/2025

R:\2024\PA240089-00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PA240089-00-0B-LAYOUT_C-02.UTL



MI-W-21
Top=432.34
Inv=422.34

WESTBROOKE - PHASE III
SUB PLAN: J-196-37

WESTBROOKE - PHASE III
SUB PLAN: J-196-37

PROP PROJECT
SITE BOUNDARY:
10.66 AC

PROP LIMIT OF
DISTURBANCE:
8.09 AC

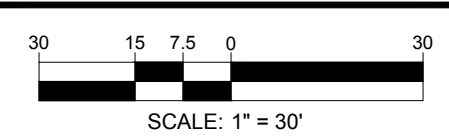
EXISTING SANITARY
MANHOLE TOP TO BE
RESET. CONTRACTOR TO
VERIFY EXISTING TYPE
DEPTH AND LOCATION

EXISTING SANITARY
MANHOLE TOP TO BE
RESET. CONTRACTOR TO
VERIFY EXISTING TYPE
DEPTH AND LOCATION

EXISTING SANITARY
MANHOLE TOP TO BE
RESET. CONTRACTOR TO
VERIFY EXISTING TYPE
DEPTH AND LOCATION

N/F RUSSELL W. SCHWEPERS
ACCT. NO.: 480-96639-0-0000
DATED REF.: 05/15/12
SUB PLAN: J-236-140

**THIS PLAN TO BE UTILIZED FOR
UTILITIES PURPOSES ONLY**



MATCHLINE - SHEET C-502

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: PAA240089-00-0B
DRAWN BY: JHT/SWB
CHECKED BY: MEL
DATE: 01/02/2025
CAD ID: P-CIVL-LDVP

PROJECT:
**PRELIMINARY LAND
DEVELOPMENT
PLANS**

FOR
**PENNMARK
ELIZABETH MT JOY, LLC**

PROPOSED SELF STORAGE
2269 SOUTH MARKET STREET
TOWNSHIP OF MOUNT JOY
LANCASTER COUNTY
COMMONWEALTH OF PENNSYLVANIA

BOHLER
1600 MANOR DRIVE, SUITE 200
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Fax: (215) 996-9102
www.BohlerEngineering.com

J.P. ALEJNIKOV
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056400

SHEET TITLE:
**UTILITY
PLAN**
SHEET NUMBER:
C-503
15 OF 40
ORG. DATE - 01/02/2025

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