PLANNING COMMISSION PRELIM	IINARY PLAN AP	PROVAL CERTIFIC	ATE	
AT A MEETING ON, 20, THE MOUN PRELIMINARY PLAN APPROVAL OF THIS PROJECT, INCL THROUGH, WHICH FORM A PART OF THE APPLICA , AND BEARING MOUNT JOY TOWNSH THIS PLAN MAY NOT BE RECORDED IN THE OFFICE OF T MAY ANY CONSTRUCTION BE INITIATED.	UDING THE COMPLETE SE ATION DATED IIP PLANNING COMMISSION	T OF PLANS MARKED SHEET(S) , LAST REVISED N FILE NO	, <u> </u>	PREL
CHAIRMAN	VICE CHAIRMAN			
CERTIFICATE OF SURVEY ACCUR	RACY			LAND
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		SEAL OF ENGINEER OR SURVE		
		SEAL OF ENGINEER OR SURVE	ETORJ	
STORMWATER MANAGEMENT PL	AN CERTIFICAT	ION		
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLE DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE	E WITH CHAPTER 119, SUB			
AND CHAPTER 113, STORMWATER MANAGEMENT,	, 20			
		[SEAL OF REGISTERED PROFE	SSIONAL]	PENNMAR
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLED	- DGE, THE (PUBLIC) (COMM			
HAS/HAVE BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOR WASTE WATER COLLECTION SYS SYSTEM CONSTRUCTION) OF MOUNT JOY TOWNSHIP AI TO MEET) THE REQUIREMENTS OF THE PENNSYLVANIA , 20	TEM EXTENSIONS) AND (T UTHORITY AND THE WATE	HE GENERAL SPECIFICATIONS R SUPPLY (WILL MEET) (WILL B	FOR WATER	
		[SEAL OF REGISTERED PROFE	SSIONAL]	
PRELIMINARY DESIGN REVIEW C	ERTIFICATE - S	EWER		ACO
THE (NAME OF PUBLIC SEWER PROVIDER) PRESENTLY PUBLIC SANITARY SEWER SYSTEM TO CONVEY THE ES SEWAGE FLOW FROM THIS PROPOSED DEVELOPMENT. MEET WITH THE APPROVAL OF THE (NAME OF PUBLIC S COMPLY WITH THE AUTHORITY'S RULES, REGULATIONS SPECIFICATIONS FOR WASTEWATER COLLECTION SYST	TIMATED GALL THE FACILITIES TO BE CO SEWER PROVIDER) ENGINE AND STANDARD CONSTR	ONS PER DAY SANITARY	-9	
CHAIRMAN	VICE CHAIRMAN			CLOVERLEAF RD
PRELIMINARY DESIGN REVIEW C (NAME OF PUBLIC WATER PROVIDER) PRESENTLY HAS . WATER SYSTEM TO DELIVER THE ESTIMATED THIS PROPOSED DEVELOPMENT. THE FACILITIES TO BE OF THE (NAME OF PUBLIC WATER PROVIDER) ENGINEED AUTHORITY'S RULES, REGULATIONS AND STANDARD CO FOR WATER SYSTEM CONSTRUCTION.	ADEQUATE CAPACITY IN T GALLONS PER DAY WAT E CONSTRUCTED MUST ME R AND SOLICITOR AND CO	HE EXISTING PUBLIC TER SUPPLY DEMAND TO ET WITH THE APPROVAL MPLY WITH THE	Quetero	Ballet Contraction of the second seco
CHAIRMAN	VICE CHAIRMAN			
			SHEAFFER RULL	B SCHWANCER PO BUILT
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BASED UPON ITS CONFORMITY WITH THE STANDARDS ( DEVELOPMENT. CHAIRMAN	OF CHAPTER 119, SUBDIVI	SION AND LAND		SITE
CERTIFICATE OF OWNERSHIP, A	CKNOWLEDGEM			SHADY CANE
PLAN AND OFFER OF DEDICATIO	N	STATE OF:		SCALE: 1" = 2.000'
ON THIS, THE DAY OF, 20, APPEARED BEING	(	COUNTY OF:		SOURCE: MOUNT JOY TOWNSHIP
WHO, BEING DULY SV CORPORATION IS THE EXECUTE SAID ON BEHALF OF THE CORPORATION, THA OF THE CORPORATION FURTHER ACKNOWLEDGES THA	ORN OR AFFIRMED ACCC _ OF THE PROPERTY SHO T THE CORPORATION DES	WN ON THE PLAN, THAT HE IS A SIRES THE SAME TO BE RECORD	AUTHORIZED TO	IALF
PROPERTY (EXPECTING THOSE AREAS LABELED NOT F				PEN
				ROBE
CERTIFICATE OF PLAN ACCURAC		SION EXPIRES		
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEI TRUE AND CORRECT TO THE ACCURACY REQUIRED BY	 DGE, THE SURVEY AND PL		EREON IS	DRIVEWAY CERTIFICATION I HEREBY CERTIFY THAT, CONSISTENT WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, A PERMIT CAN BE ISSUED TO ALLOW DRIVEWAY(S) AND/OR STREETS(S) TO BE CONSTRUCTED AT THE LOCATIONS SHOWN HERON, 20
		JOHN P. ALEJNIKOV PA LICENSE # PE086400		[SEAL OF ENGINEER OR SURVEYOR]
GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS A				[SEAL OF ENGINEER OR SURVEYOR]
WORK SCOPE PRIOR TO THE INITIATION OF CONTRACTOR TO REVIEW ALL OF THE DRAWINGS A WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBIL WRITING PRIOR TO THE START OF CONSTRUCTION. FALLURE BY THE CONTRACTOR T ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCO	OR FIND A CONFLICT WITH THE DOCUMENT LITY TO NOTIFY THE PROJECT ENGINEER C O NOTIFY THE PROJECT ENGINEER SHALL	S RELATIVE TO OF RECORD IN CONSTITUTE		

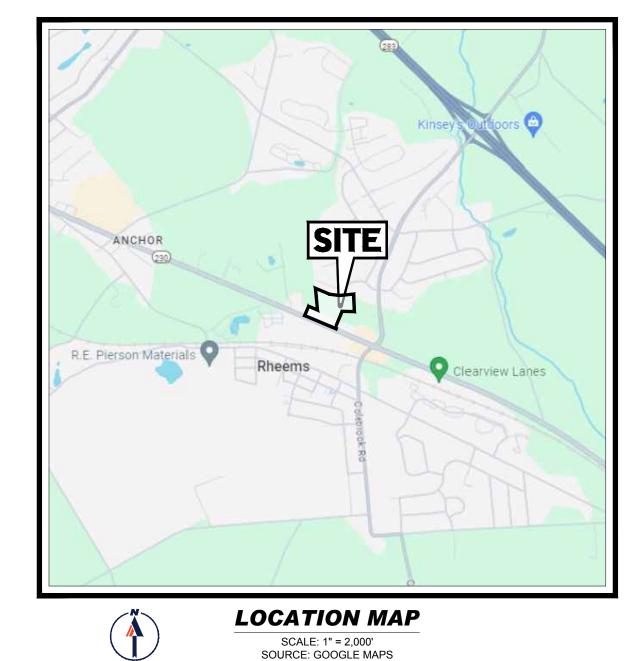
# ELIMINARYIFINAL **DEVELOPMENT** PLANS

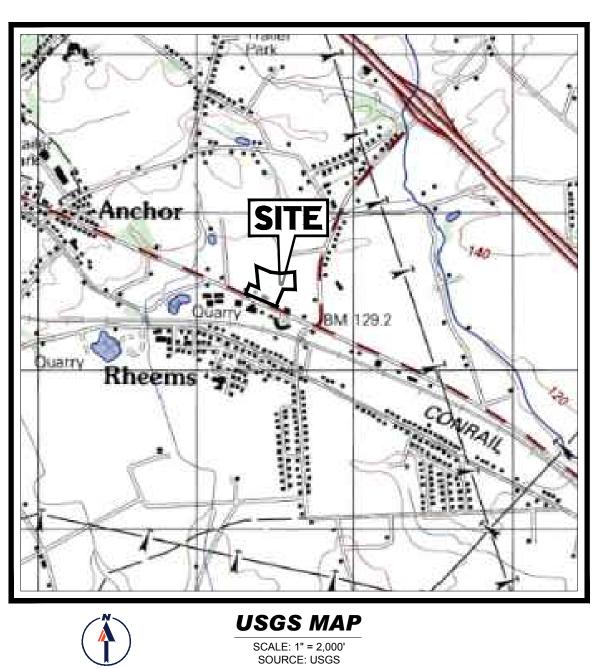
**PROPOSED SELF STORAGE** 

– FOR

# ARK ELIZABETH MT JOY, LLC

LOCATION OF SITE **2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY** LANCASTER COUNTY **COMMONWEALTH OF PENNSYLVANIA** ACCT NO.: 460-32729-0-0000 & 460-04088-0-0000 DEED REF.: 5707-539 & Z-85-556





**OWNER** PENNMARK ELIZIBETHTOWN MOUNT JOY ASSOCIATES I P 1000 GERMANTOWN PIKE SUITE A2 PLYMOUTH MEETING, PA 19462 ROBERT SICHELSTIEL, BROKER OF RECORD

DEVELOPER PENNMARK ELIZIBETHTOWN MOUNT JOY ASSOCIATES LP 1000 GERMANTOWN PIKE SUITE A2 PLYMOUTH MEETING, PA 19462 ROBERT SICHELSTIEL, BROKER OF RECORD

PREPARED BY



CONTACT: MATTHEW LANDROW, PE

GOVERNMENT

CHAIRMAN

### **REFERENCES AND CONTACTS**

- REFERENCES ♦ BOUNDARY & TOPOGRAPHIC SURVEY: HERSHEY SURVEYING, INC. 60 WEST CHURCH STREET, SUITE C DENVER, PA 17517 DATED: 8/5/10
- JOB # 101069-25 ELEVATIONS: NAVD 1988
- ♦ GEOTECHNICAL INVESTIGATION REPORT: EARTH ENGINEERING, INC. 149 MAIN STREET
- EMMAUS, PENNSYLVANIA 18049 DATED: 8/13/2024
- ♦ TRIP GENERATION ASSEMENT GROVE MILLER ENGINEERING, INC 4800 LINGLESTOWN ROAD, SUITE 307 HARRISBURG, PA 19462 DATED: 10/7/2023

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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LANCASTER COUNTY PLANNING COMMISSION'S REVIEW CERTIFICATE

THE LANCASTER COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON \_ AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE LANCASTER COUNTY PLANNING COMMISSION IN LCPC FILE NO. \_\_\_\_\_. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE LANCASTER COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT OR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL

VICE CHAIRMAN

MT		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR AM PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER
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	Knov	w what's <b>below.</b> Call before you dig. PENNSYLVANIA	
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		www.pa1call.org #XXXXXXXXXXX	
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## **GENERAL NOTES**

- (Rev. 1/2023)
- FHESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING PA, LLC HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER , IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IE THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS. THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL
- NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION.
- HIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- E CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS. ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT
- AND PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS. ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS. PRIOR TO THE COMMENCEMENT OF
- CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING PROFESSIONAL OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED. FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY
- WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS: AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.
- PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER. HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS HAZARDOUS SUBSTANCES OR POLILITANTS ON ABOUT OR LINDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE.
- THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT. UTILITIES. BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT
- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES. TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST
- THE CONTRACTOR MUST REPAIR. AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE WIRING CONDUITS AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE
- START OF CONSTRUCTION THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION. OR ANYTHING RELATED TO SAME. THE PROFESSIONAL OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF PROFESSIONAL OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING TO THE PROFESSIONAL OF RECORD AND BOHLER ANY DISCREPANCIES THAT MAY OR
- COULD AFFECT THE PUBLIC SAFETY HEALTH OR GENERAL WELFARE, OR PROJECT COST, IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE. IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, NJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S
- FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND CURRENT CODES RULES STATUTES AND THE LIKE IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT PROFESSIONAL OF RECORD AND BOHLER SUFFER AND ANY AND ALL COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS RELATED TO SAME. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S
- OVED'S LIADILITY INSUDANCE AN UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER . AND ITS PAST. PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES CLAIMS ACTIONS PENALTIES EXPENSES PUNITIVE DAMAGES TORT DAMAGES STATUTORY CLAIMS STATUTORY CAUSES OF ACTION LOSSES CAUSES OF ACTION LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY PROFESSIONAL OF RECORD, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO
- ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES. GENERALLY OR FOR THE CONSTRUCTION MEANS. METHODS. TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH OF THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY SOIL EROSION & SEDIMENT CON RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING OVERSEEING SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND PROTECT AND HOLD HARMLESS ROHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND. FURTHER. THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE
- AS DESCRIBED ABOVE WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT. BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES. AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM O LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN PROFESSIONAL OF RECORD'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND FURTHER MUST DEFEND INDEMNIEY PROTECT AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST
- FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN: AND, FURTHER, THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLED Y RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF
- THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. PROFESSIONAL OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK
- THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD PROFESSIONAL OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT PROFESSIONAL OF RECORD SUFFERS AND COSTS THAT PROFESSIONAL OF RECORD INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE
- ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED OGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER. THE USE OF THE
- WORDS 'CERTIEY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

### **DEMOLITION NOTES**

- WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROAD PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES II HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" REGULATIONS. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GE ONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO RE
- THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS A ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION RE TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH TH ECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCO FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACT SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR TH THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSAF
- COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS CONTRACTOR AT THE CONTRACTOR'S SOLE COST MUST REPAIR ALL DAMA REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITI PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AN REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY 1 NEAR TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCL AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/C NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION ARE PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION
- RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLA QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS RECORD AND BOHLER. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITE RECORD AND BY BOHLER. IN WRITING. ALL DEMOLITION ACTIVITIES MUS REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICAB RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILI
- RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/ FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRI AND SERVICES HAVE BEEN TERMINATED REMOVED AND/OR ABANDONED IN AC COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, BULE PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR R ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION
- B NOTIEY AT A MINIMUM THE MUNICIPAL ENGINEER DESIGN ENGINEER AND LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURI SAID CONTROLS UNTIL SITE IS STABILIZED IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STAT
- UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL UTILITIES AND SERVICES. INCLUDING BUT NO AND STORM SEWER. TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WIT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEM
- DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SEE PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT TH RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUS WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPAN ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZ
- PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFO IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH TH IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMED OWNER, PROFESSIONAL OF RECORD AND BOHLER, THE DISCOVERY C COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DE FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, U CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUAI STRUCTURAL OR GEOTECHNICAL ENGINEER. 2 DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREA
- WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM TH WITH JURISDICTION. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR IN MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST I NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RE IN THE GEOTECHNICAL REPORT BACKELLING MUST OCCUR IMMEDIATELY PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISH
- POSITIVE DRAINAGE THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION T RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FF NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMME DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL STATE AND LOCA ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEIS
- MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 15. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CON TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE A CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST 16. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOV
- SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY. 17. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES CAPPED. ABANDONED IN PLACE. OR RELOCATED DUE TO DEMOLITION AG PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNIT
- N ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENT AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT T

## (Rev. 4/2023)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CO OMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE I WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. FROSION CONTROL MEASURES MUST CONFORM TO THE PENNSYLVANIA
- CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RE DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 8.09 ACRES. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORD/
- RECOMMENDATIONS THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SIL ANY SILT FROM DROP INLET PROTECTION. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTU
- FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DI CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTA MANAGEMENT PRACTICES THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF
- O PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNG THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING JNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR RESPONSIBLE FOR ALL SUCH COSTS
- THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTR CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES. SILT A /EGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD C THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPO FACILITIES MEASURES AND STRUCTURES ADDITIONAL FACILITIES MEASURES
- NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/O DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND D THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMAT THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRU
- OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES. BOTH AT THE TIME OF SIT . SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL 5. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE ( WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE C COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE I WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION THE CONTRACT EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES AND THE LIKE, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, WHICH IT OR THEY SUFFER OR INCUR AS A RESULT OF THE
- GUIDELINES RULES REGULATIONS STANDARDS AND THE LIKE
- RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT
- ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

DEMOLITION NOTES (Rev. 1/2023)	GRADING NOTES (Rev. 1/2023)		STANDARD BREVIATIONS	
THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY	1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY	FO	R ENTIRE PLAN SET	
WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR	<ul> <li>WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.</li> <li>SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN</li> </ul>	AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	
MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST		AC	ACRE / ACRES	
PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.		AD	AREA DRAIN ACCESSIBLE / AMERICANS	
THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.	4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION	ADA AG	WITH DISABILITIES ACT	М
<ul> <li>A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.</li> <li>B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING,</li> </ul>		APPROX	APPROXIMATE	
TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER	AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE	ARCH ASPH	ARCHITECTURAL	
SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE	WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES.	ASPH	AREA SUBJECT TO	N
CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST	STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE	ASSOC	STORMWATER FLOWAGE ASSOCIATION	
PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA	REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS,	BC BF	BOTTOM OF CURB BASEMENT FLOOR	
REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.	ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.	BIO	BIOGARDEN	
THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR	PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S).	BIT	BITUMINOUS BLOCK	
MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING,	PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.	BK BL	BASELINE	PA
RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE PROFESSIONAL OF	ACCESSIBILITY DESIGN GUIDELINES (Rev. 1/2023)	BLDG	BUILDING BENCH MARK	F
RECORD AND BOHLER, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE PROFESSIONAL OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS,	<ol> <li>ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS</li> </ol>	BM BRL	BUILDING RESTRICTION LINE	F
RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED	TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.	BVW	BORDERING VEGETATIVE WETLAND	
FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS. RULES, STATUTES, LAWS, ORDINANCES AND CODES,		CB CF	CATCH BASIN	
<ul> <li>PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:</li> <li>A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT. SITE WORK, AND DEMOLITION</li> </ul>	BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE <u>NOT</u> LIMITED TO THE FOLLOWING: A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.	CF	CURB INLET	F
WORK. B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.	<ul> <li>PACH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT</li> </ul>	CIT	CHANGE IN TYPE	
C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED	EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH.	CMP	CORRUGATED METAL PIPE	F
<ul> <li>D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.</li> <li>E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY</li> </ul>	<ul> <li>VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.</li> <li>C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE</li> </ul>	CO CONC	CLEAN OUT	
AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.	PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. <u>HAND RAILS</u> ON BOTH SIDES OF THE	CONC	CONNECTION	
<ul> <li>F. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES.</li> <li>G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR</li> </ul>	RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. D. <u>ACCESSIBLE CURB RAMPS</u> MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE <u>FLARED SIDES</u> ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. <u>LEVEL LANDING</u> MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG	COORD	COORDINATE	
PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE PROFESSIONAL OF RECORD'S OR BOHLER RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER	<ul> <li>(48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, <u>FLARE SIDES</u> SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).</li> <li>E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH</li> </ul>	CFF	CUBIC YARD	
WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK"	OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER	DEC	DECORATIVE DEPARTMENT OF	
HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.	REFERENCES INCORPORATED BY CODE). F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING	DEP	ENVIRONMENTAL PROTECTION	F
THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER, PROFESSIONAL OF RECORD AND BOHLER. THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND	ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER. IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD	DIA	DIAMETER	F
COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND	CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.	DMH DOM	DRAINAGE MANHOLE	
CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.	G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY	DOT	DEPARTMENT OF TRANSPORTATION	v
WITHOUT SPECIFIC WITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.	RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. 4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS	DP	DESIGN POINT	F
MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE	CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.	DWL DYL	DASHED WHITE LINE DOUBLE YELLOW LINE	
PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND		EG	EXISTING GRADE	
RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY	1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY	ELEC ELEV	ELECTRIC	5
DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO	<ul> <li>WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.</li> <li>2. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE <u>APPROXIMATE</u>, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY</li> </ul>	EOR		;
MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE	CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE PROFESSIONAL OF RECORD	EP / EOP ES / EOS	EDGE OF PAVEMENT EDGE OF SHOULDER	
CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST.	AND BOHLER.	EW	END WALL	2
PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY.	DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING	EX FEMA	EXISTING FEDERAL EMERGENCY	S
THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE	CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR	FES	MANAGEMENT AGENCY FLARED END SECTION	
WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE	UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR	FF	FINISH / FIRST FLOOR	
AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.	<ul> <li>VERIFYING LOCATIONS, SIZE, AND MATERIAL OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.</li> <li>THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR DOTATION AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR</li> </ul>	FFE	ELEVATION FINISH GRADE	
(Rev. 4/2023)	OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL	FH	FIRE HYDRANT	
THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY	UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS	FM FO	FORCE MAIN FIBER OPTIC	
COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. EROSION CONTROL MEASURES MUST CONFORM TO THE PENNSYLVANIA GUIDELINES FOR URBAN EROSION AND SEDIMENT	BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME.	G	GRADE	
CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.	7. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL OF	GC GEO	GENERAL CONTRACTOR GEOTECH/GEOTECHNICAL	
THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 8.09 ACRES. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.	RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS 8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS	GF / GFE	GARAGE FLOOR ELEVATION (AT DOOR)	
THE CONTRACTOR <u>MUST</u> <u>INSPECT</u> EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.	AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WILL THE CONTRACTOR MUST DEVIATE OF THE APPROPRIATE PLAN(S).	GFA	GROSS FLOOR AREA	
THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST	<ul> <li>WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.</li> <li>9. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE</li> </ul>	GH GL	GRADE HIGH (WALL) GRADE LOW (WALL)	Т
MANAGEMENT PRACTICES. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE	AGENCY WITH JURISDICTION OVER SAME. 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS.	GRT GT	GRATE GREASE TRAP	
UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS	<ol> <li>WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.</li> </ol>	GV	GATE VALVE	
RESPONSIBLE FOR ALL SUCH COSTS. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.	12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE	HDPE HOR	HIGH DENSITY POLYETHYLENE	
THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE	STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. OUTSIDE SOURCE NOTES (Rev. 11/2023)	HP	HIGH POINT	
FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE	ANY INFORMATION, DRAWINGS, DATA, PLANS, SPECIFICATIONS, MATERIALS, FIGURES, DOCUMENTATION, REPORTS, AND THE LIKE	HW	HEADWALL INLET CONTROL STRUCTURE	
AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.	WHICH IS INDICATED TO HAVE BEEN PREPARED "BY OTHERS" (HEREIN, "BY OTHERS REPORTS, DOCUMENTS AND DETAILS") HAS BEEN OR WILL BE CREATED, DEVELOPED, PREPARED, PERFORMED, AND ANALYZED BY AN ENTITY OR PARTY OTHER THAN THE "BOHLER" ENTITY INVOLVED WITH THIS PROJECT. THE "BOHLER" ENTITY IS NOT IN ANY WAY RESPONSIBLE FOR THE BY OTHERS REPORTS,	INF		
OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE	DOCUMENTS AND DETAILS EVEN IF/WHERE INCLUDED IN THE "BOHLER" ENTITY'S PLANS, REPORTS, ETC. SAME HAS BEEN INCLUDED ON THIS PLAN FOR THE CONVENIENCE, <u>ONLY</u> , OF THE PROJECT OWNER, DEVELOPERS, CONTRACTORS AND CONSULTANTS AND IN ORDER TO COORDINATE THE "BOHLER" ENTITY'S DESIGN WITH THAT OF "OTHERS". THE "BOHLER" ENTITY HAS ASSUMED, FOR	INT INV	INTERSECTION INVERT	
OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.	PURPOSES OF THIS PLAN, THAT THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS ARE CURRENT AND, IF APPLICABLE, PREPARED IN STRICT ACCORDANCE WITH ALL APPLICABLE COUNTY, STATE, FEDERAL AND OTHER STATUTES, LAWS, RULES, REGULATIONS, ORDINANCES AND THE LIKE. THE "BOHLER" ENTITY SPECIFICALLY DISCLAIMS ANY AND ALL LIABILITY AND	LF		
ITE LAYOUT NOTES (Rev. 1/2020)	RESPONSIBILITY FOR BY OTHERS REPORTS, DOCUMENTS AND DETAILS. THE ENTITY OR PERSON WHO CREATED THE INFORMATION CONTAINED IN THE BY OTHERS REPORTS, DOCUMENTS AND DETAILS (EXCLUDING INFORMATION AND/OR DETAILS SOLELY SUPPLIED BY A JURISDICTION AND/OR GOVERNING BODY) AGREES BY PARTICIPATING IN THIS PROJECT, RECEIVING, REVIEWING, USING	LOC LOD	LIMIT OF CLEARING	
THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY	AND/OR RELYING UPON THIS DOCUMENT, AND/OR BY AGREEING TO THE PROJECT OWNER/DEVELOPER'S CONTRACT DOCUMENTS, TO DEFEND, INDEMNIFY, PROTECT AND HOLD HARMLESS THE "BOHLER" ENTITY THAT PREPARED THIS DOCUMENT AND ITS EMPLOYEES FOR ANY AND ALL DAMAGES, INJURIES, COSTS, EXPENSES AND THE LIKE, TO THE FULLEST EXTENT PERMITTED UNDER	LOS	LINE OF SIGHT	
COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND	THE LAW, WHICH THE "BOHLER" ENTITY AND/OR ITS EMPLOYEES SUFFER OR INCUR AS A RESULT OF INCLUDING ANY BY OTHERS REPORTS, DOCUMENTS AND DETAILS IN AND ON OR IN THIS PLAN. ANYONE OR ANY ENTITY WHO RECEIVED, RELIES UPON AND/OR USES THIS PLAN, AGREES TO HOLD THE "BOHLER" ENTITY AND ITS EMPLOYEES HARMLESS FROM ANY CLAIMS, DAMAGES, INJURIES,	LOW	LOW POINT	
ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL	COSTS AND EXPENSES, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR ANY DAMAGES, INJURIES, COSTS, EXPENSES			

O PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON RECEIVING, RELYING UPON AND/OR USING SAME, THE "BOHLER" ENTITY SHALL HAVE NO LIABILITY RELATED TO SAME. WITH UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, RESPECT TO ALL BY OTHERS REPORTS, DOCUMENTS AND DETAILS, CONTRACTOR MUST VERIFY ALL INFORMATION CONTAINED IN THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY ANY CONSTRUCTION AND MUST VERIEV THAT THE INFORMATION IS THE LATEST. THE MOST RECENT AND THE MOST CURRENT

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE REPORT, DOCUMENT AND DETAIL. REFERENCES ON THIS PLAN TO INFORMATION PREPARED OR CONTAINED IN BY OTHERS REPORTS, DOCUMENTS AND DETAILS DEPICTING AN OFF-SITE AREA WHERE NO DETAIL IS INCLUDED IS A REFERENCE TO AN AREA, ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DETAIL, SPECIFICATION OR DESIGN THAT HAS NOT BEEN DESIGNED OR CONSTRUCTED BY THE "BOHLER" ENTITY AND REGARDING DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT WHICH THE "BOHLER" ENTITY HAS NO CONTROL OVER OR LIABILITY REGARDING, BUT IS ADDED TO THIS PLAN FOR INFORMATIONAL PURPOSES, ONLY.

THE SCOPE OF ALL PARTIES INVOLVED IN PREPARING THE BY OTHERS REPORTS. DOCUMENTS AND DETAILS PRIOR TO COMMENCING

ANY BY OTHERS REPORTS, DOCUMENTS AND DETAILS INCORPORATED IN THE PLAN, AND EXPRESSLY CONFIRMS THAT BY

STANDARD

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LS	LANDSCAPE AREA	STANDAR	<b>D DRAWING</b> FOR ENTIRE PLAN SET	LEGEND	
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MEP	MECHANICAL, ELECTRICAL, AND PLUMBING	LIMIT OF DISTUR		LOD	
MH	MANHOLE	SAWCUT LINE			
MIN MJ	MINIMUM MECHANICAL JOINT	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	
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PERF	RETURN PERFORATED	-	UTILITY POLE WITH LIGHT		REVISIONS
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PI POG	POINT OF INTERSECTION POINT OF GRADE	₽	TRAFFIC	<b>e</b> t	
PP	POLYPROPYLENE PIPE PROPOSED	0	LIGHT		
PROP PT	POINT OF TANGENCY		POLE		
PTCR	POINT OF TANGENCY, CURB RETURN	<u>ل</u>	TYPICAL LIGHT	5	
PVI	POINT OF VERTICAL INTERSECTION	¢	ACORN LIGHT	©.	
PVMT	PAVEMENT POINT OF VERTICAL		TYPICAL SIGN	<b>v</b>	
PVT R	TANGENCY RADIUS / RADII	X	PARKING COUNTS	$\overline{\mathbf{X}}$	
R/W	RIGHT-OF-WAY / RIGHTS-OF-WAY				
RCP	REINFORCED CONCRETE PIPE		CONTOUR		811
RD REGS	ROOF DRAIN REGULATIONS	169	LINE	187	
RELO	TO BE RELOCATED	TC 516.4 OR 516.4	ELEVATIONS	FF 517.00 TC 516.00 BC 515.55 ME 516.00	Know what's below. Call before you dig. PENNSYLVANIA
REQ RET	RETENTION				YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-242-1776
RET WALL	RETAINING WALL	SAN #	SANITARY LABEL	(S-100)	www.pa1call.org <mark>#XXXXXXXXXXX</mark>
RETO RG	TO BE RETURNED TO OWNER RAIN GARDEN	X #	STORM LABEL	A-100	NOT APPROVED FOR
S	SLOPE		SANITARY SEWER LATERAL	SL	CONSTRUCTION
SAN	SANITARY SEWER SOIL EROSION AND SEDIMENT		UNDERGROUND		THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONSTRUCTION</u> <u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.
SESC SHLO	CONTROL STATE HIGHWAY LAYOUT		WATER LINE UNDERGROUND	F	PROJECT No.: PAA240089.00-0B DRAWN BY: JHT/SWB
SMH	SANITARY MANHOLE	Z	ELECTRIC LINE	E	CHECKED BY:         MEL           DATE:         01/02/2025
STA STM	STATION STORM WATER / STORM	G	GAS LINE	G	CAD I.D.: P-CIVL-CNDS PROJECT:
SWL	SEWER SINGLE/SOLID WHITE LINE	OH	OVERHEAD WIRE	OH	PRELIMINARY LAND
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TBV	TO BE VACATED		SANITARY		
TC Tc	TOP OF CURB		MANHOLE		
TD			MANHOLE		2269 SOUTH MARKET STREET TOWNSHIP OF MOUNT JOY
TELE	TELECOMMUNICATIONS / TELEDATA TREE PROTECTION FENCE	www.	WATER METER	⊗ <sup>WM</sup>	LANCASTER COUNTY COMMONWEALTH OF PENNSYLVANIA
TR	TO REMAIN	$\mathbb{X}^{\mathbb{X}}$	WATER VALVE		
TRANS	TRANSITION TYPICAL		GAS VALVE	□ <sub>GV</sub>	<b>BOHLER</b>
UG	UNDERGROUND		GAS	G	1600 MANOR DRIVE, SUITE 200
UP	UTILITY POLE UNITED STATES GEOLOGICAL		METER TYPICAL END		CHALFONT, PA 18914 Phone: (215) 996-9100
USGS VERT	SURVEY VERTICAL		SECTION HEADWALL OR		Fax: (215) 996-9102 www.BohlerEngineering.com
VIF	VERIFY IN FIELD		ENDWALL		COLONIA DE LA
W W/L	WIDE / WIDTH WATER LINE		GRATE INLET		J.P. ALEJNIKOV
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			MONITORING WELL		LEGEND SHEET NUMBER:
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		×.	BENCHMARK		2 OF 40
			BORING	$\bullet$	ORG. DATE - 01/02/2025
				B-#	

## PENNSYLVANIA SITE NOTES

(Rev. 5/2024)

(Rev. 5/2024)

### PROPERTY OWNER: PENNMARK ELIZABETHTOWN MT JOY, LLC 2269 SOUTH MARKET STREET ELIZABETH TOWN, PA 17022

- 2. EXISTING PROPERTY INFORMATION: TPN 36-00-03910-00-5 AND TPN 36-00-03906-10-8
- 2269 SOUTH MARKET STREET ELIZABETH TOWN, PA 17022 ZONED C-2 GENERAL COMMERCIAL
  3. APPLICANT/EQUITABLE OWNER: ELIZABETH MT JOY, LLC
- ROBERT SICHELSTIEL, BROKER OF RECORD 2269 SOUTH MARKET STREET ELIZABETH TOWN, PA 17022
- 4. HORIZONTAL DATUM <IS BASED ON PENNSYLVANIA STATE PLANE SOUTH COORDINATES, NAD 83. VERTICAL DATUM IS NAVD 1988, BENCHMARK: 420.23>.
- 5. THE AREA BETWEEN THE ULTIMATE AND LEGAL RIGHT-OF-WAY <OF THE ROAD SHALL BE OFFERED TO THE AGENCY HAVING JURISDICTION.
- 6. ALL CURB AND PAVEMENT RADII ARE 5', UNLESS OTHERWISE NOTED.
- 7. ALL PROPOSED PINS AND MONUMENTS SHALL BE PLACED AND CERTIFIED BY A LICENSED PENNSYLVANIA PROFESSIONAL SURVEYOR.

### PENNSYLVANIA DRAINAGE & UTILITY NOTES (Rev. 5/2024)

- THESE PLANS INVOLVE BUILDINGS THAT MAY BE BUILT AT A LATER DATE. THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING, BUT NOT LIMITED TO STORM, SANITARY, TELECOM, GAS, AND ELECTRIC, AND IRRIGATION LINES TO A POINT AT LEAST FIVE FEET (5') BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A STAKE, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF A PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF WORK.
   STORM AND SANITARY PIPE LENGTHS INDICATED IN THE PLANS ARE NOMINAL AND ARE MEASURED FROM THE CENTERS OF
- INLETS AND MANHOLES.
  3. UNLESS OTHERWISE NOTED, ALL NEW UTILITIES/SERVICES, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, TELECOM, GAS, ETC. MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICES MUST BE INSTALLED IN ACCORDAN
- UTILITY SERVICE PROVIDERS' INSTALLATION SPECIFICATIONS AND STANDARDS. 4. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS, MUST BE REPAIRED IN ACCORDANCE WITH THE REFERENCED MUNICIPAL, COUNTY, AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY(IES) HAVING JURISDICTION.
- VARIOUS ASPECTS OF THE UTILITY DESIGNS DEPICTED ON THE PLANS ARE SCHEMATIC IN ORDER TO PROVIDE PLAN CLARITY OR TO CONVEY A DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY CONFIGURE ALL STRUCTURES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL, SERVICE PROVIDER, OR MANUFACTURER REQUIREMENTS IN ORDER TO ACHIEVE PROPER SITING, OPERATION, CONNECTIONS, SEPARATIONS, AND ACCESSES. THE CONTRACTOR SHALL REVIEW THE PLAN SPECIFICATIONS AND PREPARE STRUCTURE DESIGNS THAT INCORPORATE ANY AND ALL INTEGRAL COMPONENTS, SUCH AS TRASH RACKS, GATES, VALVES, INTERNAL OR EXTERNAL LININGS, WATER QUALITY DEVICES, SUMPS, RESTRAINTS, STEPS, FRAMES AND GRATES, PIPE/CONDUIT CONNECTIONS, MATERIALS, ETC. SHOULD DISCREPANCIES OR CONFLICTS ARISE UPON THE DESIGN OF THESE STRUCTURES OR INCORPORATION OF THE VARIOUS ELEMENTS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD OR BOHLER IN WRITING.

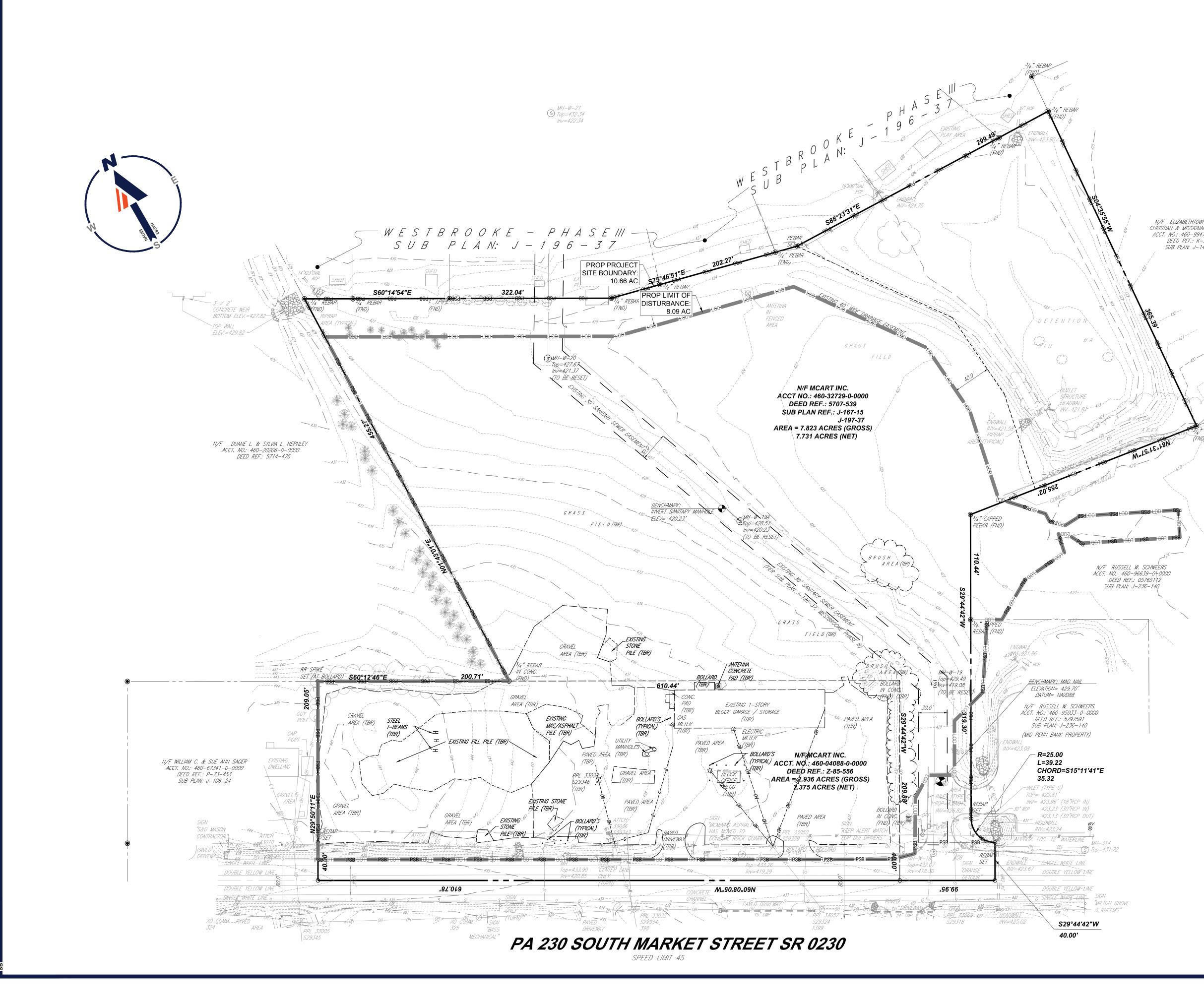
### STORM DRAINAGE 6. UNLESS INDICATED OTHERWISE, MAINLINE (15" OR LARGER) STORM SEWER PIPE SHALL BE DUAL WALL, TYPE S, HIGH-DENSITY

- POLYETHYLENE (HDPE) OR POLYPROPYLENE (PP) PIPE WITH SMOOTH INTERIORS AND ANNULAR CORRUGATIONS WITH SOIL TIGHT JOINTS. FOR APPLICATIONS OUTSIDE OF STATE DOT ROADWAYS, DEPENDENT UPON COST AND AVAILABILITY, PRODUCTS USING RECYCLED RESIN ARE PREFERRED; WHEREAS IN STATE DOT APPLICATIONS, ONLY PRODUCTS WITH VIRGIN RESIN ARE TO BE USED, UNLESS OTHERWISE APPROVED BY THE STATE DOT. STORM PIPES SMALLER THAN 15", SUCH AS ROOF DRAINS AND UNDERDRAINS, SHALL BE HDPE, PP, AND PVC (SDR 35 OR SCHEDULE 40), UNLESS OTHERWISE NOTED. PIPE MUST CONFORM TO THE FOLLOWING: 4" TO 60" (VIRGIN RESIN) HDPE: AASHTO M252 (4" TO 12"), AASHTO M294 (12" TO 60"); 4" TO 60" (RECYCLED RESIN) HDPE: ASTM F2306 AND ASTM F2648. 12" TO 60" PP PIPE MUST CONFORM TO ASTM F2881 AND AASHTO M330. JOINT GASKETS MUST CONFORM TO ASTM F2648. 12" TO 60" PP PIPE MUST CONFORM TO ASTM F2881 AND AASHTO M330. JOINT GASKETS MUST CONFORM TO ASTM F277. WATER-TIGHT JOINTS ADHERING TO ASTM D3212 SHALL BE PROVIDED WHEN RECOMMENDED BY A GEOTECHNICAL ENGINEER, AND/OR WHEN SITES ARE UNDERLAIN WITH KARST GEOLOGY, WHEN GROUNDWATER SEEPAGE SHOULD BE PREVENTED, AND WHERE THERE ARE ENVIRONMENTAL CONCERNS.
- A MINIMUM OF FOUR FEET (4') OF HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM STRUCTURES AND OTHER UTILITIES. A MINIMUM OF 18" OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAIN AND STORM SEWER.
   UNLESS SPECIFIC MUNICIPAL DETAILS DICTATE OTHERWISE, ALL STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT REVISION OF PENNDOT PUBLICATION 408 - "SPECIFICATIONS", PUBLICATION 72M -"STANDARDS FOR ROADWAY CONSTRUCTION".
- ALL INLETS SHALL BE PROVIDED WITH BICYCLE SAFE GRATES.
   ALL STORM PIPE CONNECTIONS TO STRUCTURES SHALL BE MADE WATER TIGHT.

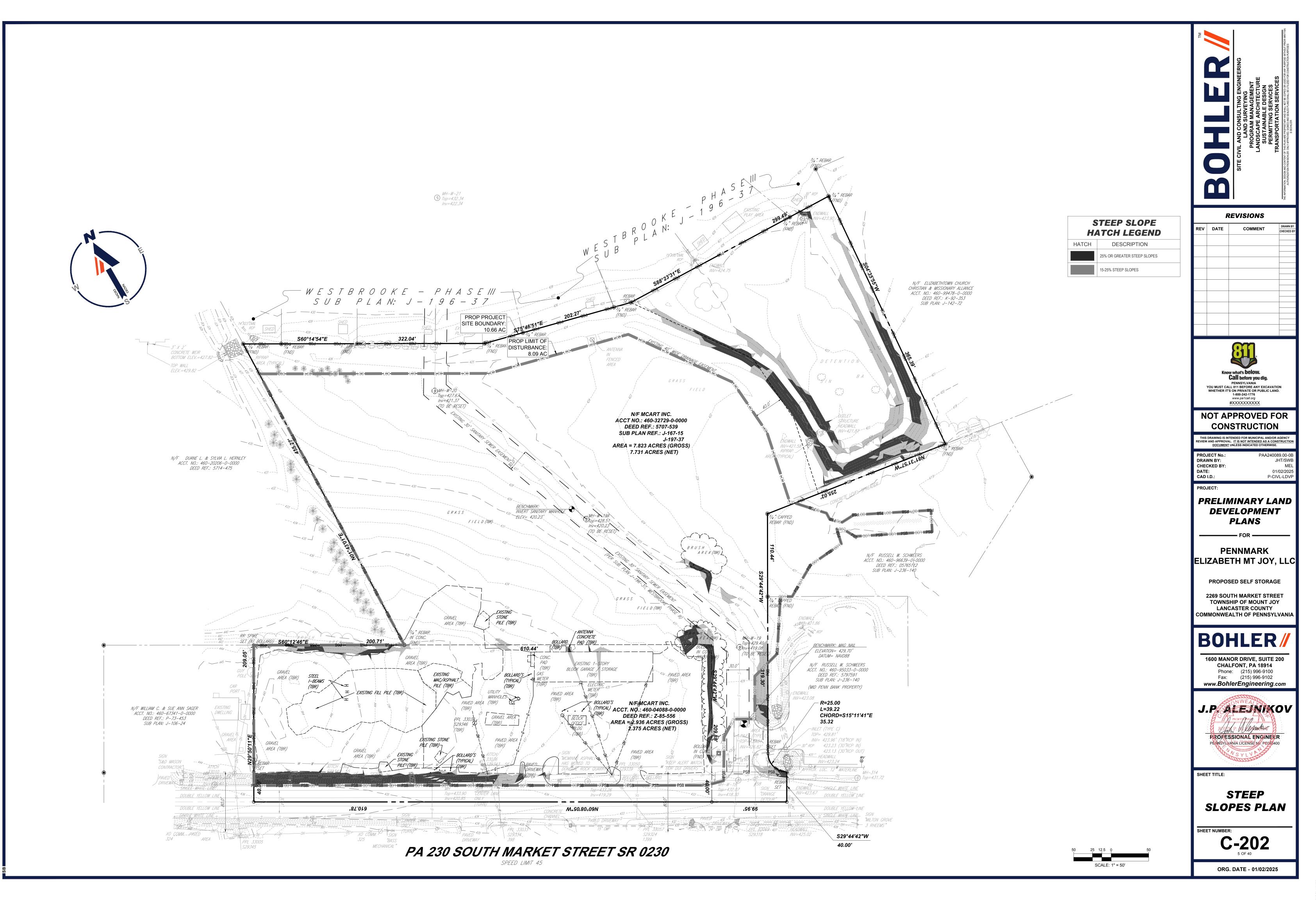
## PENNSYLVANIA GRADING NOTES

- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED.
   THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE IS PROVIDED IN BOTH PAVED AND LAWN AREAS AFTER CONSTRUCTION. THE MINIMUM SLOPES FOR IMPROVEMENTS ARE 1% ON ALL CONCRETE SURFACES. 1.5% MINIMUM IN ASPHALT
- (EXCEPT WHERE ADA LIMITS SLOPE), AND 2% IN LAWN AREAS. ANY LOCALIZED DEPRESSIONS MUST BE ELIMINATED.
  THE CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES. WHERE THE GRADING ALONG AND ADJACENT TO A BUILDING ARE SCHEMATIC DUE TO A GENERIC BUILDING FOOTPRINT, THE GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE THE MINIMUM REVEAL AS REQUIRED BY THE ARCHITECT AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ALL GRADING AND MINIMUM SLOPES AND SEPARATIONS MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS,
- ORDINANCES, AND CODES.
  4. WHERE SUBGRADE BUILDING AREAS ARE PROVIDED, THE CONTRACTOR MUST DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED SUBGRADE BUILDING AREA. WHERE GROUNDWATER IS ENCOUNTERED AT THE ELEVATION OF THE SUBGRADE BUILDING AREA, APPROPRIATE CONSTRUCTION METHODS SHALL BE EMPLOYED TO PREVENT GROUNDWATER FROM ENTERING THE STRUCTURE(S). IF AND WHERE SUMP PUMPS ARE PROVIDED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER OR OTHERWISE PROTECTED FROM CAUSING SURFACE RUNOFF EROSION.
- THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A GEOTECHNICAL ENGINEER AND IMPLEMENT RECOMMENDED STABILIZATION MEASURES FOR ANY CUT SLOPES IN EXCESS OF 2:1 AND/OR FILL SLOPES IN EXCESS OF 3:1.
   ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS OR GEOTECHNICAL SPECIFICATIONS.
- ALL SLOPES 3. FOR GREATER STATES OF ACTIONS.
   THE TOP AND BOTTOM OF WALL ELEVATIONS (GH & GL) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND THE BOTTOM OF THE WALL AND DO NOT REPRESENT THE OVERALL HEIGHT OF THE WALL TO ITS EXTENTS (I.E. ANY CAP UNITS OR COURSES BELOW GRADE INCLUDING FOOTINGS ARE EXCLUDED). WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURE DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THE WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED BY THE MUNICIPALITY PRIOR TO THEIR CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE FEATURES IN THE VICINITY OF THE WALL(S), SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGNS (BY OTHERS))
- ALL DISTURBED TOPSOIL ON THE SITE IS TO BE REDISTRIBUTED ON SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. REMOVAL OF TOPSOIL IS NOT ALLOWED, UNLESS OTHERWISE SPECIFIED BY THE SITE GEOTECHNICAL ENGINEER DUE TO THE SOIL'S UNSUITABILITY FOR PLACEMENT.

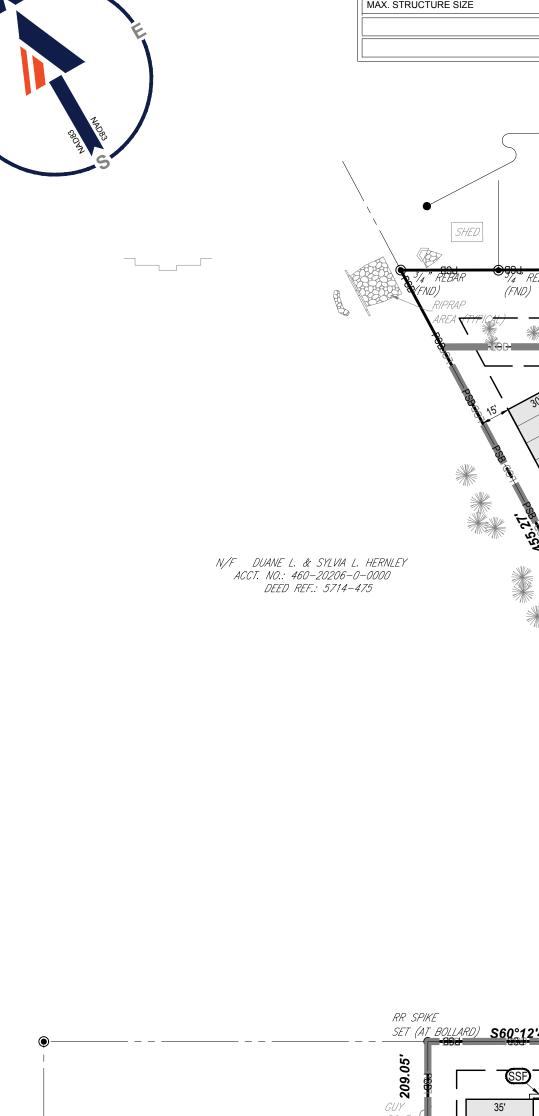
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M		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES	I RANSPOR I A LION SERVICES THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER
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	YOU MUST CA	www.patcall.org www.at's below. Call before you dig. PENNSYLVANIA LL 811 BEFORE ANY EXCAVAT s ON PRIVATE OR PUBLIC LAN 1-800-242-1776 www.patcall.org #XXXXXXXXX	
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	DRAWING IS IN AND APPROVA	TENDED FOR MUNICIPAL AND/OF	
	JECT No.:		
	=		-
DATE			MEL 1/02/2025 VL-CNDS
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DATE CAD PRO	I.D.: JECT: <b>RELII</b>	P-CI MINARY LA ELOPMEN PLANS	1/02/2025 VL-CNDS
DATE CAD PRO	EE I.D.: JECT: <b>RELII</b> <b>DEV</b>	P-CI MINARY LA ELOPMEN	1/02/2025 VL-CNDS
DATE CAD PRO	RELII DECT: DEV	P-CI WINARY LA ELOPMEN PLANS FOR FOR	ND T
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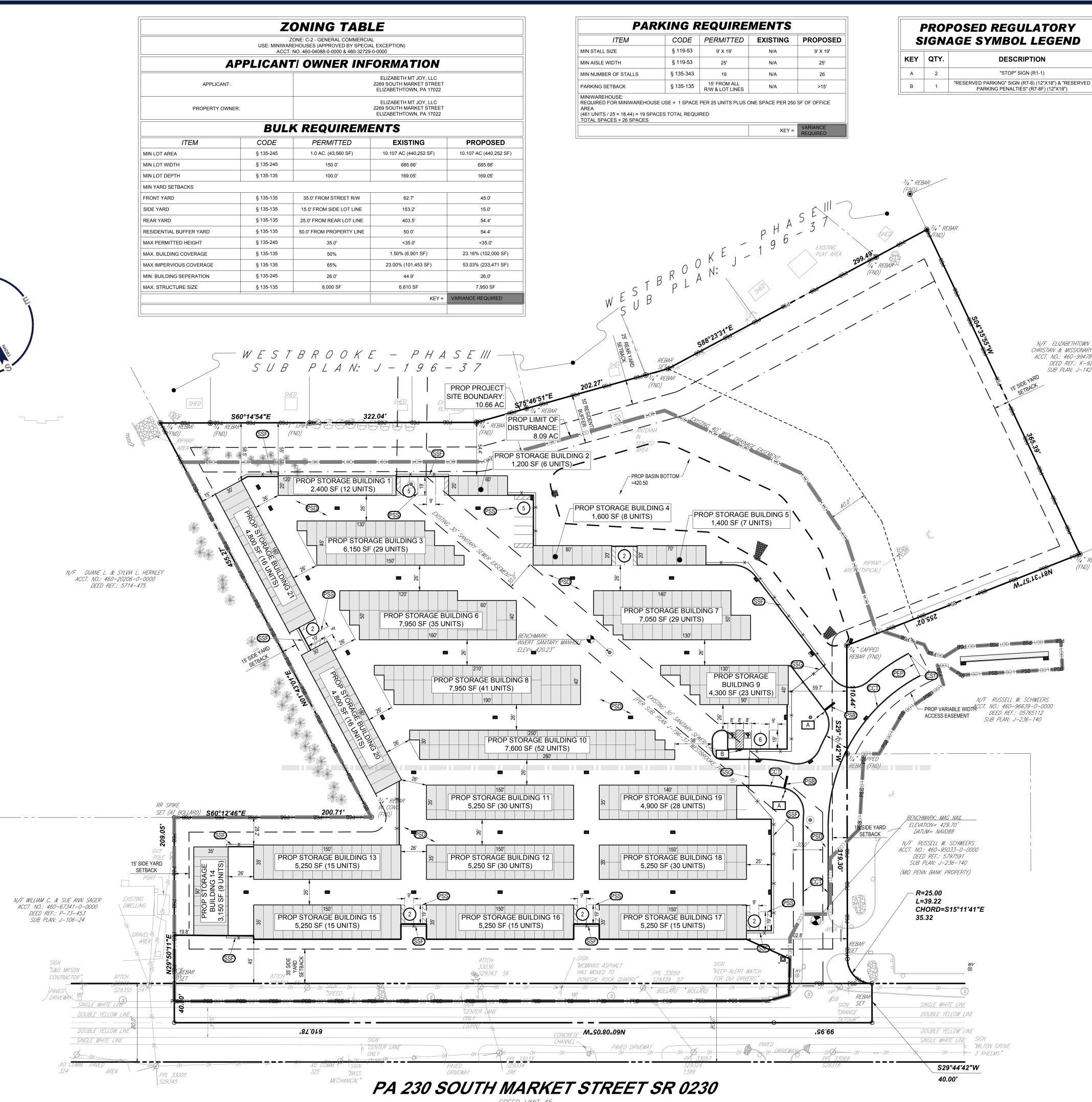


			BOBLERING ENGINEERING	LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES TRANSPORTATION SERVICES TRANSPORTATION SERVICES TRANSPORTER AND SEALED FLANS SHALL BUTLIZED FOR CONSTRUCTION PURPOSE AUTHORIZATION FROM BOHLER. ONLY APPROVED. SIGNLE AND SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES
			REV DATE	ISIONS COMMENT DRAWN BY CHECKED BY
OWN CHURCH DNARY ALLIANCE				
99478-0-0000 K-92-353 -142-72				
			Call PENN YOU MUST CALL 811 F WHETHER IT'S ON PI 1.800	rs below. before you dig. SYLVANIA BEFORE ANY EXCAVATION RIVATE OR PUBLIC LAND. 1-242-1176
419			NOT APPI	ROVED FOR RUCTION
REBAR SND)		DESCRIPTION	REVIEW AND APPROVAL. IT IS	POR MUNICIPAL AND/OR AGENCY NOT INTENDED AS A CONSTRUCTION S INDICATED OTHERWISE. PAA240089.00-0B JHT/SWB MEL 01/02/2025 P-CIVL-LDVP
	(TBA) (TBR) (TBV) (RELO)	TO BE ABANDONED TO BE REMOVED TO BE VACATED TO BE RELOCATED	DEVEL PL	NARY LAND OPMENT ANS
			ELIZABETH	NMARK MT JOY, LLC self storage
			TOWNSHIP LANCAST	MARKET STREET OF MOUNT JOY FER COUNTY H OF PENNSYLVANIA
			1600 MANOR CHALFOI Phone: Fax:	<b>LER</b> // DRIVE, SUITE 200 NT, PA 18914 (215) 996-9100 (215) 996-9102 Engineering.com
			PROFESSIO	EJRIKOV Malencineer ICENSE NS. PEO26400
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		D BE UTILIZED FOR I PURPOSES ONLY		201
	SC/	ALE: 1" = 50'		OF 40 TE - 01/02/2025



	USE: MINIWA	ZONE: C-2 - GENERAL COMMERCIA REHOUSES (APPROVED BY SPECIA	AL EXCEPTION)	
Δ		T. NO. 460-04088-0-0000 & 460-32729 TI OWNER INF		
APPLICANT:			ELIZABETH MT 2269 SOUTH MARK ELIZABETHTOWN	
PROPERTY OWNE	R:	ELIZABETH M 2269 SOUTH MAF ELIZABETHTOW		
	BUL	K REQUIREM	ENTS	
ITEM	CODE	PERMITTED	EXISTI	
MIN LOT AREA	§ 135-245	1.0 AC. (43,560 SF)	10.107 AC (440,	
MIN LOT WIDTH	§ 135-245	150.0'	685.66'	
MIN LOT DEPTH	§ 135-135	100.0'	169.05'	
MIN YARD SETBACKS				
FRONT YARD	§ 135-135	35.0' FROM STREET R/W	62.7'	
SIDE YARD	§ 135-135	15.0' FROM SIDE LOT LINE	153.2'	
REAR YARD	§ 135-135	25.0' FROM REAR LOT LINE	403.5'	
RESIDENTIAL BUFFER YARD	§ 135-135	50.0' FROM PROPERTY LINE	50.0'	
MAX PERMITTED HEIGHT	§ 135-245	35.0'	<35.0'	
MAX. BUILDING COVERAGE	§ 135-135	50%	1.50% (6,90	
MAX IMPERVIOUS COVERAGE	§ 135-135	65%	23.00% (101,4	
MIN. BUILDING SEPERATION	§ 135-245	26.0'	44.9'	
MAX. STRUCTURE SIZE	§ 135-135	8,000 SF	6,610 SF	







SPEED LIMIT 45

N/F ELIZABETHTOWN CHURCH CHRISTIAN & MISSIONARY ALLIANCE ACCT. NO.: 460–99478–0–0000

DEED REF.: K-92-353

SUB PLAN: J-142-72

## **PROPOSED FEATURE KEY**

LEGEND

- DESCRIPTION CCT TYPICAL CONCRETE CURB
- **PEP** EDGE OF PAVEMENT

KEY

- PSB PAINTED STOP BAR
- (STANDARD DUTY ASPHALT PAVEMENT PSS PAINTED STRIPING
- SSF SECURITY FENCE 6' HEIGHT
- SSG SECURITY GATE 6' HEIGHT



SHEET TITLE:

THIS PLAN TO BE UTILIZED FOR SITE

LAYOUT PURPOSES ONLY

SCALE: 1" = 50'

50 25 12.5 0



## SHEET NUMBER: **C-301** 6 OF 40

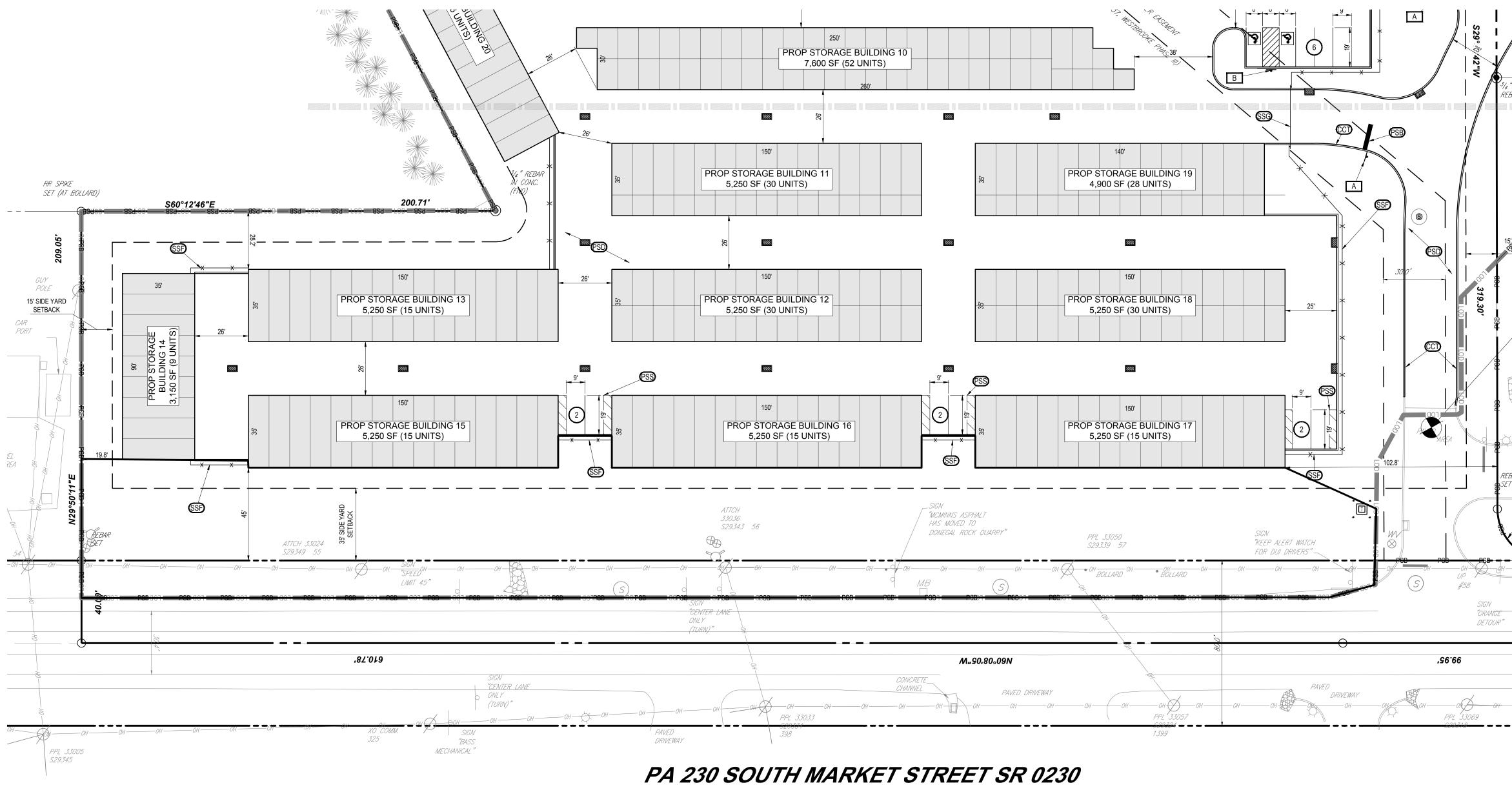
ORG. DATE - 01/02/2025

ZONING TABLE
ZONING TABLE
ZONE: C-2 - GENERAL COMMERCIAL
USE: MINIWAREHOUSES (APPROVED BY SPECIAL EXCEPTION)

ACCT. NO. 460-04088-0-0000 & 460-32729-0-0000 APPLICANT/ OWNER INFORMA

N		
N.	Sacran Managa	

APPLICANT: PROPERTY OWNER:		ELIZABETH MT JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022 ELIZABETH MT JOY, LLC 2269 SOUTH MARKET STREET ELIZABETHTOWN, PA 17022				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED		
MIN LOT AREA	§ 135-245	1.0 AC. (43,560 SF)	10.107 AC (440,252 SF)	10.107 AC (440,252 SF)		
MIN LOT WIDTH	§ 135-245	150.0'	685.66'	685.66'		
MIN LOT DEPTH	§ 135-135	100.0'	169.05'	169.05'		
MIN YARD SETBACKS		· · · · ·		1		
FRONT YARD	§ 135-135	35.0' FROM STREET R/W	62.7'	45.0'		
SIDE YARD	§ 135-135	15.0' FROM SIDE LOT LINE	153.2'	15.0'		
REAR YARD	§ 135-135	25.0' FROM REAR LOT LINE	403.5'	54.4'		
RESIDENTIAL BUFFER YARD	§ 135-135	50.0' FROM PROPERTY LINE	50.0'	54.4'		
MAX PERMITTED HEIGHT	§ 135-245	35.0'	<35.0'	<35.0'		
MAX. BUILDING COVERAGE	§ 135-135	50%	1.50% (6,901 SF)	23.16% (102,000 SF)		
MAX IMPERVIOUS COVERAGE	§ 135-135	65%	23.00% (101,453 SF)	53.03% (233,471 SF)		
MIN. BUILDING SEPERATION	§ 135-245	26.0'	44.9'	26.0'		
MAX. STRUCTURE SIZE	§ 135-135	8,000 SF	6,610 SF	7,950 SF		
			KEY =	VARIANCE REQUIRED		



TION	
T JOY, LLC RKET STREET	

PARKING REQUIREMENTS					
ITEM	CODE	PERMITTED	EXISTING	PROPOSED	
MIN STALL SIZE	§ 119-53	9' X 19'	N/A	9' X 19'	
MIN AISLE WIDTH	§ 119-53	25'	N/A	25'	
MIN NUMBER OF STALLS	§ 135-343	19	N/A	26	
PARKING SETBACK	§ 135-135	15' FROM ALL R/W & LOT LINES	N/A	>15'	
MINIWAREHOUSE: REQUIRED FOR MINIWAREHOUS AREA (461 UNITS / 25 = 18.44) = 19 SPAC TOTAL SPACES = 26 SPACES			ONE SPACE PER 250	SF OF OFFICE	
			KEY =	VARIANCE REQUIRED	

PROPOSED REGU SIGNAGE SYMBOL				
KEY	QTY.	DESCRI		

KEY	QTY.	DESCRI
Α	2	"STOP" SIG
В	1	"RESERVED PARKING" SIGN (R PARKING PENALTIES

## **MATCHLINE - SHEET C-303**

SPEED LIMIT 45

## JLATORY LEGEND

SIGN (R1-1) (R7-8) (12"X18") & "RESERVED ES" (R7-8F) (12"X18")

RFRAR

15' SIJE YARD SETBACK

REBAR SET

## **PROPOSED FEATURE KEY** LEGEND

BENCHMARK: MAG NAIL

ELEVATION= 429.70' DATUM= NAVD88

N/F RUSSELL W. SCHWEERS

ACCT. NO.: 460–95033–0–0000 DEED REF.: 5797591

SUB PLAN: J-236-140

(MID PENN BANK PROPERTY)

CHORD=S15°11'41"E

SINGLE WHITE LINE

DOUBLE YELLOW LINE

DOUBLE YELLOW LINE

S29°44'42"W

40.00'

SINGLE WHITE LINE

WV

SIGN

"MILTON GROVE

3 RHEEMS"

R=25.00

L=39.22

35.32

- KEY DESCRIPTION 
   CCT
   TYPICAL CONCRETE CURB
- EDGE OF PAVEMENT
- PSB PAINTED STOP BAR
- STANDARD DUTY ASPHALT PAVEMENT PSS PAINTED STRIPING
- SECURITY FENCE 6' HEIGHT
- SSG SECURITY GATE 6' HEIGHT



SHEET TITLE:



## SHEET NUMBER: **C-302** 7 OF 40

ORG. DATE - 01/02/2025

15 7.5 0 SCALE: 1" = 30'

THIS PLAN TO BE UTILIZED FOR SITE

LAYOUT PURPOSES ONLY

	Z	ONING TAB	LE	
	ZONE: C-2 - GENERAL COMMERCIAL USE: MINIWAREHOUSES (APPROVED BY SPECIAL EXCEPTION) ACCT. NO. 460-04088-0-0000 & 460-32729-0-0000			
AF	PPLICAN	TI OWNER INI	FORMA	
APPLICANT:		ELIZABETH M 2269 SOUTH MA ELIZABETHTO		
PROPERTY OWNER:		ELIZABETH M 2269 SOUTH MAI ELIZABETHTOV		
	BUL	K REQUIREM	ENTS	
ITEM	CODE	PERMITTED	EXIST	
MIN LOT AREA	§ 135-245	1.0 AC. (43,560 SF)	10.107 AC (44	
MIN LOT WIDTH	§ 135-245	150.0'	685.6	
MIN LOT DEPTH	§ 135-135	100.0' 169		
MIN YARD SETBACKS	1	1	1	
FRONT YARD	§ 135-135	35.0' FROM STREET R/W	62.7	

15.0' FROM SIDE LOT LINE

25.0' FROM REAR LOT LINE

50.0' FROM PROPERTY LINE

35.0'

50%

65%

26.0'

§ 135-135

§ 135-135

§ 135-135

§ 135-245

§ 135-135

§ 135-135

§ 135-245

SIDE YARD

REAR YARD

RESIDENTIAL BUFFER YARD

MAX PERMITTED HEIGHT

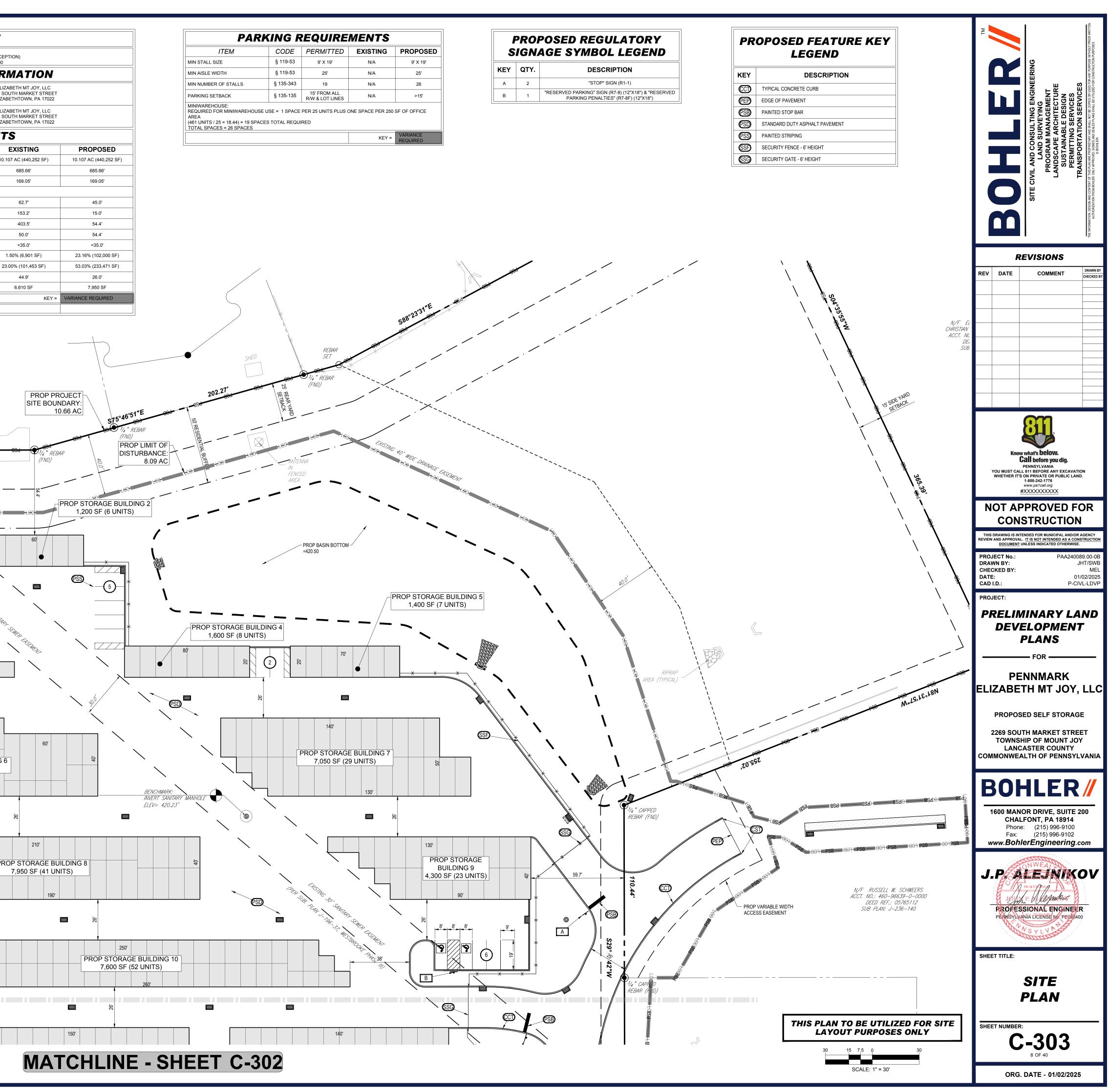
MAX. BUILDING COVERAGE

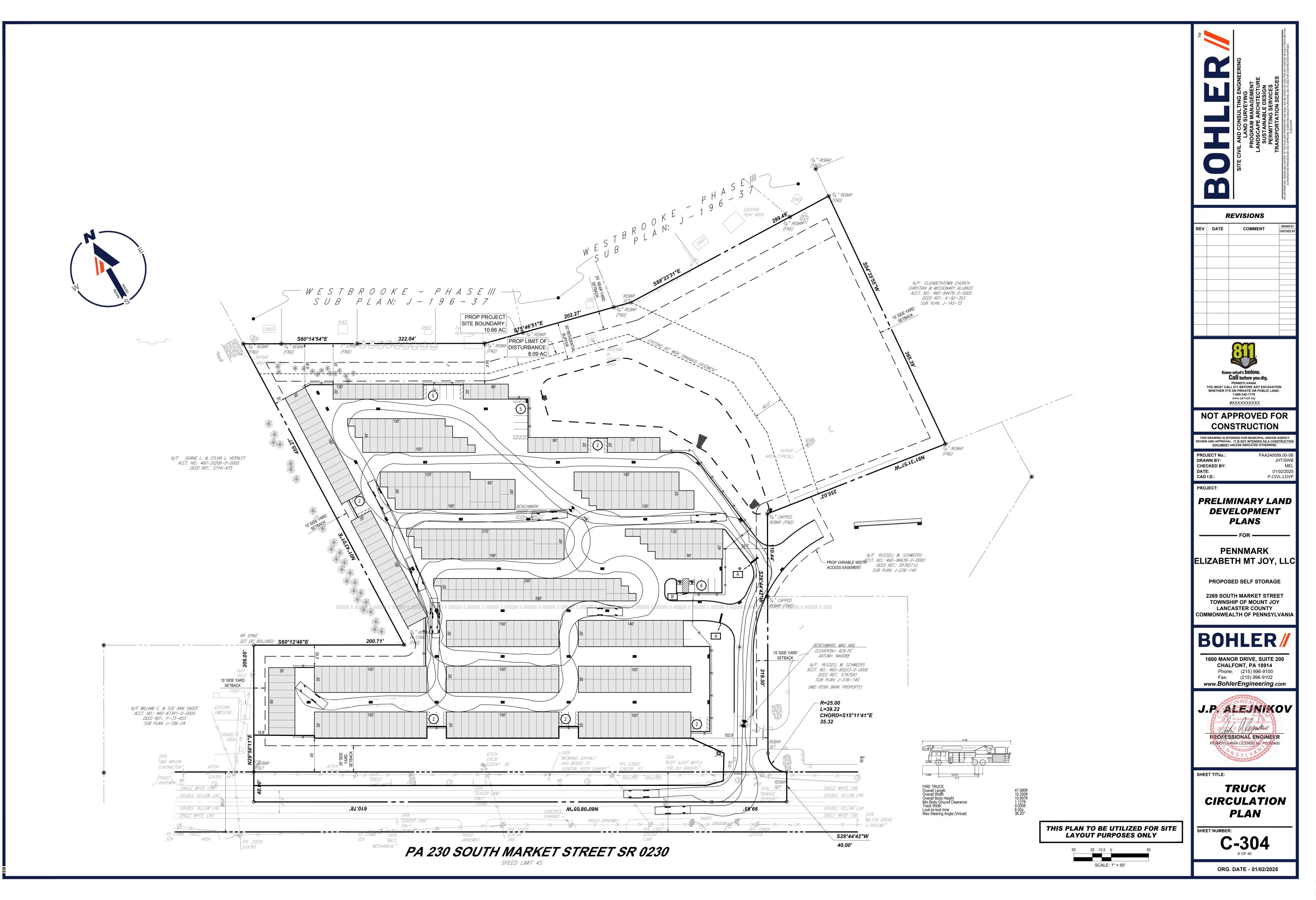
MAX IMPERVIOUS COVERAGE

MIN. BUILDING SEPERATION



			MIN. BUILDING SEPERATION MAX. STRUCTURE SIZE	§ 135-245 § 135-135	26.0' 8,000 SF	44.9' 6,610 SF
		W E S	STBROOK UBPLAN:	E – PH J – 190	' A S E /// 6 – 3 7	
						S
SHED	S60°14'54"E	SHED		SHED	EXISTING PLAY AR	
SPU, REBAR (FND) RIPRAP AREA (TYPICAL)		<u> </u>				
			EEB- LOB - LOB - LOB			H-001 H-00
A REAL PROPERTY OF A REA	26	50'	PROP STORAGE BUILDIN 2,400 SF (12 UNITS)		5 	52 29
	PROP		130'			
ΊLEY	A,800 SF (16 UNI)		6,15	ORAGE BUILDING 3 0 SF (29 UNITS)		
		3) XG 2.1		120'	56	
	A REAL PROVIDENCE OF A REAL PR			B PI	ROP STORAGE BUILDI 7,950 SF (35 UNITS)	
	15 SULE VARD SETER	CX 19	19 26		160'	
	15 SUE VAN					PROP STO 7,950 \$
		E S	PROP STORAGE BUILDING	26		
				26		
					26'	
						N





PAA240089.00\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\P-CIVL-LDVP-PAA240089.00-0B----->LAYOUT: C-304 TI

