FINAL LAND DEVELOPMENT PLAN

SHEETZ - ELIZABETHTOWN, PA (VETERANS DRIVE)

LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE 2.171 AC. (GROSS) THE LANCASTER COUNTY PLANNING COMMISSION, AS REQUIRED BY THE **EXISTING LAND USE:** RESTAURANT PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED REVIEWED THIS PLAN ON , 20 , AND A COPY OF THE REVIEW IS PROPOSED LAND USE: ON FILE AT THE OFFICE OF THE LANCASTER COUNTY PLANNING COMMISSION IN LCPC FILE NO. . THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE LANCASTER COUNTY PLANNING COMMISSION, AND THE COMMISSION DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT. ZONING: SPECIAL EXCEPTIONS: LOT AREA PLANNING COMMISSION FINAL PLAN APPROVAL CERTIFICATE 125 FT. MIN. (PER 135-268) LOT DEPTH: _, 20___, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS FRONT YARD: STORE: 35 FT. MIN. AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY PARKING: 15 FT. MIN. TOWNSHIP PLANNING COMMISSION FILE NO. BASED UPON ITS DUMPSTER: NOT ALLOWED N/A CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND REAR YARD: STORE: 25 FT. MIN. 25 FT. PARKING: 15 FT. MIN. 15 FT. DUMPSTER: 10 FT. MIN SIDE YARD: STORE: 15 FT. MIN. SIGNATURE OF THE CHAIRMAN AND VICE CHAIRMAN OR THEIR DESIGNEES PARKING: 10 FT. MIN. DUMPSTER: 10 FT. MIN. CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, BUILDING HEIGHT: PRINCIPAL: 20 FT. MIN AND OFFER OF DEDICATION 40 FT, MAX ACCESSORY: 20 FT. MAX. COMMONWEALTH OF PENNSYLVANIA COUNTY OF LANCASTER **BUILDING COVERAGE:** _____, 20_____, BEFORE ME, THE UNDERSIGNED IMPERVIOUS COVERAGE: 55.3% (52,285 SF) 65% MAX OFFICERS, PERSONALLY APPEARED ONE PARKING SPACE PER 200 SF OF GROSS FLOOR AREA PLUS ONE SPACE FOR EACH EMPLOYEE ON LARGEST SHIFT WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE TOTAL SPACES REQUIRED = ± 38 CORPORATION IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION **CERTIFICATION OF CARBONATE GEOLOGY** FURTHER ACKNOWLEDGES, THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE , CERTIFY THAT THE PROPOSED STORM WATER (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION"). MANAGEMENT BASIN IS NOT UNDERLAIN BY CARBONATE GEOLOGY. CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATE AND OFFER OF DEDICATION GIUSEPPE & VITA FERRARELLI 20 , THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS COMMONWEALTH OF PENNSYLVANIA APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FIL ON THIS, THE _____DAY OF _____, 20 ____, BEFORE ME, THE UNDERSIGNED BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT. OFFICERS, PERSONALLY APPEARED ____ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE. * SIGNATURES OF THE CHAIRMAN AND VICE CHAIRMAN OR THEIR DESIGNEES OWNER STORMWATER MANAGEMENT ACKNOWLEDGMENT THE STORMWATER MANAGEMENT FACILITIES ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE OWNER SIGNATURE **ELIZABETHTOWN REGIONAL SEWER AUTHORITY CERTIFICATE** STORMWATER MANAGEMENT PLAN CERTIFICATION THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY HEREBY CERTIFIES THAT: (A) THIS PLAN HAS BEEN APPROVED FOR, OR RESERVED CAPACITY FOR: 10 I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER EQUIVALENT DWELLING UNITS; MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN (B) THE AUTHORITY ENGINEER HAS APPROVED THE PROPOSED DESIGN AND CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT. (C) A SEWER EXTENSION / DEVELOPMENT AGREEMENT HAS BEEN EXECUTED; AND (D) SUFFICIENT FINANCIAL SECURITY HAS BEEN PROVIDED TO THE AUTHORITY TO FULLY COVER THE COSTS FOR CAPACITY AND INSTALLATION OF THE PLANNED BOARD CHAIRMAN'S SIGNATURE **CERTIFICATE OF ACCURACY - SURVEY** ALTERNATE AUTHORIZED OFFICIAL'S SIGNATURE I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY **ELIZABETHTOWN AREA WATER AUTHORITY CERTIFICATE** REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT. THE ELIZABETHTOWN AREA WATER AUTHORITY HEREBY CERTIFIES THAT: (A) THIS PLAN HAS BEEN APPROVED FOR, OR RESERVED CAPACITY FOR: 12.5 EQUIVALENT DWELLING UNITS; (B) THE AUTHORITY ENGINEER HAS APPROVED THE PROPOSED DESIGN AND (C) A WATER EXTENSION / DEVELOPMENT AGREEMENT HAS BEEN EXECUTED; AND (D) SUFFICIENT FINANCIAL SECURITY HAS BEEN PROVIDED TO THE AUTHORITY TO FULLY COVER THE COSTS FOR CAPACITY AND INSTALLATION OF THE PLANNED

SITE / ZONING DATA OWNER OF RECORD GIUSEPPE & VITA FERRARELLI 624 ROCKWOOD DRIVE ELIZABETHTOWN, PA 17022 CONVENIENCE STORE/RETAIL WITH FUELING STATION **EQUITABLE OWNER** PUBLIC - ELIZABETHTOWN REGIONAL SEWER AUTHORITY SHEETZ, INC. 5700 SIXTH AVE PUBLIC - ELIZABETHTOWN AREA WATER AUTHORITY ALTOONA, PA 16602 LANCASTER COUNTY CODE FUELING STATION ACCESSORY TO CONVENIENCE STORE (SECTION 135-268) DISTRICT 460 **SOURCE OF TITLE** LANCASTER COUNTY, PA 167 FT. TAX MAP NO.: 460-79623-0-0000 DEED REF.: 6008865 35 FT. SUBDIVISION PLAN BOOK 15 FT. 2011-0142-J 2013-0128-J

50 VETERANS DRIVE 10 FT. **SURVEY INFORMATION** 15 FT. BOUNDARY AND TOPOGRAPHY PROVIDED BY: 10 FT. 250 SOUTH SPRUCE STREET LITITZ, PA 17543 < 40 FT. (717)-626-0028 JOB NO.: 24125 **WETLANDS INFORMATION**

60.7% (57,372 SF)

FUELING STATION: 12 SPACES

WETLANDS DELINEATION PROVIDED BY: VORTEX ENVIRONMENTAL, INC. 2819-I WILLOW STREET PINK NORTH WILLOW STREET, PA 17584 TOTAL SPACES PROVIDED = ±41 (717)-509-2789

> **GEOLOGIC INFORMATION** GEOLOGY STUDY PROVIDED BY

ECS MID-ATLANTIC LLC 52-6 GRUMBACHER ROAD YORK, PA 17406 (717)-767-4788 DATE: 10-28-2024 JOB NO.: 18:6313-A

TRAFFIC INFORMATION TRAFFIC STUDY PROVIDED BY:

2 EAST MARKET STREET, SUITE 2 YORK, PA 17401-1206 (717)-846-4660 DATE: SEPTEMBER 2024 JOB NO.: 228.032.24

REOUESTED WAIVERS AND MODIFICATIONS

THE FOLLOWING MODIFICATIONS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE REQUESTED:

1. SECTION 119-31.A(1) - DRAFTING STANDARDS - PLAN SCALE

2. SECTION 119-52.K(4) - TANGENTIAL ARC OF LESS THAN 25' FOR ACCESS DRIVES INTERSECTING WITH A STREET

3. SECTION 119-52.S.3(D) - ACCESS DRIVE SEPARATION WITHIN 200' OF THE INTERSECTION OF TWO STREETS

3. SECTION 119-53.C(2)- VERTICAL AND HORIZONTAL CURB DIMENSIONS

THE FOLLOWING WAIVERS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND

LAND DEVELOPMENT ORDINANCE WERE REQUESTED: 1. SECTION 119-52.J.3.A - IMPROVEMENTS OF EXISTING STREETS AND

INTERSECTIONS, CURBING OF EXISTING STREETS

2. SECTION 119-53.B.1 - SIDEWALKS ALONG EXISTING STREETS ACTION:_____ DATE:____

3. SECTION 119-53.C.1 - VERTICAL CURBING FOR LANDSCAPED PORTIONS OF A PARKING FACILITY

THE FOLLOWING MODIFICATIONS OF THE MOUNT JOY TOWNSHIP STORMWATER

1. SECTION 113-32.2.C - LOADING RATIOS

2. SECTION 113-37.C - CONVEYANCE PIPE DIAMETER WITHIN VEHICULAR

3. SECTION 113-42.D - PLAN SCALE

CERTIFICATE OF ACCURACY - PLAN

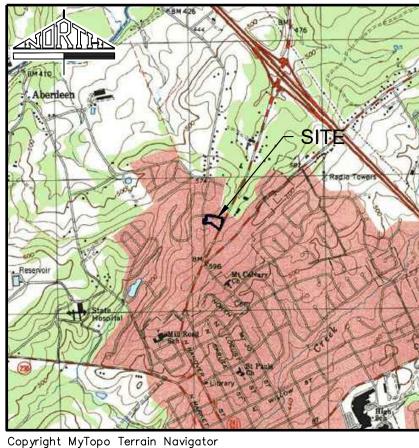
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY

CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

PRIOR ZONING DECISIONS

SPECIAL EXCEPTION - SECTION 135-143.D VEHICULAR FUELING STATIONS WITHIN THE MU MIXED-USE ZONE APPROVAL DATE NOVEMBER 6, 2024

VARIANCE - SECTION 135-383.B(7) 1-YEAR EXTENSION OF SPECIAL EXCEPTION USE APPROVAL APPROVAL DATE NOVEMBER 6, 2024



LOCATION MAP

PRIOR PLANS OF RECORD

DOCUMENT NUMBER 5844369-J PREPARED BY DC GOHN ASSOCIATES, INC. RECORDED MARCH 3, 2010

LOT LINE CHANGE PLAN FOR VITA DOCUMENT NUMBER J-2011-0142 PREPARED BY DC GOHN ASSOCIATES, INC. RECORDED JUNE 2, 2011

FINAL LAND DEVELOPMENT PLAN FOR VITA, INC. DOCUMENT NUMBER J-2013-0128 PREPARED BY DC GOHN ASSOCIATES, INC RECORDED JUNE 7, 2013

* ALL PLAN SHEETS TO BE RECORDED **EROSION AND SEDIMENT CONTROL PLAN RGS ASSOCIATES**

SW-29 PRE-DEVELOPMENT DRAINAGE AREA MAP

SW-30 POST-DEVELOPMENT DRAINAGE AREA MAP

SW-31 POST-DEVELOPMENT SUB DRAINAGE AREA MAP

DRAWING INDEX

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

LD-3 EXISTING CONDITIONS-DEMOLITION PLAN

LD-10 SEWER & ACCESS DRIVE PROFILES

SW-20 PCSM OVERALL EXISTING SITE PLAN

SW-22 PCSM OVERALL GRADING PLAN

LAND DEVELOPMENT PLAN

LD-2 GENERAL NOTES

LD-4 LAYOUT PLAN LD-5 EASEMENT PLAN LD-6 GRADING PLAN LD-7 UTILITY PLAN LD-8 LANDSCAPE DETAILS LD-9 LANDSCAPE PLAN

ID-11 SITE DETAILS LD-12 SITE DETAILS LD-13 SITE DETAILS

LD-14 SITE DETAILS LD-15 SITE DETAILS LD-16 SEWER DETAILS LD-17 WATER DETAILS

SW-18 COVER SHEET

SW-19 GENERAL NOTES

SW-21 PCSM EXISTING PLAN

SW-23 PCSM GRADING PLAN

SW-32 OFFSITE DISCHARGE MAP

SW-24 STORM PROFILES

SW-25 PCSM DETAILS

SW-26 PCSM DETAILS

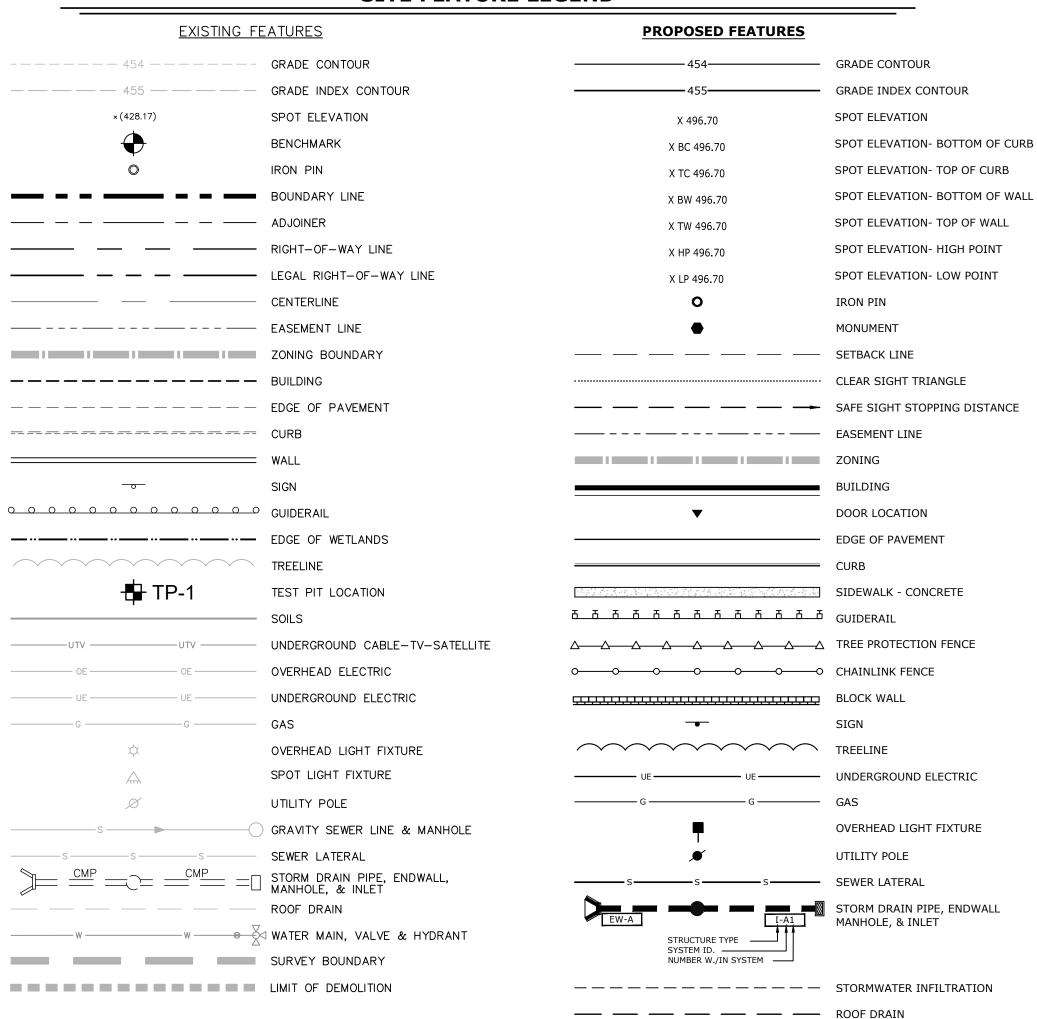
SW-27 PCSM DETAILS

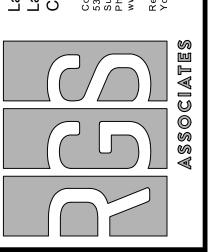
SW-28 PCSM DETAILS

LIGHTING PLAN RED LEONARD ASSOCIATES, INC.

LAST REVISED: 11/13/2024

SITE FEATURE LEGEND





PROJECT NO : 2024A84-0 CHRIS VENARCHICA MANAGER: SHEET NO. LD-1 of 32

——— w——— w——— WATER LATERAL

- (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988 2. BENCHMARK #2 IS LOCATED: MAG NAIL IN COUNTRY MEADOWS RESTAURANT PARKING LOT, 22.60' SOUTHWEST OF AN INLET ELEV. 572.87' (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988 3. BENCHMARK #3 IS LOCATED: CAPPED REBAR ON THE SOUTH SIDE OF VETERANS DRIVE, ELEV.
- 568.39' (SEE SHEET LD-3 FOR LOCATION). DATUM IS NAVD 1988 4. BOUNDARY AND TOPOGRAPHICAL INFORMATION PROVIDED BY TRIMBLE SURVEYORS PROJECT NAME: 50 VETERANS DRIVE, PROJECT NO.: 24125, DATED: 05/21/24.
- 5. THIS PROPERTY WAS SURVEYED USING THE CURRENT DEED OR DEEDS OF RECORDS AND WITH THE BENEFIT OF A "TITLE SEARCH." THE TITLE SEARCH WAS ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NCS-1204768-PITT, COMMITMENT DATE: JANUARY 11,
- 6. PERMANENT MONUMENTS AND LOT MARKERS SHALL BE SET UPON COMPLETION OF FINAL GRADING AT THE LOCATIONS TO BE SHOWN ON THE FINAL PLAN.
- 5. HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) PENNSYLVANIA STATE PLANE COORDINATES (SOUTH ZONE).
- 6. ANY ALTERATIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF RGS ASSOCIATES, INC.

CONTRACTOR NOTES

DIRECTED BY THE OWNER'S REPRESENTATIVE.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED
- EXISTING VEGETATION AND/OR OTHER SITE FEATURES WHICH ARE TO REMAIN. 3. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE
- 4. PRIOR TO BUILDING STAKEOUT, CONTRACTOR SHALL VERIFY DIMENSIONS SET FORTH ON LATEST ARCHITECTURAL PLANS. THE CONTRACTOR SHALL REVIEW ALL DOOR LOCATIONS AND POINTS-OF-ACCESS TO BUILDINGS SHOWN ON THIS PLAN AND CONFIRM THAT THE DOOR LOCATIONS MATCH THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO THE INSTALLATION OF CURB, SIDEWALK AND HANDICAP RAMPS. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE SITE PLAN AND ARCHITECTURAL DRAWINGS, RGS ASSOCIATES SHALL BE CONTACTED IMMEDIATELY.
- 5. ALL HANDICAP-ACCESSIBLE RAMPS, SIDEWALKS, AND PARKING SPACES MUST MEET ALL APPLICABLE ADA REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ADA COMPLIANCE PRIOR TO PLACEMENT OF PAVING OR CONCRETE
- 6. ALL CONSTRUCTION TO CONFORM TO THE MUNICIPAL AND PENNDOT STANDARDS AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING AND SHORING, IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. MAINTENANCE AND PROTECTION OF TRAFFIC ON EXISTING ROADS NEIGHBORING THE PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL MEP PLANS
- AND PROCEDURES SHALL BE IN ACCORDANCE WITH MUNICIPAL AND/OR PENNDOT STANDARDS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO RGS ASSOCIATES, INC. PRIOR TO CONSTRUCTION.
- 9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE RECORDS, AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION.
- 10. DIMENSIONS AND GEOMETRY SHOWN ON THIS PLAN SHALL BE VERIFIED DURING STAKE-OUT CALCULATIONS AND FIELD STAKE-OUT. 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON
- THESE PLANS, AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ALSO A MINIMUM SLOPE ON ALL UNPAVED AREAS. 12. CONTRACTOR SHALL SEQUENCE THE RELOCATION OF TELECOMM/ELECTRIC SERVICES TO MINIMIZE SERVICE INTERRUPTIONS TO EXISTING BUILDINGS. THE CONTRACTOR SHALL NOTIFY
- ALL POTENTIALLY IMPACTED PROPERTIES PRIOR TO CONSTRUCTION. 13. CROSSWALKS SHALL BE APPLIED ONTO THE FINAL WEARING COURSE AND SHALL BE PAINTED
- WITH TYPE I WHITE PAINT CONFORMING TO SECTION 962 OF PENNDOT PUBLICATION 408. 14. THE CONTRACTOR SHALL REFER TO PENNDOT PUBLICATION 111 FOR PAVEMENT MARKINGS AND
- SIGNAGE STANDARDS, UNLESS OTHERWISE REQUIRED BY THE MUNICIPALITY. 15. ANY PROPOSED SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP
- ZONING ORDINANCE. 16. CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. RGS ASSOCIATES, INC. MAKES NO GUARANTEE THAT THE EXISTING UTILITIES ARE EXACTLY AS
- 17. CONTRACTOR SHALL VERIFY THE FINAL EARTHWORK QUANTITIES TO THEIR SATISFACTION PRIOR TO THE COMMENCEMENT OF SITE WORK. RGS MAKES NO GUARANTEE THAT IN-SITU SOILS WILL BE SUITABLE FOR STRUCTURAL FILL, OR THAT THE EARTHWORK WILL BALANCE. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.
- 18. ALL DIMENSIONS IN AREAS OF PROPOSED CURBING ARE FROM FACE OF CURB TO FACE OF CURB 19. IN THE CASE OF DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON
- THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN. 20. FAILURE TO SPECIFICALLY IDENTIFY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM
- 21. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS. 22. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY APPURTENANCES AS NECESSARY TO
- MATCH PROPOSED GRADES, UNLESS OTHERWISE NOTED. 23. CURB AND PAVEMENT SHALL BE INSTALLED IN A MANNER AS TO ENSURE POSITIVE DRAINAGE IN ALL ARFAS
- 24. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH HORIZONTALLY AND VERTICALLY FROM THE EXISTING TO PROPOSED PAVING SECTIONS. 25. ALL LINSUITABLE MATERIAL WITHIN STRUCTURAL FILL AREAS MUST BE REMOVED AND REPLACED
- WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND/OR 26. GEOTECHNICAL RECOMMENDATIONS PRESENTED IN THE REPORT ENTITLED, "GEOTECHNICAL ENGINEERING REPORT FOR STORMWATER MANAGEMENT, SHEETZ ELIZABETHTOWN SWM",
- PREPARED BY ECS MID-ATLANTIC, LLC , SHALL BE STRICTLY FOLLOWED. ANY DEVIATION MUST BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. 27. WHERE IT IS NECESSARY TO CONNECT TO, OR EXTEND TO, EXISTING PAVING, SAW CUT THE EXISTING EDGE OF PAVEMENT AND MILL AND OVERLAY AT THE POINT OF TIE-IN TO ENSURE A
- SMOOTH TRANSITION AND POSITIVE DRAINAGE. 28. MODULAR BLOCK RETAINING WALLS SHOWN ON THESE PLANS ARE FOR ILLUSTRATIVE PURPOSES ONLY. STRUCTURAL COMPUTATIONS, DESIGN, CONSTRUCTION SPECIFICATIONS, AND APPLICABLE BUILDING PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE LAYOUT AND GRADING OF THE RETAINING WALLS ASSUMES NO STORM RUNOFF OVER THE TOP OF THE
- WALL. IF SITE CONDITIONS ARE NOT AS ASSUMED, CONTACT THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OF THE RETAINING WALL. 29. A GEOTECHNICAL ENGINEER OR OTHER TECHNICAL PROFESSIONAL SHALL BE PRESENT DURING
- THE CONSTRUCTION OF SLOPES EXCEEDING 3:1 FILL OR 2:1 CUT. 30. ALL ITEMS WHICH ARE REFERENCED AND NOT SPECIFICALLY DETAILED SHALL BE SELECTED BY
- THE OWNER OR OWNER'S REPRESENTATIVE. 31. A LICENSED PROFESSIONAL GEOLOGIST/GEOTECHNICAL ENGINEER, RGS ASSOCIATES AND THE MUNICIPALITY SHALL BE CONTACTED UPON THE DISCOVERY OF ANY SINKHOLES OR CARBONATE GEOLOGY FORMATIONS DURING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES. IF A SINKHOLE IS ENCOUNTERED WITHIN OR IMMEDIATELY ADJACENT TO THE PROPOSED STORMWATER MANAGEMENT FACILITIES, PRIOR TO OR DURING CONSTRUCTION, THE SINKHOLE
- SHOULD BE PROMPTLY REPAIRED UNDER THE DIRECTION OF A QUALIFIED GEOLOGIST OR GEOTECHNICAL ENGINEER. 32. THE CONTRACTOR SHALL VERIFY THAT THE SUBGRADE IS PREPARED IN ACCORDANCE WITH THE PROJECT'S GEO-TECHNICAL RECOMMENDATIONS.
- 33. THE CONTRACTOR SHALL VERIFY SUBSURFACE CONDITIONS TO HIS SATISFACTION PRIOR TO PLACEMENT OF CONCRETE OR ASPHALT, RGS ASSOCIATES MAKES NO GUARANTEE, WRITTEN OR IMPLIED, THAT THE SUBGRADE IS SUITABLE FOR DEVELOPMENT. RGS ASSOCIATES RECOMMENDS THAT ALL SUBGRADES BE INSPECTED BY A LICENSED PROFESSIONAL GEO-TECHNICAL ENGINEER
- PRIOR TO PLACEMENT OF PAVEMENTS. 34. THE ASPHALT PAVEMENT SECTIONS SHOWN ON THE PLANS MEET OR EXCEED THE MUNICIPAL STANDARDS. IT IS ASSUMED THAT THE SUBGRADE, MATERIALS, CONDITIONS AND CONSTRUCTION METHODS ARE IN ACCORDANCE WITH ALL MUNICIPAL AND/OR PENNDOT CONSTRUCTION STANDARDS.
- 35. THE ASPHALT PAVEMENT SECTIONS SHOWN ON THE PLANS MAY-NOT BE DESIGNED FOR CERTAIN LEVELS OF CONSTRUCTION RELATED TRAFFIC/EQUIPMENT. ADDITIONAL DEPTH OF STONE AND/OR ASPHALT BASE MAY BE REQUIRED TO SUPPORT CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ANALYSIS, MODIFICATIONS AND/OR REPAIRS FOR SUCH CHANGES AND ACTIVITIES.
- 36. RGS HAS NOT PROVIDED ANY STRUCTURAL DESIGN OF THE PAVEMENT CROSS SECTION OR DETERMINATION OF THE IN-SITU MATERIAL'S SUITABILITY AS A ROAD BASE. SUCH TESTING AND ANALYSIS IS THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION BEFORE THE PLACEMENT OF THE PAVING SECTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ANY REOUIRED STRUCTURAL TESTING OR CERTIFICATION FOR THE INSTALLED PAVEMENT TO THE OWNER AND/OR MUNICIPAL REPRESENTATIVE.
- 37. AT ALL TIMES DURING AND AFTER CONSTRUCTION, THE SUBBASE AND BASE OF THE PAVING SECTION SHALL BE FREE DRAINING. THE CONTRACTOR SHALL INSTALL UNDER DRAINS, IN ACCORDANCE WITH RC-30M, AT ALL LOCATIONS WHERE THE PAVEMENT BASE IS NOT FREE DRAINING OR SUSCEPTIBLE TO FREEZE/THAW DAMAGE. WATER SHALL NOT BE IMPOUNDED ADJACENT TO PAVEMENT.
- 38. THE CONTRACTOR MAY NOT BEGIN CONSTRUCTION UNTIL ALL REQUIRED PERMITS HAVE BEEN ISSUED BY THE CONSERVATION DISTRICT OR PA DEP. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY WITH RGS ASSOCIATES, PRIOR TO BEGINNING CONSTRUCTION, THAT THE MOST CURRENT APPROVED PLANS ARE BEING UTILIZED.
- 39. TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT

SHEETZ SPECIFIC NOTES

- I. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR VERIFYING ALL LOCAL AND STATE PERMITS
- REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION
- AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE
- SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT
- SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT
- REQUIREMENTS. 6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED
- WITH THE APPROPRIATE UTILITY COMPANY. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- UTILITY CONTACTS ARE LISTED ON THE SHEET LD-2, 9. EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO THE E&S PLAN FOR DETAILS.
- 10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY SHEETZ IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- 11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER. 12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING

DEMOLITION EQUIPMENT AROUND UTILITIES. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 &

- 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE
- CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS,
- PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE. IF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARE
- DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE. ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES 3:1 OR
- GREATER SHALL BE PERMANENTLY STABILIZED WITH VEGETATION. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT. API AREAS NOT PAVED SHALL BE TOP SOILED, SEEDED, SODDED, MULCHED AND/OR LANDSCAPED UNLESS
- OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY ECS MID-ATLANTIC, LLC PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY. 10. ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS ON THE PROJECT SURVEY AND SHALL BE FIELD
- VERIFIED BY THE CONTRACTOR AT GROUNDBREAKING. 11. ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS NOTED OTHERWISE. 12. CONTRACTOR SHALL REFERENCE DETAILED BUILDING PLANS FOR EXACT BUILDING DIMENSIONS, ELEVATIONS,
- AND UTILITY CONNECTION POINTS. 13. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT 14. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED
- STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY
- ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- ALL ANSLES ARE 90 DEGREES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C, ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE SHEETZ MAIN FREESTANDING SIGN WITH THE
- HEETZ CONSTRUCTION MANAGER. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY SHEETZ REPRESENTATIVE AND DESIGN ENGINEER OF AI DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AT THE PROJECT SITE. SEE DETAIL SHEETS FOR ADDITIONAL CONSTRUCTION INFORMATION.
- 10. CONTRACTOR SHALL NEATLY SAW-CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEET EXISTING PAVEMENT AND CONCRETE. STORMWATER MANAGEMENT NOTES
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS,
- PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND
- CONSTRAINTS OF THE SITE. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES
- AND UNDERGROUND STRUCTURES. CONTRACTOR SHALL COORDINATE FUEL ISLAND CANOPY DRAINS CONNECTION TO THE MAIN COLLECTOR PIPE WITH THE SHEETZ CONSTRUCTION MANAGER AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE
- CONNECTION TO THE MAIN COLLECTOR PIPE. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER PIPE, MANHOLES, AND INLETS TO THE SHEETZ CONSTRUCTION MANAGER FOR APPROVAL. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED
- TO THE OWNER UPON COMPLETION OF THE PROJECT. ALL STORM PIPE SHALL BE AS SPECIFIED. ALL JOINTS SHALL BE WATERTIGHT. ALL STORM STRUCTURES DIRECTLY DOWN GRADIENT OF THE FUEL PUMP PAD OR UNDERGROUND STORAGE
- TANKS SHALL HAVE A SUMP AND BMP FEATURE (FOR EXAMPLE 'SNOUT') INSTALLED ON THE OUTFLOW PIPE. 10. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. 11. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT
- INFORMATION. **UTILITY NOTES** ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RGS ASSOCIATES, INC., THE
- CURRENT REQUIREMENTS OF MOUNT JOY TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA ONE CALL AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES
- AND UNDERGROUND STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITY CONSTRUCTION UNLESS OTHERWISE COORDINATED REFOREHAND WITH SHEETZ.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE SHEETZ PROJECT STRUCTURES. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY
- COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- 10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET LD-2 11. CONDUIT LOCATIONS TO FREESTANDING SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ CONSTRUCTION MANAGER. 12. CONTRACTOR SHALL COORDINATE AND VERIFY WITH SHEETZ CONSTRUCTION MANAGER ON LOCATION AND
- SIZE OF THE STORE GREASE TRAP. GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED. 13. CONTRACTOR SHALL COORDINATE WITH SHEETZ CONSTRUCTION MANAGER AND SHEETZ IT DEPARTMENT ON
- THE CONDUIT ROLLTE TO STORE FOR TELE/COMMUNICATION SERVICES 14. CONTRACTOR SHALL ALSO COMPLY WITH 29 CFR 1926.651 & 1926.652 OR COMPARABLE OSHA APPROVED

INFORMATION

STATE PLAN REQUIREMENTS FOR TRENCHING AND EXCAVATION. 15. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT

UTILITY NOTES

- A. GENERAL NOTES SANITARY SEWER
- MINIMUM OF 3'-6"' OF COVER IS REQUIRED OVER ALL SEWER LINES. THE SEWER LATERAL SHALL BE CONSTRUCTED TO THE LINE AND GRADE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" PER THE
- AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN FIELD RECORDS OF THE LOCATION AND DEPTH OF ALL SANITARY SEWER LATERAL LOCATIONS, AND SHALL PROVIDE THIS INFORMATION TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS. A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN ALL WATER AND
- SEWER CROSSINGS. IF THIS CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASEMENT SHALL BE PROVIDED. ALL SANITARY SEWER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUNICIPAL SEWER AUTHORITY CONSTRUCTION SPECIFICATIONS. IT IS THE CONTRACTOR'S
- RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- 95% STANDARD PROCTOR FILL COMPACTION IS REQUIRED FOR ALL SANITARY SEWER FACILITIES LOCATED IN FILL MATERIAL. TESTING MUST BE IN ACCORDANCE WITH THE APPROPRIATE AASHTO AND ASTM STANDARDS
- ALL CLEANOUTS & SANITARY MANHOLES LOCATED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING TOPS.
- 7. A MINIMUM OF 0.1 FEET OF FALL SHALL BE PROVIDED THROUGH ALL SANITARY SEWER MANHOLES. 8. ALL SANITARY SEWERS SHALL BE CONSTRUCTED FROM SDR-35 PVC UNLESS OTHERWISE NOTED ON THE PLANS. IN AREAS WHERE COVER EXCEEDS 15 FEET, SDR-21 PVC SHALL BE USED FOR BOTH MAINS AND LATERALS.
- CONTRACTOR SHALL INSTALL A COMPLETE WATER SYSTEM TO INCLUDE THE SERVICE LATERAL (EXACT LOCATION AND SIZE TO BE DETERMINED BY MEP) IN CONFORMANCE WITH THE SPECIFICATIONS AND DETAILS OF THE MUNICIPAL AUTHORITY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND "RECORD DRAWINGS" PER AUTHORITY

- ALL WATER MAINS SHALL COMPLY WITH THE ELIZABETHTOWN AREA WATER AUTHORITY DESIGN AND CONSTRUCTION MANUAL SPECIFICATIONS UNLESS SPECIFIC WAIVERS HAVE BEEN GRANTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- 4. 95% FILL COMPACTION IS REQUIRED FOR ALL WATER DISTRIBUTION FACILITIES LOCATED IN FILL MATERIAL. THE CONSTRUCTION OF WATER AND SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH PA DEP REGULATIONS RELATED TO HORIZONTAL AND VERTICAL SEPARATION
- ALL WATER APPURTENANCES SHALL BE SET TO FINISHED GRADE, UNLESS OTHERWISE NOTED. IF A FIRE DEPARTMENT CONNECTION (FDC) IS REQUIRED FOR ANY BUILDING, THE FDC SHALL BE PLACED WITHIN A DISTANCE AS DETERMINED BY LOCAL, STATE AND FEDERAL REGULATIONS, PER NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODE, AS REVISED, IN COORDINATION WITH MUNICIPAL STAFF AND THE LOCAL FIRE DEPARTMENT. THE FIRE HYDRANT LOCATION(S) DEPICTED ON THE PLANS HAVE BEEN PLACED WITH THE BEST AVAILABLE INFORMATION AVAILABLE AT THIS TIME. HOWEVER, RELOCATION OR ADDITIONS OF THE FDC MAY CAUSE THE
- NEED TO RELOCATE FIRE HYDRANTS CUT, OR REMOVE ANY TREE, SHRUBBERY, FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT COULD REASONABLY INTERFERE WITH THE EFFICIENT, PROPER, AND SAFE ACCESS AND MAINTENANCE TO THE EASEMENT OR STRUCTURES THAT EXIST AT THE TIME OF THIS PLAN/AGREEMENT APPROVAL, AND EAWA SHALL HAVE NOT OBLIGATION TO CORRECT, REPLACE, REPLANT, RESTORE SUCH MATERIAL OR BE FINANCIALLY RESPONSIBLE FOR SAME.
- THE EQUITABLE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER
- MANAGEMENT FACILITIES TO ENSURE THEY ARE KEPT IN DESIGN CONDITION. THE STORMWATER COLLECTION AND CONVEYANCE SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH DESIGN STANDARDS AND SPECIFICATIONS IN PLACE AT THE TIME OF PLAN APPROVALS. RGS ASSUMES NO RESPONSIBILITY FOR CHANGES IN SPECIFICATIONS THAT MAY OCCUR AFTER PLAN APPROVAL THAT WOULD REQUIRE ALTERNATE MATERIALS OR INSTALLATION REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL CURRENT STANDARDS AND NOTIFY THE OWNER/DEVELOPER AND RGS ASSOCIATES OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION OF STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY AND COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS 4. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE
- MATERIAL SPECIFICATIONS, UNLESS OTHERWISE NOTED. EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONS OF THE FACILITY OR EASEMENT IN ANY WAY.
- WHERE ANY PART OF THE PROPOSED STORM DRAIN SYSTEM IS TO BE CONSTRUCTED WITHIN A FILL SECTION, THE CONTRACTOR SHALL COMPACT ALL SELECT FILL MATERIAL TO 95% OF ASTM D-698 (AASHTO T-99) WITH A MOISTURE CONTENT ± 3% OF OPTIMUM UP TO THE PIPE BEDDING. REFER TO THE "STORMWATER MANAGEMENT CONSTRUCTION SPECIFICATIONS" FOR A DESCRIPTION OF SELECT FILL MATERIAL

THE MUNICIPALITY WILL HAVE THE RIGHT TO ACCESS THROUGH EASEMENTS.

- 8. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR SLCPP/HDPEP PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- STORMDRAIN PIPES SHALL BE ADS (N-12) HDPE PIPE WITH ADS PRO-LINK ULTRA (IN-LINE BELL) PIPE JOINTS (FOR SOIL TIGHT CONNECTIONS) AND/OR ADS PRO-LINK WT (FOR WATER TIGHT CONNECTIONS). REFER TO PLAN AND PROFILES FOR MATERIALS USED.

2. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HDPE

PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S

- INSTALLATION REQUIREMENTS.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE. THE EXISTING UTILITIES SHOWN HAVE BEEN DETERMINED AND REFERENCED BASED UPON INFORMATION RECEIVED FROM THE UTILITY COMPANIES, SURVEYORS, VISITS TO THE SITE AND GENERAL BEST INFORMATION, TO THE BEST OF RGS ASSOCIATES' KNOWLEDGE, AT THE TIME OF DESIGN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 A MINIMUM OF 3 DAYS PRIOR TO EXCAVATING OR WITH CAREFUL EXPLORATORY WORK, AT THE CONTRACTOR'S RISK, PRIOR TO CONSTRUCTION FOR THOSE PRIVATE LINES WHICH ARE NOT ABLE TO BE LOCATED THROUGH THE ONE CALL PROCESS. IT MAY BECOME NECESSARY TO ADJUST THE PROPOSED UTILITY LOCATION IN THE FIELD TO RESOLVE ANY UTILITY CROSSING CONFLICTS WHICH MAY OCCUR. RGS ASSOCIATES SHALL BE NOTIFIED
- IMMEDIATELY IF ANY SUCH CONFLICTS ARE ENCOUNTERED. 4. ALL UTILITY ELEVATIONS ARE AT THE INVERT UNLESS OTHERWISE NOTED.

CONSTRUCTION SEQUENCE SCHEDULE

WETLAND NOTES

1. WETLANDS DELINEATED ON THE PLANS SHALL BE KEPT FREE OF STRUCTURES, FILL AND OTHER ENCROACHMENTS NO DISTURBANCE SHALL OCCUR WITHIN THE BOUNDARY OF THE WETLANDS 2. IN JUNE OF 2024 A PRELIMINARY WETLANDS INVESTIGATION WAS COMPLETED TO DETERMINE THE EXTENT OF WETLANDS PRESENT ON THE SITE WAS CONDUCTED BY VORTEX ENVIRONMENTAL INC. THERE IS ONE (1) "WATERS OF THE UNITED STATES AND COMMONWEALTH" EXISTING WITHIN THE 2.171 ACRE PROJECT SITE, INCLUDING THE SMALL EMERGENT WETLAND AREA (WETLAND 1) IN THE NORTHEASTERN CORNER OF THE PROJECT SITE.

EROSION AND SEDIMENT CONTROL NOTES

- THE MEASURES REQUIRED IN THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN SHALL APPLY AS IF SHOWN ON THIS PLAN. THESE MEASURES SHALL BE COMPLETED AND IN SERVICE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR CONSTRUCTION, PER THE SEQUENCE OF CONSTRUCTION OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL
- SOIL TYPES PRESENT ON THE SITE, PER THE SOIL SURVEY OF LANCASTER COUNTY, PENNSYLVANIA ARE AS FOLLOWS:

| NAME UNGERS EXTREMELY STONY LOAM UNGERS EXTREMELY STONY LOAM | SLOPE 3-8% 8-25% | HYDRO GROUP B B B |
|--|---|--|
| HOLLY SILT LOAM | 0-3% | B/D |
| | UNGERS EXTREMELY STONY LOAM UNGERS EXTREMELY STONY LOAM | UNGERS EXTREMELY STONY LOAM 3-8% UNGERS EXTREMELY STONY LOAM 8-25% |

PADOT/STREET NOTES

- 1. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE STREET OR DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT, AND THE PLANNING COMMISSION'S
- APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH PERMIT CAN BE ACQUIRED. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT DEEDS TO LOTS WHICH CONTAIN CLEAR SIGHT TRIANGLES AND LINE OF SIGHT EASEMENTS SHALL PROVIDE THAT NO STRUCTURE, PLANTINGS, OR GRADING SHALL BE ERECTED, INSTALLED, OR PERFORMED WITHIN THE AREA OF
- THE CLEAR SIGHT TRIANGLE WHICH WILL OBSCURE THE VISION OF MOTORISTS. DESIGN AND PLACEMENT OF TRAFFIC SIGNS SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN PADOT PUBLICATION 236, HANDBOOK OF APPROVED SIGNS, AND PADOT PUBLICATION 201, ENGINEERING AND TRAFFIC STUDIES.

- THE FINISHED FLOOR ELEVATIONS (FFE) SHOWN ON THE PLAN REPRESENT THE ELEVATION OF THE FIRST FLOOR INSIDE THE BUILDING.
- . THE CONTRACTOR AND/OR BUILDER SHALL CONFIRM ALL ELEVATION RELATIONSHIPS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE SUBMITTED TO RGS ASSOCIATES IMMEDIATELY.
- 3. ALL FINISHED FLOOR ELEVATIONS MUST BE SET A MINIMUM OF TWO (2) FEET ABOVE THE 100 YEAR WATER SURFACE ELEVATION OF ANY ADJACENT STORMWATER FACILITY.

MUNICIPAL SPECIFIC NOTES

- LIGHTING SHALL BE PROVIDED IN CONFORMANCE WITH SECTION 135-298, OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE AND SECTION 119-52.0 OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. ALL NONRESIDENTIAL SITE LIGHT SOURCES. AND RESIDENTIAL LIGHT SOURCES HIGHER THAN 12 FEET, SHALL BE DIRECTED AWAY FROM PUBLIC STREETS AND PRIVATE PROPERTIES. THE LAMPS SHALL BE SHIELDED IN AMANNER SO THAT THEY ARE NOT VISIBLE FROM THE ADJOINING PROPERTY. SENSOR-CONTROLLED LAMPS EXCEEDING 2,000 LUMENS (150-WATTS INCANDESCENT) SHALL HAVE CUTOFF-TYPE LUMINAIRES.
- THE MUNICIPALITY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE, AND NO ALTERATION TO SWALES, OR BASINS, OR PLACEMENT OF STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS LOT PINS AND MONUMENTS SHOWN ON THIS PLAN WHICH HAVE NOT BEEN INDICATED TO BE FOUND SHALL BE SET AT THE FINAL GRADE AS INDICATED ON THIS PLAN BY A PROFESSIONAL REGISTERED SURVEYOR. LOT PINS SHALL BE IRON PINS OR STEEL REBARS AT LEAST 30 INCHES
- LONG AND NOT LESS THAN 5/8 OF AN INCH IN DIAMETER. MONUMENTS ALONG STREET RIGHT-OF-WAYS SHALL BE CONCRETE OR STONE WITH A FLAT TOP HAVING A MINIMUM WIDTH OR DIAMETER OF FOUR INCHES AND A MINIMUM LENGTH OF 30 INCHES. CONCRETE MONUMENTS SHALL BE MARKED WITH A THREE-FOURTHS-INCH COPPER OR BRASS DOWEL OR DRILL HOLE; STONE MONUMENTS SHALL BE MARKED ON THE TOP WITH A DRILL HOLE.
- THE ACCESS DRIVES SHOWN ON THE PLAN ARE NOT OFFERED FOR DEDICATION TO THE TOWNSHIP.THE OWNER ASSUMES ALL RESPONSIBILITY FOR ITS MAINTENANCE AND REPAIR. NO STRUCTURES, LANDSCAPING OR GRADING MAY BE CONSTRUCTED, INSTALLED OR PERFORMED

UNDERGROUND UTILITY LINE PROTECTION ACT

WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF

- IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 73 P.S. 176. AS AMENDE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION
- 1. PURSUANT TO 73 P.S. 176(2), RGS ASSOCIATES, INC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM NOT LESS THAN TEN (10) NOR MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, IF SUCH INFORMATION WAS OBTAINED MORE THAN NINETY (90) DAYS EFORE FINAL DESIGN IS TO BE COMPLETED, RGS HAS STATED IN THE REQUEST THAT
- 2. PURSUANT TO 73 P.S. 176(3), RGS ASSOCIATES, INC. HAS SHOWN, UPON THESE DRAWINGS, THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY 73 P.S. 176(2), THE NAME OF THE FACILITY OWNER AND THE FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND
- 3. PURSUANT TO 73 P.S. 176(5), RGS ASSOCIATES, INC. HAS CALLED THE ONE CALL SYSTEM AND SHOWN AS PROOF, THE SERIAL NUMBER OF ONE CALL NOTICE AND THE TOLL-FREE NUMBER OF THE ONE CALL SYSTEM ON THE DRAWINGS NEAR THE SERIAL 4. IF, PURSUANT TO THE REQUIREMENTS OF 73 P.S. 176(2), RGS ASSOCIATES, INC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, RGS HAS INDICATED THAT THE REQUEST IS PRELIMINARY AND THE SERIAL NUMBER OF SAID
- REQUEST IS SHOWN ON THE DRAWINGS HEREIN. RGS ASSOCIATES, INC. DOES NOT REPRESENT, WARRANT, ASSURE OR GUARANTEE THAT HE INFORMATION RECEIVED PURSUANT TO THE ONE CALL SYSTEM REQUEST AND AS REFLECTED ON THESE DRAWINGS IS ACCURATE OR CORRECT. FURTHERMORE, RGS ASSOCIATES, INC. INCLUDES THE INFORMATION ONLY PURSUANT TO THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION ACT, AS AMENDED.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (SURVEY): 20240821542

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (FINAL): DATE: _____ BY: ____ PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (PRELIMINARY):

DATE: ______ BY: _____

DATE: <u>3-27-2024</u> BY: <u>JAB</u> SYSTEM, INC.

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING 1-800-242-1776 DAYS IN DESIGN STAGE - STOP CALL

GEOTECHNICAL NOTES

TOWNSHIP FOR APPROVAL

4. CONSTRUCTION RECOMMENDATIONS

- A. GENERAL RECOMMENDATIONS IF REDOXIMORPHIC FEATURES (SOIL MOTTLING AND COLORATION PATTERNS FORMED BY THE REDUCTION OF IRON AND/OR MANGANESE FROM SATURATED CONDITIONS IN THE SOIL) ARE 1.1. A QUALIFIED PROFESSIONAL SHOULD DETERMINE IF THE FEATURES OBSERVED ARE
- ASSOCIATED WITH A HISTORIC CONDITION (ASSOCIATED WITH FILL, PREVIOUS SITE CONDITION, OR NATURAL COLORATION) OR ARE ASSOCIATED WITH CONDITIONS THAT COULD PRESENTLY OCCUR (SEASONAL VARIATIONS IN THE WATER TABLE).
- 1.2. EVALUATE THE ELEVATION OF THE FEATURES RELATIVE TO THE PROPOSED DESIGN ELEVATION OF THE SWM FEATURE AND DETERMINE IF THE SIZE AND ELEVATION OF THE SWM
- FEATURE CAN BE ADJUSTED TO ALLEVIATE THE CONFLICT. 1.3. RETAIN ECS AND CIVIL ENGINEER TO EVALUATE ALTERNATE DESIGN CONCEPTS. ALTERNATE DESIGNS PROPOSED BY THE PROFESSIONAL SHOULD BE SEALED AND SUBMITTED TO THE
- IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY HIGH (GREATER THAN 6 INCHES PER HOUR) AND CATION EXCHANGE CAPACITY IS KNOWN:
- 2.1. DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING THE HIGH INFILTRATION RATES THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY TESTING, OR OTHER SUITABLE METHODS AS DETERMINED BY ECS.
- 2.2. OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST 2.3. IF EXCESSIVE RATES ARE ASSOCIATED WITH WEATHERED OR BROKEN ROCK, THE ROCK SURFACE SHOULD BE EXAMINED BY ECS. PRIOR TO REPLACEMENT OF SUITABLE MATERIAL 2.4. REPLACE THE EXCAVATED MATERIAL WITH FINER GRAINED MATERIALS APPROVED BY ECS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE

MATERIALS AVAILABLE TO THE CONTRACTOR GENERALLY CONFORMING TO THE TABLE

- BELOW, WITH FIELD INFILTRATION RATES POST PLACEMENT DETERMINED AND APPROVED BY 2.5. MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS. 2.6. IF MATERIAL REPLACEMENT IS REQUIRED IN STRUCTURAL AREAS (EX: BELOW-GRADE SWM FACILITIES IN PAVED AREAS), MATERIAL PLACEMENT SPECIFICATIONS, INCLUDING MATERIALS TYPE, MIX RATIO, COMPACTIVE EFFORT AND REQUIRED DENSITY SHOULD BE DETERMINED BY ECS. TECHNICAL RECOMMENDATIONS SHOULD BE SEALED BY ECS AND
- SUBMITTED TO THE TOWNSHIP FOR APPROVAL. IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY LOW (LESS THAN 0.1 IN/HR): 3.1. DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING THE LOW INFILTRATION RATES
- THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY TESTING, OR OTHER SUITABLE METHODS AS DETERMINED BY THE ECS. 3.2. OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A
- MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST. 3.3. IF BEDROCK IS ENCOUNTERED, THE ROCK SHOULD BE REMOVED TO A MINIMUM DEPTH OF 2 FEET BELOW THE BOTTOM OF BASIN AND SHOULD BE EXAMINED BY ECS, PRIOR TO REPLACEMENT OF SUITABLE MATERIAL.
- 3.4. REPLACE THE EXCAVATED MATERIAL WITH MORE COARSELY GRAINED MATERIALS APPROVED BY ECS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE MATERIALS AVAILABLE TO THE CONTRACTOR, AND SUBJECT TO TESTING AND APPROVAL OF
- 3.5. SUITABLE SOIL MIXTURES MAY CONSIST OF MATERIALS BLENDED BY VOLUME RATIOS AS DETERMINED BY ECS. 3.6. MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.

IT IS RECOMMENDED THAT VERIFICATION OF THE SUBGRADE CONDITIONS AT THE TIME OF CONSTRUCTION BE CONDUCTED BY AN AUTHORIZED ECS REPRESENTATIVE.

DURING EXCAVATION OF THE BASIN, THE MATERIALS AT THE BOTTOM OF BASIN SHOULD BE VERIFIED TO BE CONSISTENT WITH THOSE ENCOUNTERED IN THE EXPLORATION. PROPER PERFORMANCE OF INFILTRATION FACILITIES WILL BE INFLUENCED BY THE VARIABILITY IN THE SUBSURFACE. IT WILL BE IMPORTANT THAT CONSTRUCTION EQUIPMENT DOES NOT TRAFFIC ON THE MATERIALS AT THE INFILTRATION BED ELEVATION. AND THAT HAND PROBING ON AN APPROXIMATELY 25 FOOT GRID OR ISOLATED TEST PITS BE PROVIDED TO EVALUATE PROPER OFFSET DISTANCES FROM BEDROCK

WE RECOMMEND SWM FACILITIES BE LOCATED A MINIMUM OF 25 FEET FROM ADJACENT BUILDINGS. TAKEN FROM EDGE OF SWM FACILITY TO OUTSIDE OF FOOTING. THE ALLOWABLE BUFFER DISTANCE IS HIGHLY DEPENDENT ON SITE CONSTRAINTS INCLUDING BUT NOT LIMITED TO, FOUNDATION TYPE, SUBGRADE SOILS, GEOLOGY, STRUCTURAL LOADING, FOUNDATION BEARING ELEVATION, INVERT ELEVATION, AND GROUNDWATER. IF SITE CONSTRAINTS PROHIBIT THIS RECOMMENDATION, THE FACILITY MAY BE LOCATED CLOSER TO A BUILDING SUBJECT TO THE REVIEW AND APPROVAL OF ECS. IT IS IMPORTANT TO NOTE THAT THE CLOSE PROXIMITY OF BUILDINGS WILL GENERALLY NOT NEGATIVELY IMPACT THE FUNCTIONALITY OF THE STORMWATER FACILITIES, BUT WATER INFILTRATION AND A REDUCED BUFFER MAY NEGATIVELY AFFECT THE BEARING CAPACITY OF ADJACENT BUILDINGS.

THE CONTRACTOR SHALL PROBE THE VIRGIN SOIL BENEATH THE EXCAVATED BOTTOM OF EACH OF THE SUB-SURFACE STORMWATER MANAGEMENT FACILITIES TO VERIFY THAT A MINIMUM OF 24 INCHES IS PROVIDED TO THE LIMITING ZONE IN ACCORDANCE WITH APPENDIX C OF THE PA DEP

- STORMWATER BEST MANAGEMENT PRACTICES MANUAL. 2. IF A DEPTH OF 24 INCHES TO THE EXISTING BEDROCK IS NOT NATURALLY POSSIBLE, THE CONTRACTOR SHALL REMEDIATE THE MANTLE BELOW THE FACILITY IN ACCORDANCE WITH THE
- FOLLOW PROCEDURE: a.UNDER THE DIRECTION OF THE PROJECT GEO-TECHNICAL ENGINEER, THE CONTRACTOR SHALL OVER EXCAVATE THE BOTTOM OF THE FACILITY AN ADDITIONAL 24 INCHES. b. THE CONTRACTOR SHALL REMOVE ANY BEDROCK ENCOUNTERED WITHIN THE 24 INCHES. c. UNDER THE SUPERVISION AND DIRECTION OF THE PROJECT GEO-TECHNICAL ENGINEER. THE CONTRACTOR SHALL CONSTRUCT A SOIL MANTLE BETWEEN THE REMAINING BEDROCK AND

THE BOTTOM OF THE PROPOSED SUB-SURFACE STORMWATER MANAGEMENT FACILITY TO A

COMPANY: UGI UTILITIES INC

CONTACT: STEPHAN BATEMAN

EMAIL: SBATEMAN@UGI.COM

MIDDLETOWN, PA 17057

ADDRESS: 1301 AIP DRIVE

DEPTH OF 24 INCHES. 3. THE COMPOSITION, COMPACTION AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE

UTILITY LIST

COMPANY: FIRST ENERGY PENELEC COMPANY: LUMEN/CENTURYLINK ADDRESS: 200 TECHNOLOGY DRIVE ADDRESS: 21 S MAIN STREET PITTSBURGH, PA 15219 AKRON, OH 44308 CONTACT: CARA WARREN CONTACT: DAN SHENTO EMAIL: CARAWARREN@FIRSTENERGYCORP.COM EMAIL: DAN.SHENTO@LUMEN.COM COMPANY: MOUNT JOY TOWNSHIP LANCASTER COUNTY COMPANY: COMCAST ADDRESS: 339 BALTIMORE RD ADDRESS: 8853 ELIZABETHTOWN ROAD ELIZABETHTOWN, PA 17022 SHIPPENSBURG, PA 17257 CONTACT: WILLIAM MAYS CONTACT: KEN EBERSOLE EMAIL: WILLIAM_MAYS@CABLE.COMCAST.COM EMAIL: KEN@MTJOYTWP.ORG COMPANY: ELIZABETHTOWN AREA WATER AUTHORITY COMPANY: PPL ELECTRIC UTILITIES CORPORATION ADDRESS: 211 W HUMMELSTOWN STREET ADDRESS: 434 SUSQUEHANNA TRAIL ELIZABETHTOWN, PA 17022 NORTHUMBERLAND, PA 17857 CONTACT: DEL BECKER CONTACT: DOUG HAUPT DLHAUPT@PPLWEB.COM COMPANY: ELIZABETHTOWN REGIONAL SEWER AUTHORITY

114. The Board hereby grants the Applicant's special exception application for the Proposed Use pursuant to Sections 135-143.D, and the request for a variance from the time

a. Applicant shall apply for and gain approval of a Land Development Plan

of the Code of Ordinances of Mounty Joy Township for which relief has not been requested or granted herein.

Decision made this 6th day of November, 2024.

from the Mount Joy Township Planning Commission.

TOWNSHIP OF MOUNT JOY

MANAGER SHEET NO.

NOT FOR BID / NOT FOR CONSTRUCTION

NOVEMBER 22, 202 PROJECT NO 2024A84-0 CHRIS VENARCHIC

WITH THE RECOMMENDATIONS OF THE PROJECT GEO-TECHNICAL ENGINEER.

ADDRESS: 235 ERSA DRIVE ELIZABETHTOWN, PA 17022 CONTACT: STEVEN RETTEW STEVE@ERSAPA.COM

SPECIAL EXCEPTION AND VARIANCE DECISION

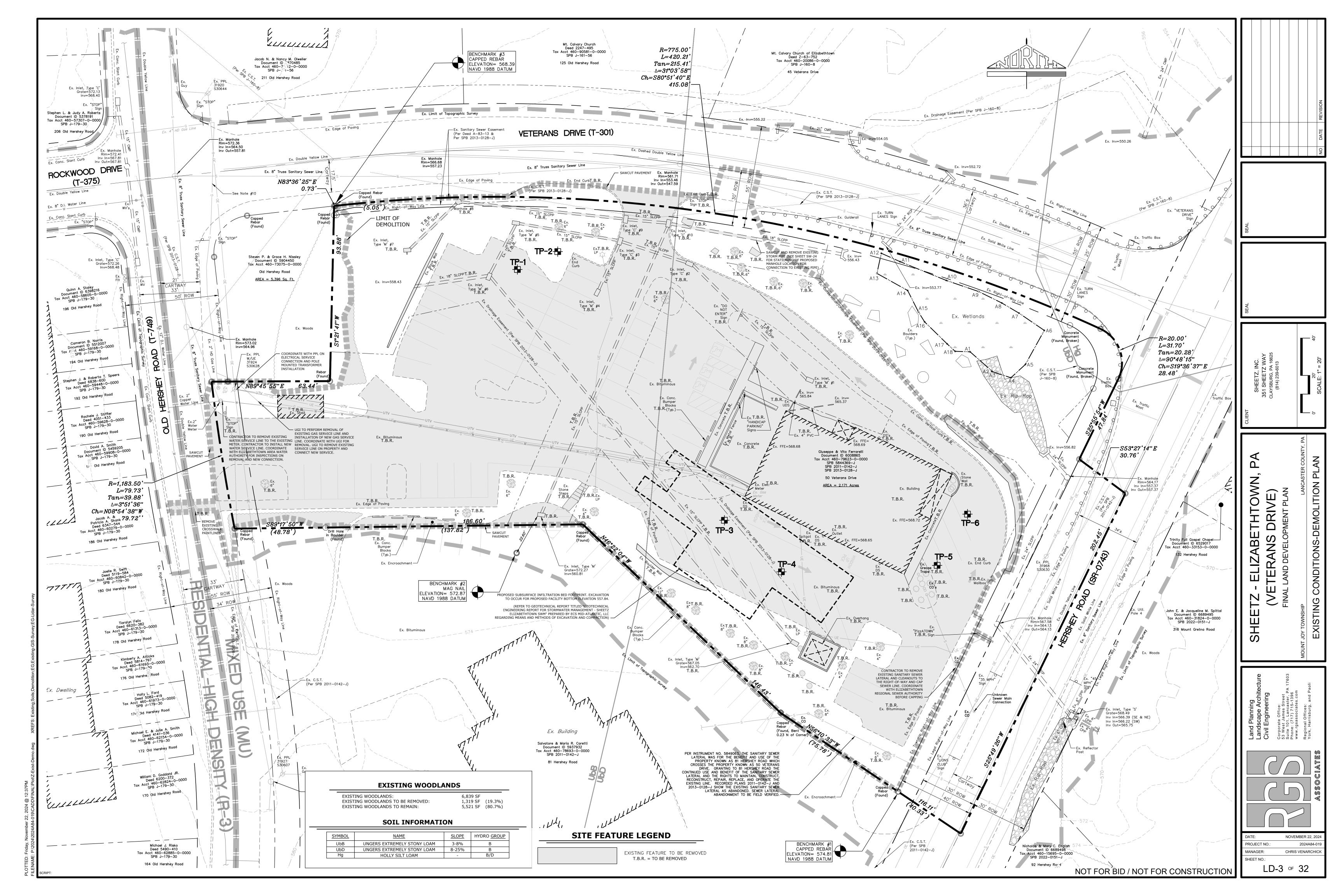
limits in Section 135-383.B(7), subject to the following reasonable conditions:

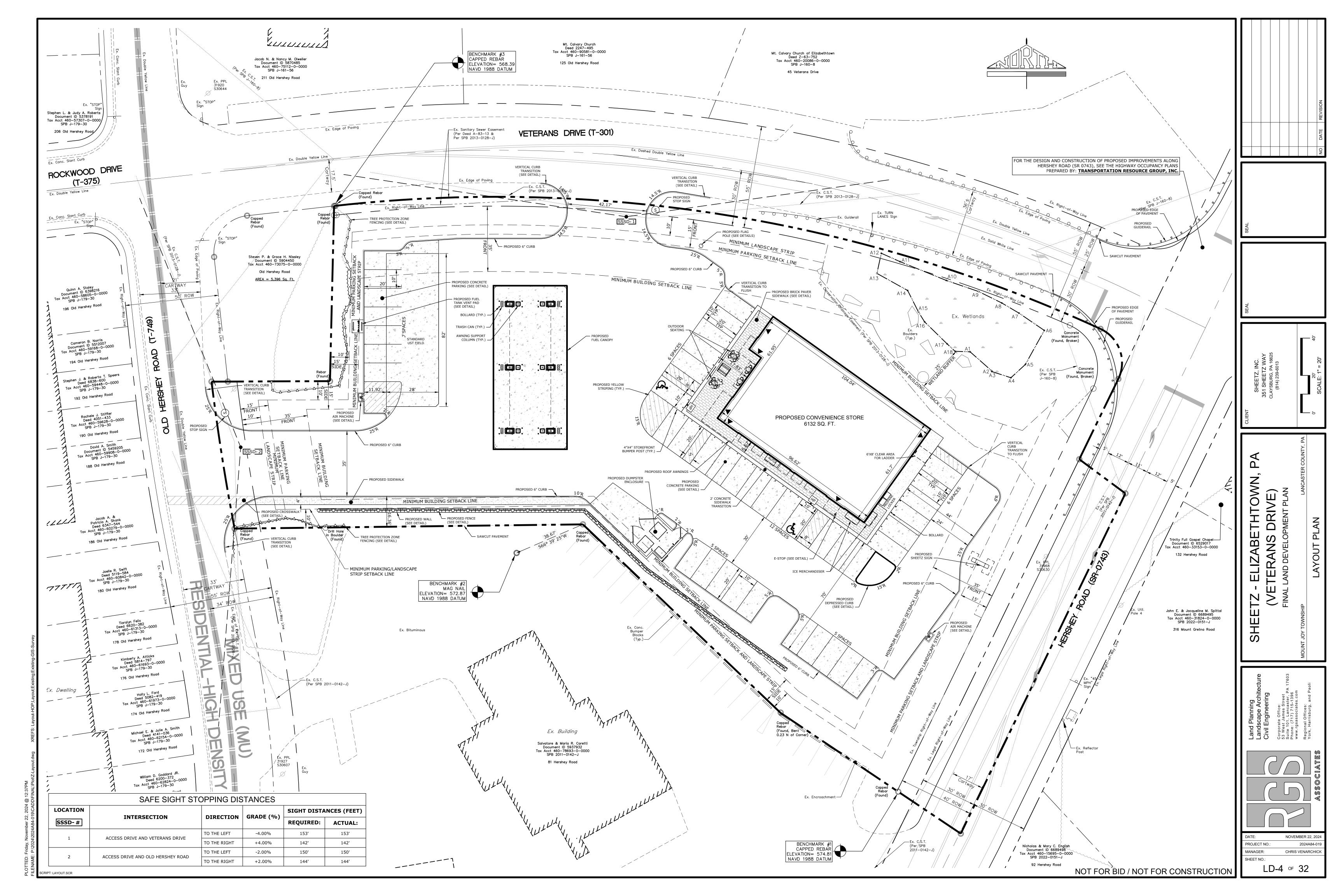
b. Applicant shall comply with all other provisions contained in Chapter 135

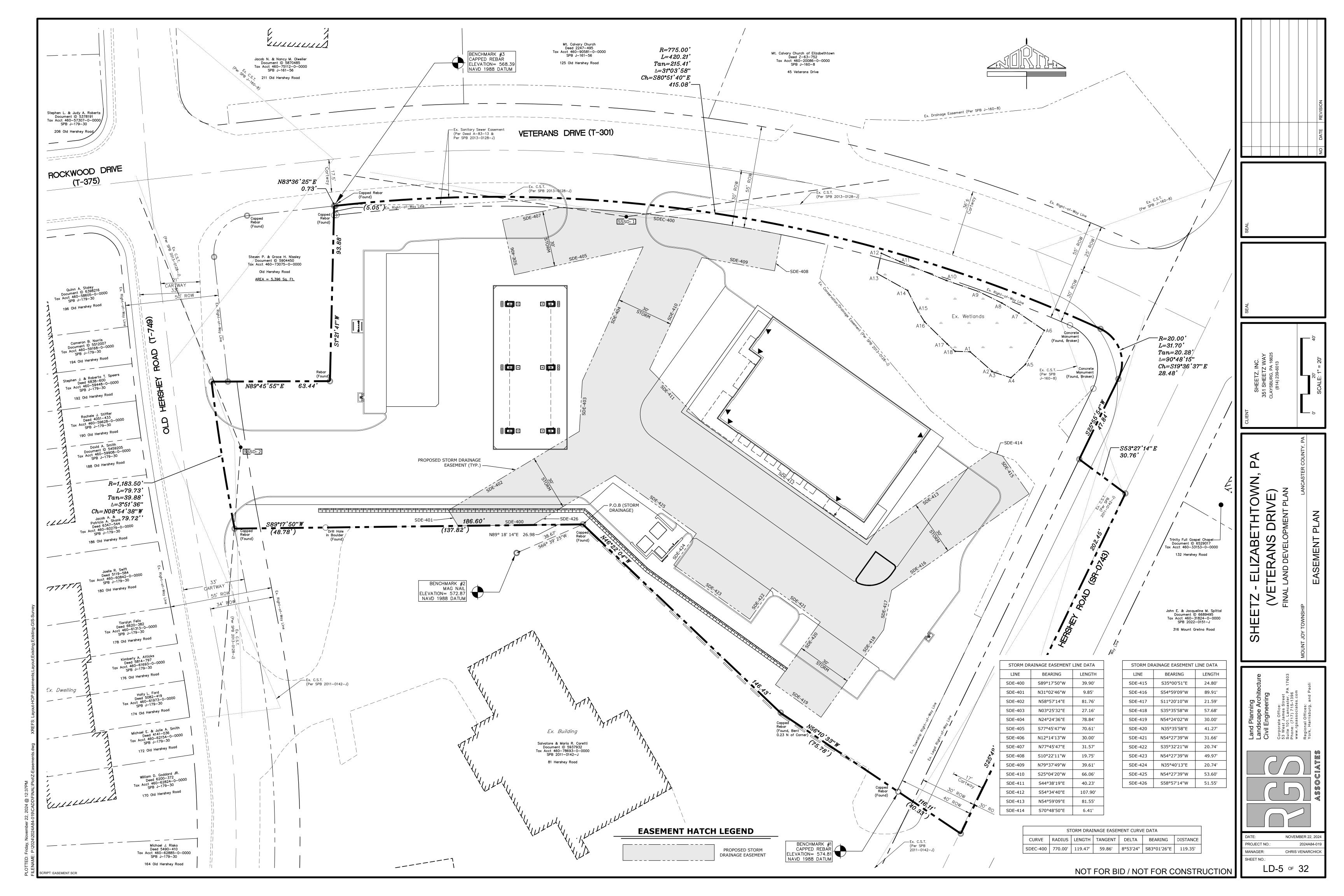
c. Applicant and any representatives of Applicant shall comply with and adhere to the testimony and any evidence presented to the Board at the Hearing held on October 2, 2024, except to the extent modified by conditions imposed by the Board herein.

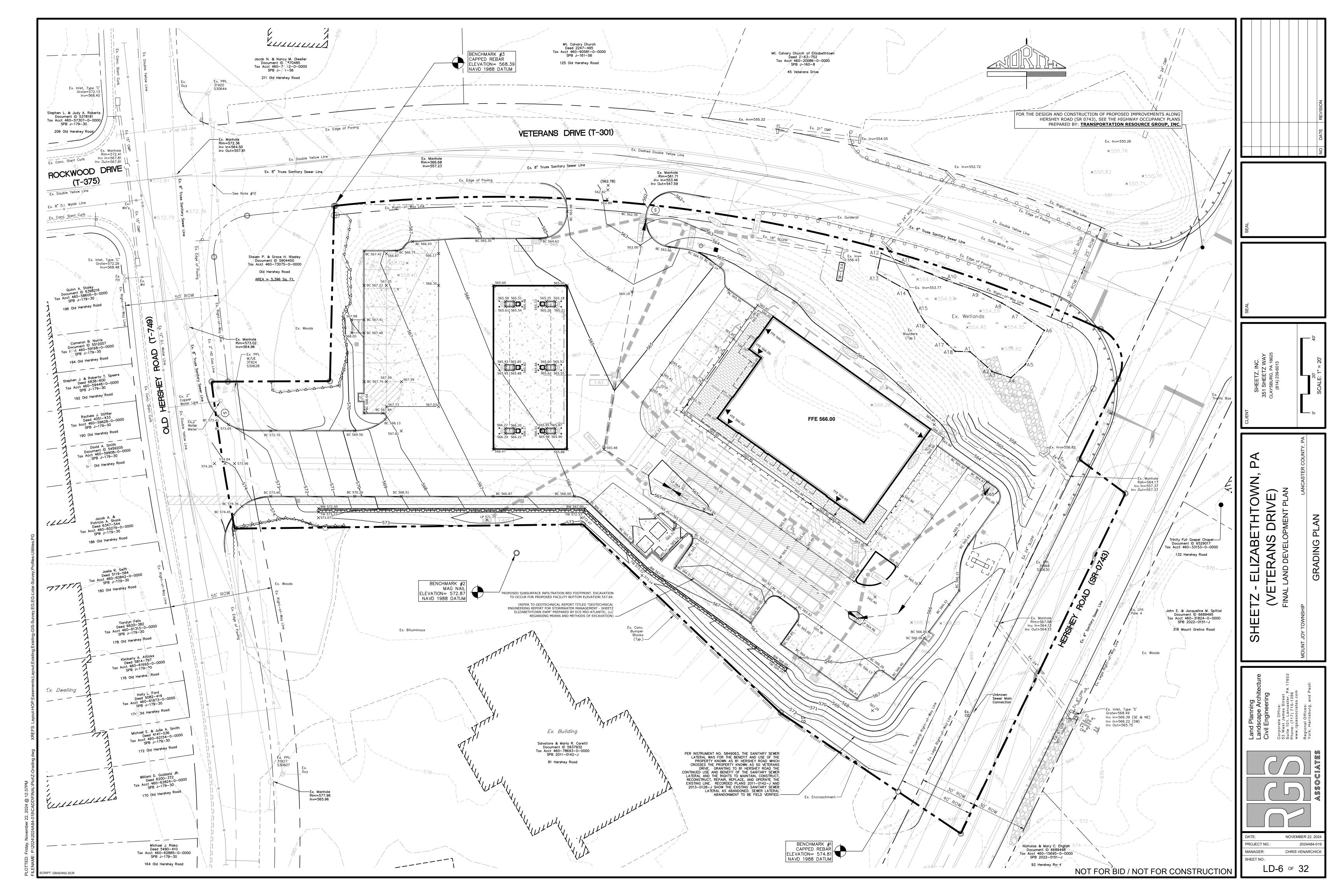
ZONING HEARING BOARD FOR THE

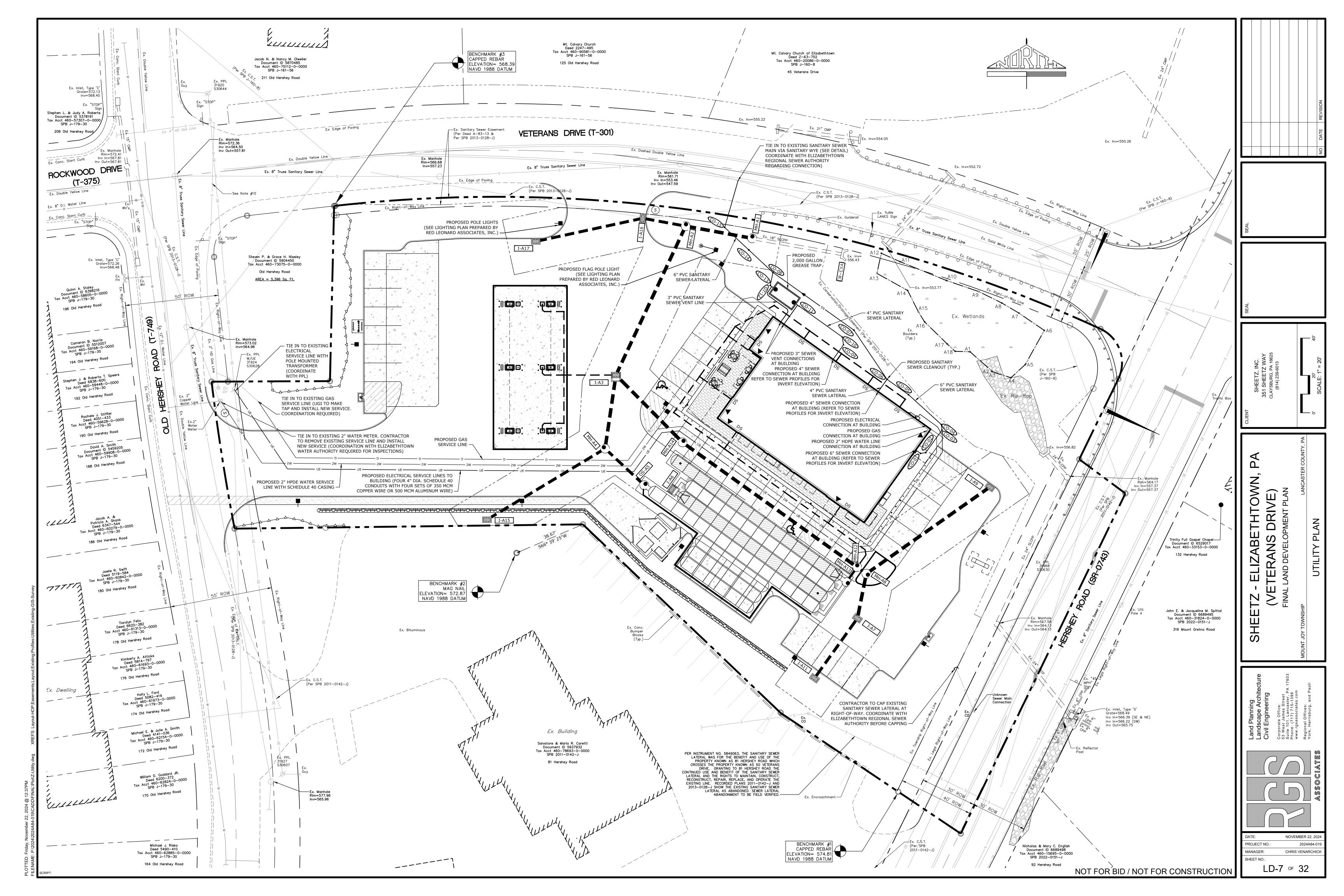
LD-2 of 32











- CONTRACTOR SHALL CONTACT PA ONE CALL (8-1-1), AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIALS.
- 2. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY PLANTING, AND SHALL FIFLD-ADJUST THE LOCATIONS OF TREES AND SHRUBS, IF NECESSARY, TO AVOID ANY CONFLICT WITH THESE UTILITIES. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY PROPOSED DESIGN CHANGES.
- THIS PLAN IS FOR PLANTING INFORMATION ONLY. REFER TO GRADING, UTILITY, SITE LAYOUT AND
- SEDIMENT EROSION CONTROL PLANS FOR ALL RELATED INFORMATION. 4. ALL PLANTS AND SHRUBS SHALL BE AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE
- DETAILS AND COMMENTS NOTED ON THESE DRAWINGS. 5. ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OR REJECTION BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIALS INSTALLED WITHOUT PRIOR APPROVAL ARE SUBJECT TO REPLACEMENT BY THE CONTRACTOR AT HIS/HER EXPENSE IF DETERMINED TO BE UNSATISFACTORY. REJECTED PLANT MATERIALS SHALL BE REMOVED IMMEDIATELY FROM THE PROJECT SITE.
- 6. PROPOSED LOCATIONS OF ALL NON-HERBACEOUS PLANT MATERIALS AND PLANTING BED OUTLINES SHALL BE STAKED AND OUTLINED IN THE FIELD BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS, AND SHALL REPORT ANY IDENTIFIED DISCREPANCIES TO THE LANDSCAPE ARCHITECT. IF SITE WORK HAS BEEN MODIFIED AND DIFFERS FROM INFORMATION SHOWN ON THE APPROVED PLANS, AND POTENTIAL CHANGES TO THE PLANTING DESIGN ARE NECESSARY, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS.
- 8. PROCEED WITH WORK ONLY WHEN PRESENT AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING WITHOUT EXCESSIVE SOIL COMPACTION AND/OR UNNECESSARY PLANT DAMAGE. 9. PLANT TREES, SHRUBS, AND OTHER PLANT MATERIALS AFTER FINISHED GRADES ARE ESTABLISHED,
- AND BEFORE PLANTING ANY TURF AREAS UNLESS OTHERWISE INDICATED. 10. THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOIL IS PLACED OR PLANTING BEGINS TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE PLANTED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEOUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- REMOVE ANY EXCESS SOIL FROM PLANT ROOT FLARES. IF PRESENT. 12. LANDSCAPE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN WORKING IN AREAS OF EXISTING VEGETATION THAT IS TO REMAIN AND TO BE PROTECTED. IF SUCH VEGETATION IS INJURED OR DESTROYED DURING CONSTRUCTION, IT SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH PLANTS OF A SIZE AND SPECIES AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SUCH REPLACEMENT SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- 13. PLANT QUANTITIES NOTED ON THE PLANT LIST SHOULD MATCH THE PLANT SYMBOLS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLANT MATERIAL BASED UPON GRAPHIC SYMBOL OUANTITIES AND SHALL CONTACT THE LANDSCAPE ARCHITECT IF A DIFFERENCE IS
- FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE DRAWING SYMBOLS. 14. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. 15. THE TOP OF THE MAIN ROOT ORDER ROOT (FIRST LARGE SET OF ROOTS THAT DIVIDE FROM THE
- TRUNK) SHALL BE PLANTED NO LOWER THAN ONE OR TWO INCHES INTO THE SOIL.
- ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
- 2. ALL PLANTS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY, AND VIGOROUS. THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT 3. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE
- 4. REQUIREMENTS FOR PLANT MEASUREMENTS, BRANCHING, GRADING, QUALITY, AND BALLING AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS AS RECOMMENDED BY THE AMERICAN
- ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, AS AMENDED. DO NOT PRUNE TO ATTAIN REQUIRED SIZES. IF FORMAL PLANTING ARRANGEMENTS OR A CONSISTENT ORDER OF PLANTS IS INDICATED ON THE DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.
- 6. ALL STREET TREES AND SCREENING PLANT MATERIALS SHALL BE INSTALLED DURING THE FIRST PLANTING SEASON FOLLOWING COMPLETION OF OTHER SITE WORK.
- 7. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS PRIOR TO THE BEGINNING OF THE GUARANTEE PERIOD BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING, AND WEEDING TO KEEP THE COMPLETED WORK AND/OR UNCOMPLETED WORK IN A CLEAN AND NEAT CONDITION AT ALL TIMES.
- ALL MATERIAL SHALL BE GUARANTEED BY INSTALLER FOR THE DURATION OF 18 MONTHS FOLLOWING
- THE DATE OF PLANTING, OR 12 MONTHS AFTER THE FINAL INSPECTION AND ACCEPTANCE OF WORK. WHICHEVER IS GREATER. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD. NO MORE THAN 1/3 OF THE TREE OR SHRUB SHALL BE DAMAGED OR DEAD WITHOUT REPLACEMENT.
- REPLACEMENT PLANTS SHALL CONFORM TO ALL REQUIREMENTS OF THIS SECTION AND SHALL BE MAINTAINED AFTER REPLANTING FOR AN ADDITIONAL 18 MONTHS THE CONTRACTOR SHALL GUARANTEE THAT PLANTS SHALL BE IN VIGOROUS AND THRIVING
- CONDITION AT THE END OF THE GUARANTEE PERIOD. SHOULD ANY PLANTS APPEAR TO BE IN POOR HEALTH OR LACK NORMAL GROWTH HABIT, AS DETERMINED BY THE LANDSCAPE ARCHITECT, THEY SHALL BE REMOVED AT ONCE AND REPLACED. DURING THE TIME BETWEEN THE INSTALLATION OF PLANTS AND THE BEGINNING OF THE GUARANTEE
- PERIOD, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SUPERINTENDENCE OF THE PLANTINGS. SHOULD ANY PLANT BE STOLEN OR OTHERWISE REMOVED. ANY SUCH PLANT SHALL BE REPLACED BY THE CONTRACTOR. THE GUARANTEE PERIOD WILL BEGIN WHEN ALL PLANTS ARE NSTALLED AS SHOWN AND SPECIFIED IN THESE PLANS
- 5. WITHIN THE GUARANTEE PERIOD, THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY MAINTENANCE PRACTICES BEING FOLLOWED OR OMITTED WHICH WOULD BE DETRIMENTAL TO THE HEALTHY VIGOROUS GROWING CONDITIONS OF PLANTS.
- 6. INSPECTION TO DETERMINE WORK COMPLETION FOR BEGINNING THE ONE-YEAR GUARANTEE PERIOD WILL BE MADE BY THE OWNER AND LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH INSPECTION SUBMITTED BY THE CONTRACTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE AFTER INSPECTION, THE CONTRACTOR WILL BE NOTIFIED OF ANY DEFICIENCIES TO BE CORRECTED.
- 8. IF DEFICIENCIES ARE NOTED, A SECOND INSPECTION TO DETERMINE WORK COMPLETION FOR BEGINNING THE ONE-YEAR GUARANTEE PERIOD WILL BE MADE BY THE OWNER AND LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH INSPECTION SUBMITTED BY THE CONTRACTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE. . ONCE ANY AND ALL DEFICIENCIES ARE ADDRESSED, THE CONTRACTOR WILL BE NOTIFIED OF THE DATE THAT THE WORK HAS BEEN APPROVED FOR BEGINNING THE GUARANTEE PERIOD.
- 10. ONE-YEAR FROM THE FROM THE START OF THE PLANT GUARANTEE PERIOD, OR 18 MONTHS AFTER PLANTING, WHICHEVER IS GREATER, THE CONTRACTOR, OWNER AND LANDSCAPE ARCHITECT WILL INSPECT THE SITE TO LOCATE ANY PLANTS THAT ARE NOT IN A VIGOROUS AND THRIVING CONDITION, A SITE INSPECTION REPORT WILL BE ISSUED TO THE CONTRACTOR. THE CONTRACTOR WILL HAVE 30 DAYS TO REPLACE ANY PLANTS IDENTIFIED AS FAILING THE GUARANTEE STANDARD.

NOTES IN THIS SECTION APPLY TO ALL PLANTING AREAS OTHER THAN LANDSCAPED PCSM BMPS. SOIL

THE SUBJECT SOIL.

PREPARATION REOUIREMENTS FOR PCSM BMPS CAN BE FOUND ON SHEET #####. PRIOR TO PLANTING, THE LANDSCAPE CONTRACTOR SHALL OBTAIN, AND FORWARD TO THE LANDSCAPE ARCHITECT. SOIL AGRONOMY TESTING REPORTS FROM AN APPROVED SOILS LABORATORY SUCH AS THE PENNSYLVANIA STATE UNIVERSITY'S AGRICULTURAL ANALYTICAL SERVICES LABORATORY. TESTS SHALL BE COMPLETED FOR EACH EXISTING SOIL TYPE AND FOR EACH BATCH OF IMPORTED TOPSOIL. TESTS TO INCLUDE SOIL FERTILITY, PARTICLE SIZE, SAND SEIVE ANALYSIS ORGANIC MATTER AND SOLUBLE SALTS. CONTRACTOR TO REQUEST SOIL AMENDMENT

RECOMMENDATIONS FOR EACH CATEGORY OF TURF AND/OR LANDSCAPE PLANT TO BE INSTALLED IN

- 3. ALL SOIL AMENDMENTS SHALL BE INSTALLED PER THE SOIL AGRONOMY REPORT, AND SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
- 4. PERENNIAL, ANNUAL AND BULB PLANTING AREAS SHALL HAVE AMENDED SOILS AS FOLLOWS
 - FOR EACH 100 S.F. AREA: 6 CU. FT. OF CLEAN COMPOST
- 5-6 LBS. MILORGANITE OR EQUAL 2-3 LBS. OF 0-20-20 FERTILIZER
- AGRIFORM 20-10-5 PLANTING TABLETS OR EQUIVALENT SHALL BE USED FOR ALL TREE AND SHRUB PLANTINGS PER THE MANUFACTURER'S SPECIFICATIONS. TABLETS ARE NOT A REPLACEMENT FOR AMENDMENTS REQUIRED BY THE SOIL AGRONOMY TEST RESULTS.
- 6. APPLY AMENDMENTS ON-SITE, AND MIX SOIL TO FULLY ADDRESS ALL EXISTING SOIL DEFICIENCIES. DO NOT APPLY AMENDMENTS NOR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR **EXCESSIVELY WET**
- . LANDSCAPE PLANTING AREAS SHALL BE FREE OF ANY DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE RUBBLE, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE TAR, ROOFING COMPOUND, ACID, AND STONES LARGER THAN 3" IN ANY DIRECTION
- 8. TOPSOIL SHALL BE PLACED AT A MINIMUM DEPTH OF 6". 9. IN ALL PLANTING AREAS, IF INSUFFICIENT TOPSOIL IS PRESENT PRIOR TO PLANTING, THE SITE CONTRACTOR SHALL PROVIDE AND PLACE THE REQUIRED TOPSOIL AT THE LANDSCAPE CONTRACTOR'S REQUEST. THE TOPSOIL SHALL BE ROUGH GRADED BY THE SITE CONTRACTOR AND FINISH GRADED BY THE LANDSCAPE CONTRACTOR.
- 10. CONTRACTOR SHALL KILL OFF ANY EXISTING TURF AND UNWANTED VEGETATION WITHIN PROPOSED BED LIMITS. COMPLETE REMOVAL OF TURF BY MEANS OF A SOD CUTTER OR SCUFFING IS AN ACCEPTABLE ALTERNATIVE METHOD TO HERBICIDE APPLICATION. IF HERBICIDE IS NOT USED, THE CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING PLANT ROOTS.

- THE CONTRACTOR MAY APPLY A PRE-EMERGENT HERBICIDE PER THE MANUFACTURERS SPECIFICATIONS TO THE ENTIRE PLANTING BED FOR CONTROL OF WEED GERMINATION. 2. A LAYER OF 3" THICK DOUBLE SHREDDED HARDWOOD MULCH DYED BROWN OR BLACK SHALL BE
- MULCH SHALL NOT COVER THE CROWNS OF ANY HERBACEOUS PLANTS, NOR THE ROOT FLARES OF ANY WOODY PLANTS PLACE "DEWITT 15 YEAR WEED BARRIER" WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL PLANTED BEDS AND AT EACH TREE RING.

APPLIED ACROSS THE ENTIRE PLANTING BED AREA UNLESS OTHERWISE INDICATED ON THE PLAN.

- GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULING FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
- TURFGRASS SOD SHALL COMPLY WITH 'SPECIFICATIONS FOR TURFGRASS SOD MATERIALS' IN TPI GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING. TURFGRASS SOD SHALL BE A VIABLE SOD OF UNIFORM DENSITY, COLOR, AND TEXTURE. IT SHALL BE STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT
- RECOMMENDED TIME OF TURFGRASS SEEDING IS SEPTEMBER 1ST TO OCTOBER 15TH. WHERE SPRING SEEDINGS ARE NECESSARY, SEED NO LATER THAN APRIL 1ST FOR BEST RESULTS. SOW RECOMMENDED SEED MIXTURE ADAPTED TO USE IN CLIMATIC CONDITIONS OF THE SPECIFIC SITE AREA. . PRIOR TO SEEDING AND/OR SODDING, REMOVE ANY EXISTING VEGETATION FROM PROPOSED LAWN
- EXCESS DEAD VEGETATION SHOULD BE TURNED UNDER, IF THE SITE IS NOT TOO WET FOR TILLING WITHOUT EXCESSIVE SOIL COMPACTION.
- . IF TOPSOIL HAS BEEN DEPLETED OR REMOVED IN THE AREA TO BE SEEDED OR SODDED, PROVIDE SOIL AMENDMENTS PER THE SOIL AGRONOMY REPORT. DIVIDE TOTAL SEED QUANTITY INTO TWO EQUAL LOTS, SOWING ONE LOT IN ONE DIRECTION, AND
- THE SECOND LOT AT RIGHT ANGLES TO THE FIRST WITH A MECHANICAL SEEDER OR SPREADER. EXTRA CARE SHALL BE TAKEN TO FLIMINATE DEPRESSIONS OR AIR POCKETS BY ROLLING OF TAMPING LAWN BASE BEFORE INSTALLATION. ALL SOD MUST BE DELIVERED AND INSTALLED WITHIN 36 HOURS OF BEING CUT. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE WITH STAGGERED JOINTS. IMMEDIATELY AFTER INSTALLATION, THE SOD SHALL BE WATERED TO A DEPTH OF 4" INTO THE SOIL.
- 10. MULCHING WITH STRAW HYDROMULCH OR FIBER MATS IS RECOMMENDED TO PROTECT SEED FROM DRYING OUT OR WASHING AWAY. HEAVY MULCHES SHOULD BE REMOVED FROM THE AREA WITHIN A FEW DAYS AFTER SEED GERMINATION.

1. BOUNDARIES OF NEWLY SEEDED AREAS SHALL BE WELL DEFINED WITH SIGNS OR OTHER MARKERS

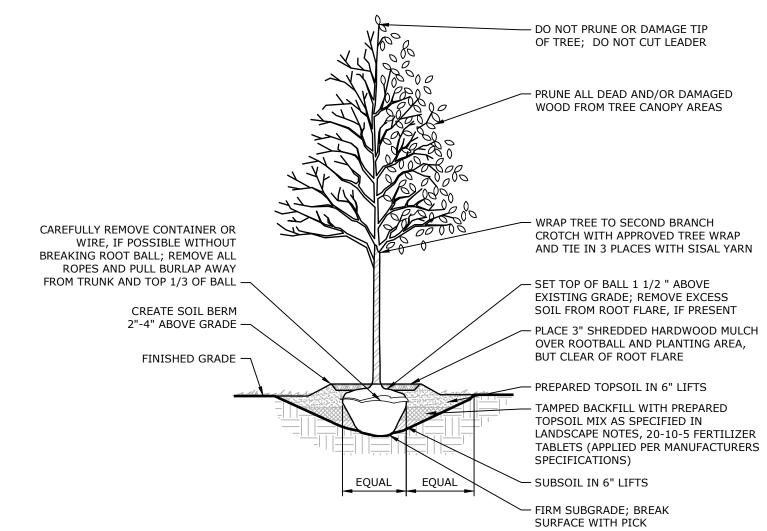
- TO DETER INTRUSION UNTIL LAWN AREAS ARE FULLY ESTABLISHED. 12 CONTRACTOR IS RESPONSIBLE FOR TURE MAINTENANCE LINTIL SATISFACTORY TURE IS ESTABLISHED AS DETERMINED BY THE LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF, ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND
- INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION. a. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER
- PROCESSES. REPLACE MATERIALS AND TURF DAMAGED OR LOST IN AREAS OF SUBSIDENCE. b. IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH AND ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- c. APPLY TREATMENTS AS REQUIRED TO KEEP TURF AND SOIL FREE OF PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS.
- 13. WATERING: INSTALL AND MAINTAIN TEMPORARY PIPING, HOSES, AND TURF-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND TO KEEP TURF UNIFORMLY MOIST TO A DEPTH OF 4 INCHES. a, SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
- b. WATER TURF WITH FINE SPRAY AT A MINIMUM RATE OF 1 INCH PER WEEK UNLESS RAINFALL PRECIPITATION IS ADEQUATE.
- 14. MOW TURF AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIED HEIGHT WITHOUT CUTTING MORE THAN ONE-THIRD OF GRASS HEIGHT. REMOVE NO MORE THAN ONE-THIRD OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS
- 15. TURF POST-FERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY. USE FERTILIZER THAT PROVIDES ACTUAL NITROGEN OF AT LEAST 1 LB/1000 SQ. FT. TO TURF AREA.
- 16. SATISFACTORY TURF TURF INSTALLATIONS SHALL MEET THE FOLLOWING CRITERIA AS DETERMINED BY LANDSCAPE ARCHITECT/ENGINEER: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 70 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5
- 17. CONTRACTOR TO USE SPECIFIED MATERIALS TO REESTABLISH TURF THAT DOES NOT COMPLY WITH REQUIREMENTS, AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.

PLANT SCHEDULE

| COI | DE QT | Y BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
|-----|-------|---|---------------------------------|----------------|-----------|
| | EES | | | | |
| AL | 5 | Amelanchier laevis | Allegheny Serviceberry | 2" - 2.5" Cal. | B&B |
| CC | 5 | Cercis canadensis 'Merlot' | Merlot Eastern Redbud | 2" - 2.5" Cal. | B&B |
| GT | 3 | Gleditsia triacanthos inermis 'Impcole' | Imperial® Honey Locust | 2" - 2.5" Cal. | B&B |
| MV | 4 | Magnolia virginiana | Sweetbay Magnolia | 2" - 2.5" Cal. | B&B |
| ZS | 3 | Zelkova serrata | Japanese Zelkova | 2" - 2.5" Cal. | B&B |
| SHI | RUBS | | | | |
| BM | 6 | Buxus microphylla 'Little Missy' | Little Missy Littleleaf Boxwood | 1 gal. | Cont. |
| LMV | 16 | Liriope muscari 'Variegata' | Variegated Lilyturf | 3.5" | Pot |
| NF | 11 | Nepeta x 'Walker's Low' | Walker's Low Catmint | 12" - 18" | Pot |

Otto Luyken English Laurel

Prunus laurocerasus 'Otto Luyken'

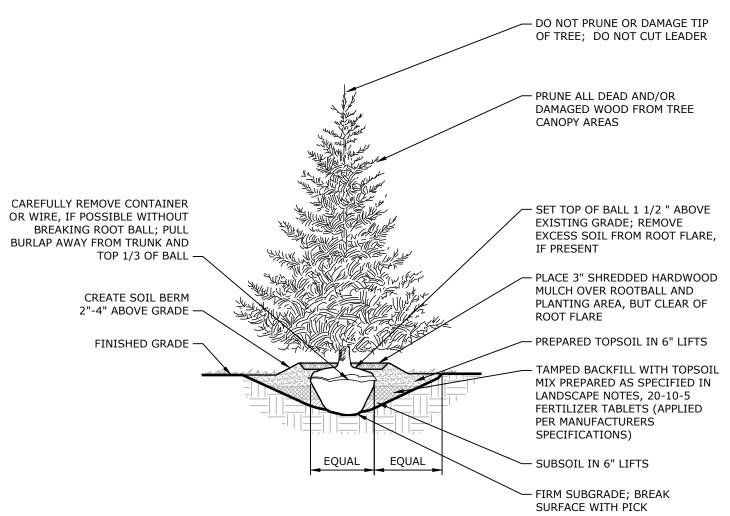


I. ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE. 2. ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE

3. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE. 4. REQUIREMENTS FOR TREE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSIZ60, CURRENT EDITION, AS AMENDED. 5. SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

TYPICAL DECIDUOUS TREE PLANTING

NOT TO SCALE

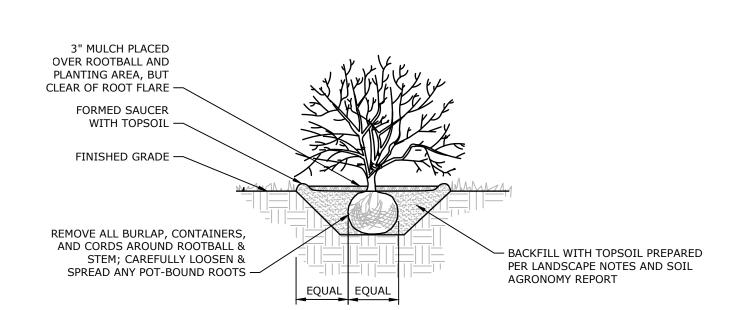


I. ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE. 2. ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE. 3. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE.

4. REQUIREMENTS FOR TREE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSIZ60, CURRENT EDITION, AS AMENDED. 5. SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

TYPICAL EVERGREEN TREE PLANTING

NOT TO SCALE



TYPICAL HERBACEOUS PERENNIAL PLANTING

- SET PLANTS AT SAME FINISHED GRADE AS GROWN IN THE NURSERY.
- ALL SHRUBS SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE. . ALL SHRUBS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE.
- 4. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE. 5. REQUIREMENTS FOR SHRUB MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING OF SHRUBS SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE

TYPICAL SHRUB PLANTING

AMERICAN STANDARD FOR NURSERY STOCK, ANSIZ60, CURRENT EDITION, AS AMENDED. 5. SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

NOT TO SCALE

- REMOVE HERBACEOUS PLANT FROM

CONTAINER: PRUNE ALL DEAD STEMS.

DAMAGED RUNNERS, AND/OR SPENT

- PLACE 2" SHREDDED LEAF MULCH OR

SHREDDED HARDWOOD MULCH, AS

SPECIFIED, AFTER SOIL SETTLEMENT

AMENDED PLANTING SOIL, AS SPECIFIED

- CAREFULLY SEPARATE AND SPREAD ANY

* SEE PLANT SCHEDULE FOR SPACING

NOT TO SCALE

BED DRAINAGE

POT-BOUND ROOTS

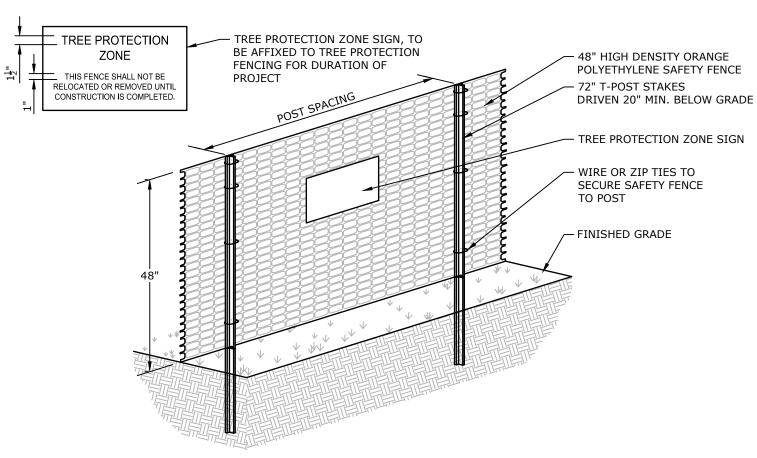
UNDISTURBED SOIL

REMOVE ALL CONSTRUCTION DEBRIS AND

STONES OVER 2" IN SIZE; ENSURE POSITIVE

SET TOP OF ROOT COVER (AS EXISTED IN

CONTAINER) FLUSH WITH FINISHED GRADE



- 1. ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON PLANS. . ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH ORANGE POLYETHYLENE SAFETY/CONSTRUCTION FENCE. INSTALL ORANGE CONSTRUCTION FENCE OUTSIDE THE TREE PROTECTION ZONE (TPZ) NOTED ON THE PLANS, SEE SHEET 3. ORANGE CONSTRUCTION FENCE SHOULD
- BE FASTENED SECURELY TO THE T-POSTS. ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON THE PLAN. 4. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE OF THE PROTECTIVE
- FENCING MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. 5. POST SPACING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

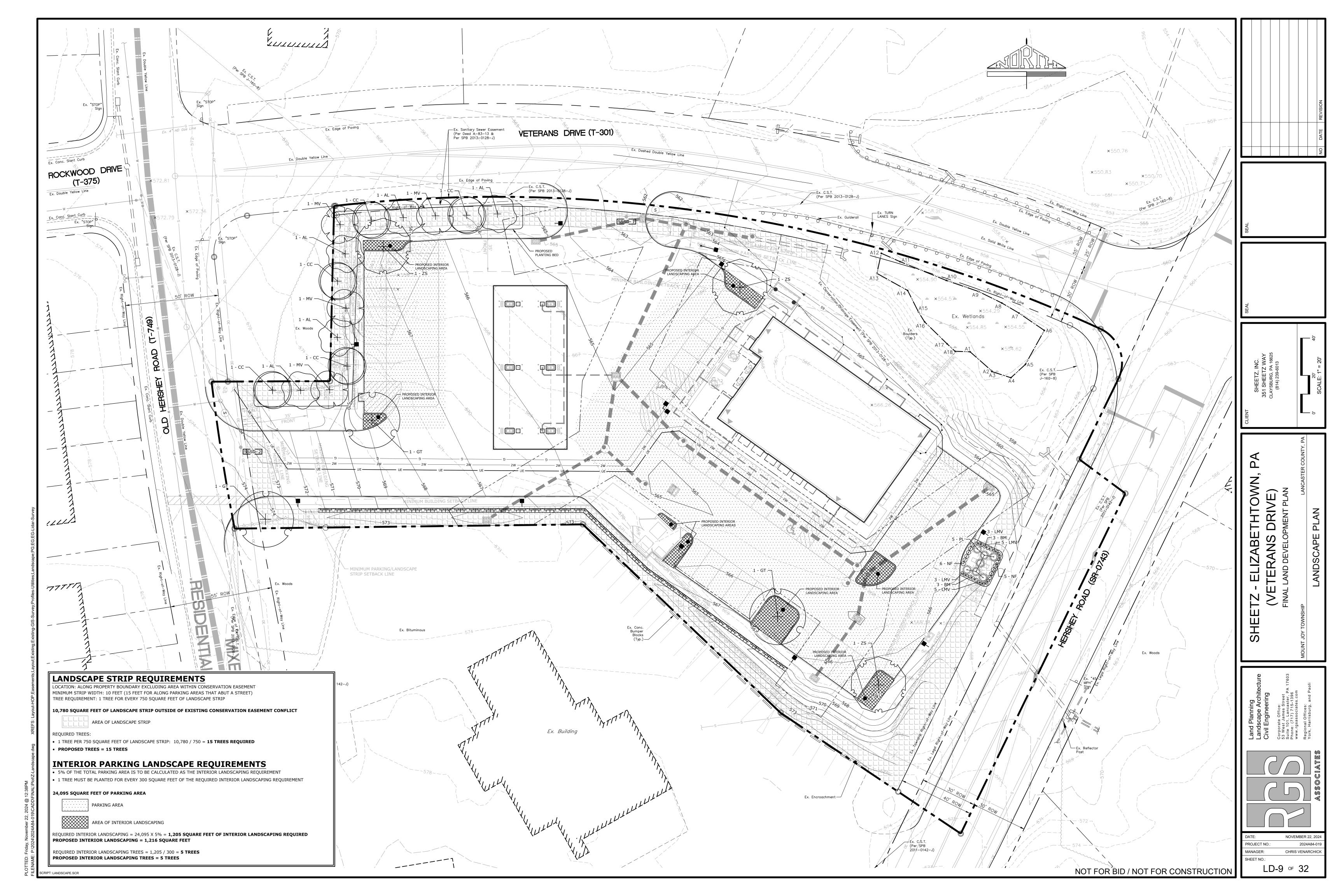
TREE PROTECTION ZONE (TPZ) FENCE DETAIL

NOT FOR BID / NOT FOR CONSTRUCTION

PROJECT NO 2024A84-0 CHRIS VENARCHIO

SHEET NO

LD-8 of 32



LEGEND

PROPOSED GRADE PROPOSED GRADE

г 9.5 L.F. ОF 578 4" PVC @ 8.00% 578 7.1 L.F. OF ¬ 6" PVC @ 12.13%

-6" STORM

CROSSING 576 _3.0 L.F. OF 6" PVC @ 2.00% 18" STORM ⊢2.8 L.F. OF ☐ 4.2 L.F. OF 574 6" PVC @ 2.00% 4" PVC @ 3.00% 6" PVC @ 15.56% ┌14.8 L.F. OF 17.7 L.F. OF ¬ 6" PVC @ 25.00% -3.0 L.F. OF 53.3 L.F. OF ¬ 6" PVC @ 2.00% 53.3 L.F. OF— -23.8 L.F. OF 6" PVC @ 2.95% 4" PVC @ 5.00% 6" PVC @ 2.00% -14.2 L.F. OF 6" PVC @ 2.00% -28.4 L.F. OF 568 4" PVC _@ 4.30%_ /−31.7 L.F. OF 6" PVC @ 2.00% SANITARY SEWER — INVERT = 561.83 (50" BELOW FFE) 562 CO-11 558 CO-07 554 CO-06 538 536 534 8" EX. SEWER— CROSSING 0+501+00 1+50 2+00 0+00 0+50

GREASE TRAP HORZ. SCALE: 1"=50'

VERT. SCALE: 1"= 5'

570

568

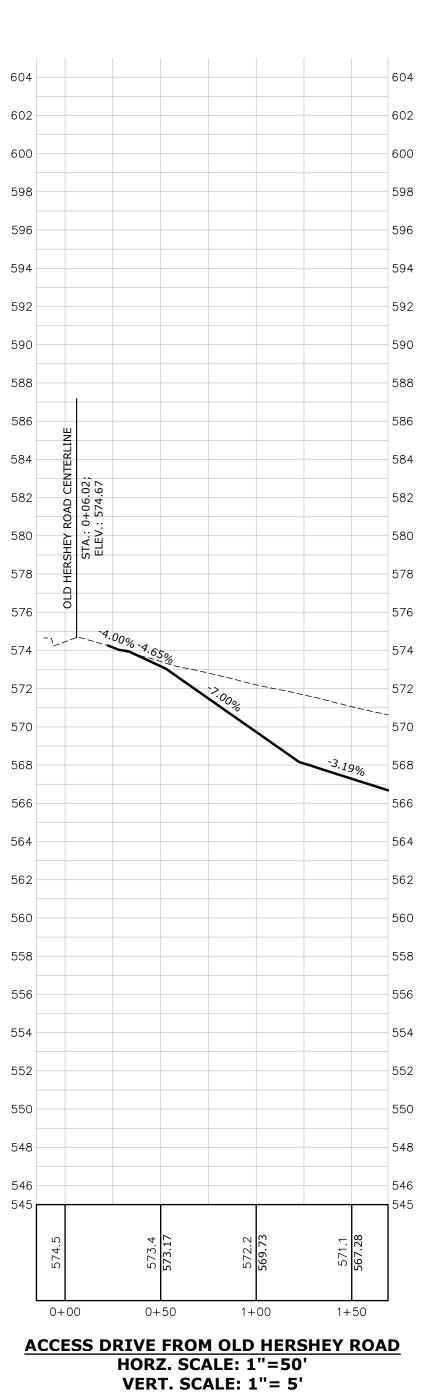
532

0+00

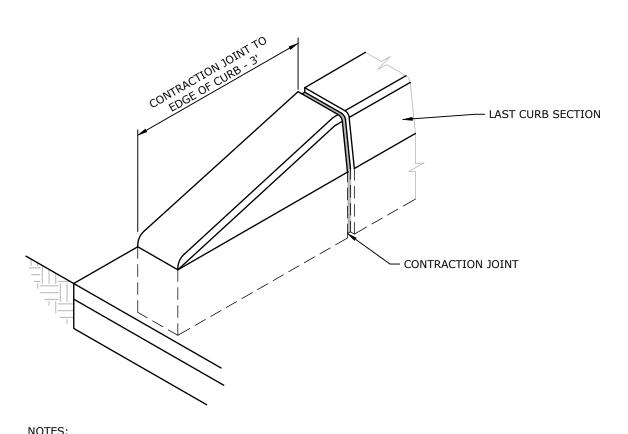
SEWER SERVICE LATERAL
HORZ. SCALE: 1"=50'
VERT. SCALE: 1"= 5'

SANITARY SEWER – INVERT = 561.83

(50" BELOW FFE)



2024A84-019 PROJECT NO .: CHRIS VENARCHICA MANAGER: SHEET NO.: LD-10 of 32



1. EXPANSION JOINTS SHALL CONSIST OF 1/2" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL. EXPANSION JOINTS SHALL BE LOCATED AT ALL STRUCTURES AT THE END OF THE WORK DAY AND AT INTERVALS OF 100 FEET. CUT MATERIAL TO CONFORM WITH CROSS SECTIONAL AREA OF CURB. 2. CONTRACTION JOINTS SHALL CONSIST OF A 2" DEEP, 3/16" WIDE SAW CUT AND BE PLACED AT UNIFORM LENGTHS OF 20 FOOT INTERVALS MAXIMUM AND 4 FOOT INTERVALS MINIMUM.

VERTICAL CURB TERMINATION

MUTCD CODE STOP R1-1 NO PARKING R7-x NO PARKING (SYMBOL) R8-3A HANDICAP PARKING R7-8 LEFT LANE MUST TURN LEFT R3-7 PEDESTRIAN CROSSING

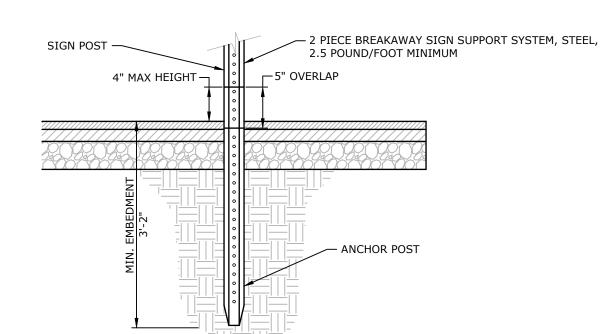
POSTS SHALL BE SQUARE BREAKAWAY POST SYSTEM CONSISTING OF A 14 GAUGE GALVANIZED STEEL SQUARE POST, 3'-6" ANCHOR AND A 12 GAUGE 2.25" TOP SECTION. 2. THE POST SHALL BE CORNER WELDED WITH 7/16" HOLES ON CENTER, ON ALL FOUR SIDES AND BASE, ONLY THE HOLES USED FOR MOUNTING

NOT TO SCALE

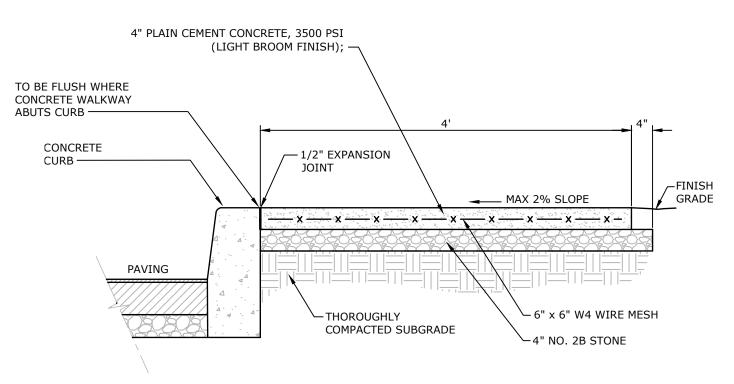
GALVANIZED WITH A COATING DESIGNATION OF G-140. 3. A COMPLETE POST SYSTEM SHALL CONSIST OF AN ANCHOR SECTION OF AT LEAST 3'-6" LONG, A SQUARE TOP POST AT LEAST TEN FEET LONG, A CORNER BOLT AND A RAIN CAP.

SIGNS SHALL BE PUNCHED OUT. THE COATING SHALL BE HOT DIPPED

4. ANY FREESTANDING SIGN IN A PARKING LOT SHALL BE MOUNTED AS SHOWN. PROVIDE SIGNAGE ON BOTH SIDES OF POST WHEN REQUIRED 5. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH



SIGN POST NOT TO SCALE



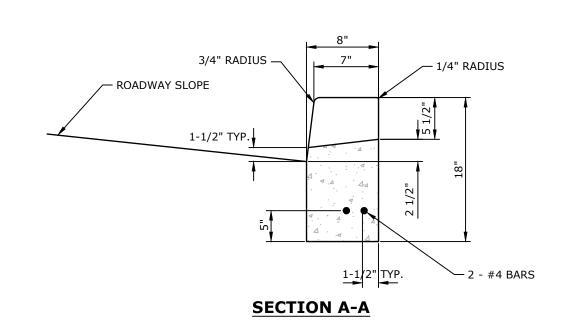
1. CONCRETE SHALL BE PLACED SO THAT THERE IS A SEPARATE JOINT EVERY FIVE (5)

FEET WITH AN EXPANSION JOINT EVERY TWENTY (20) FEET.

ABUTS CONCRETE CURB.

2. THERE SHALL BE ONE-HALF (1/2) INCH PRE-MOLDED EXPANSION JOINTS BETWEEN EVERY FIFTH SECTION AND BETWEEN ALL POINTS WHERE CONCRETE SIDEWALK

VARIABLE WIDTH - CONTRACTION JOINT CONTRACTION JOINT CONTRACTION `— 2 - #4 BARS **DEPRESSED CURB AREA**



DEPRESSED CURB

Setback = 1 %" (41 mm)

(5° batter angle on wall)

Exposed wall

(Height varies with

Bury depth

NOTES:

Grade to drain surface water

Non-woven geotextile fabric

site soil conditions)

(PC blocks)

(If specified by Engineer based on

with drainstone (all blocks)

Middle block (Typical)

Solld bottom block

Block widths vary with design

Block widths vary with design

NOT TO SCALE

away from wall

RETAINED SOIL

Drain (As spedified by Engineer)

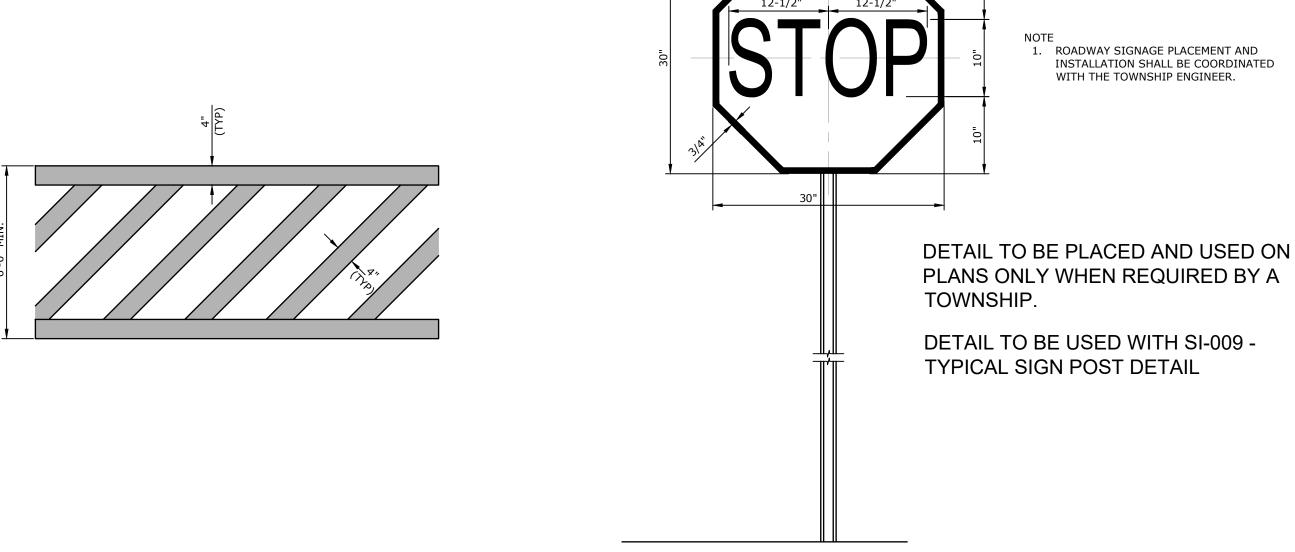
Leveling pad (As specified by Engineer)

• THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE

TYPICAL GRAVITY WALL DETAIL (REDIROCK)

• CONTRACTOR TO COORDINATE COLOR WITH SHEETZ.

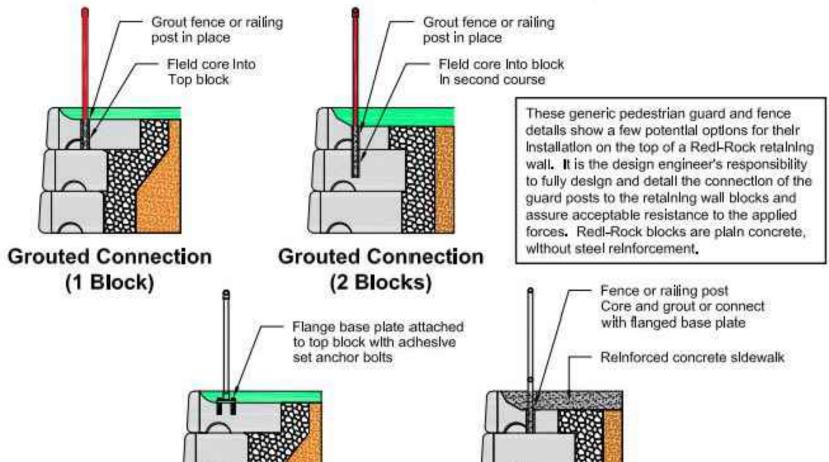
NOT TO SCALE NOT TO SCALE



TYPE X THERMOPLASTIC CROSSWALK DETAIL

STOP SIGN

NOT TO SCALE



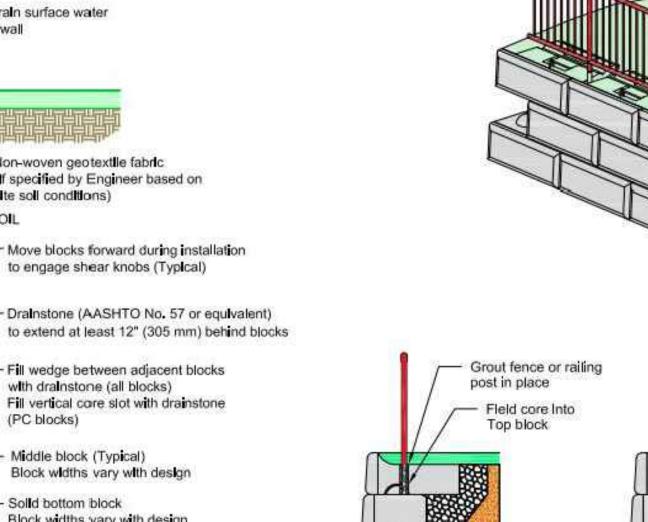
Flange Bolted Connection

Moment Slab Connection

 THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE

CONTRACTOR TO COORDINATE COLOR WITH SHEETZ.

NOT TO SCALE



PROPOSED SITE.

FENCE OR PEDESTRIAN GUARD **CONNECTION OPTIONS (REDIROCK)**

TYPICAL CONCRETE SIDEWALK SECTION WITH CURB

NOT TO SCALE

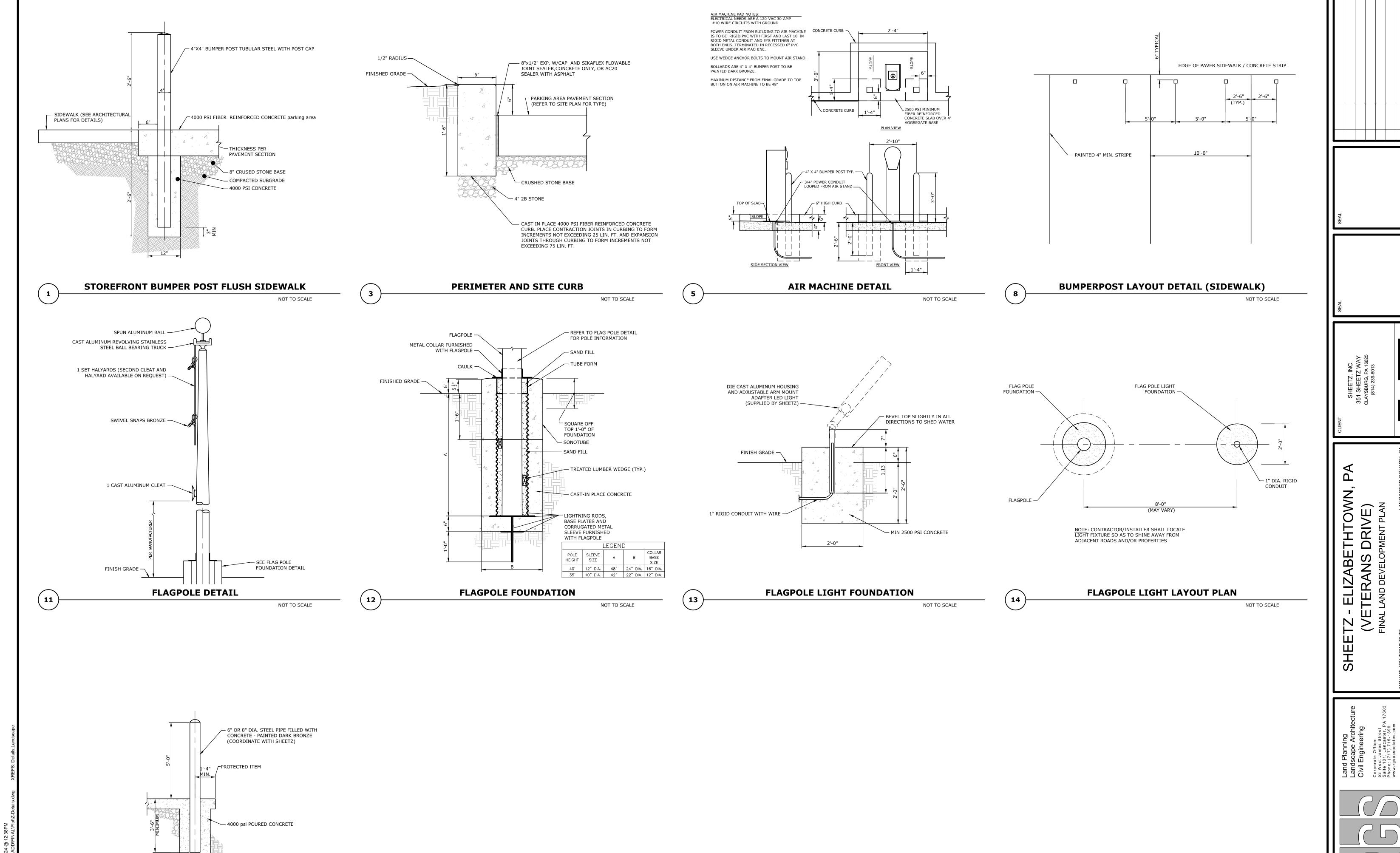
SHEET NO .: LD-11 of 32 NOT FOR BID / NOT FOR CONSTRUCTION

PROJECT NO .:

MANAGER:

2024A84-0

CHRIS VENARCHICA



6" OR 8" PIPE BOLLARD DETAIL

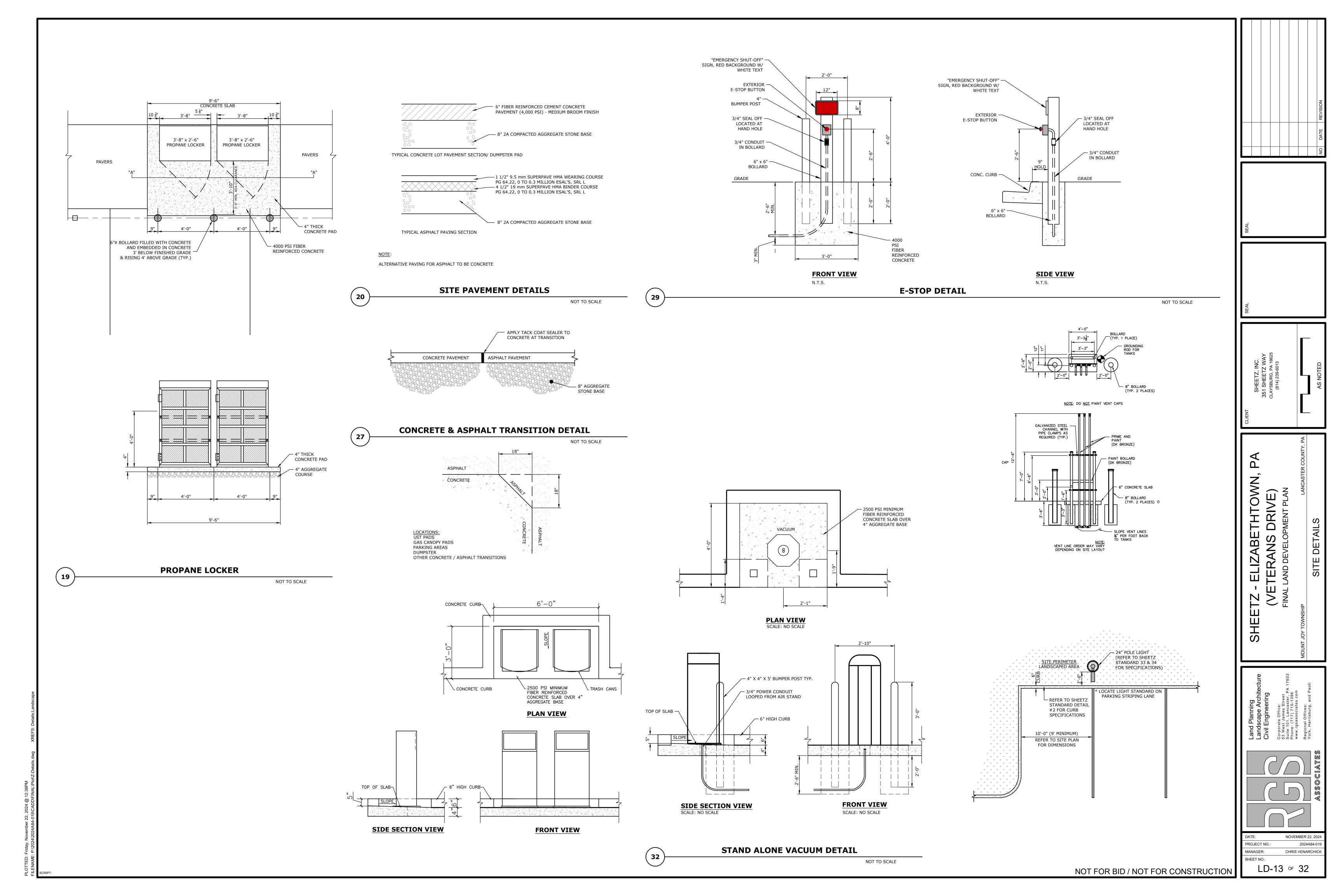
NOT TO SCALE

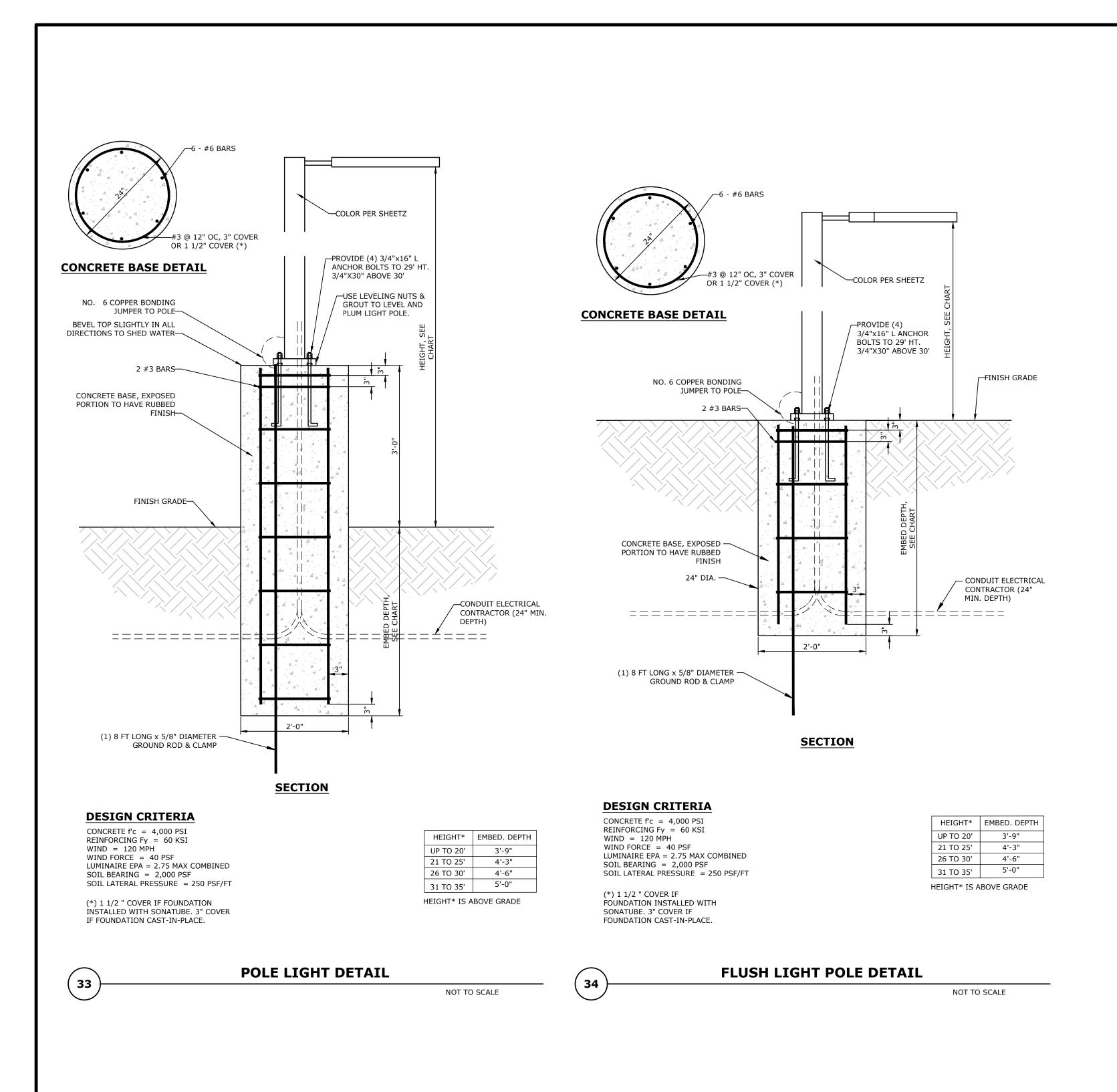
NOT FOR BID / NOT FOR CONSTRUCTION

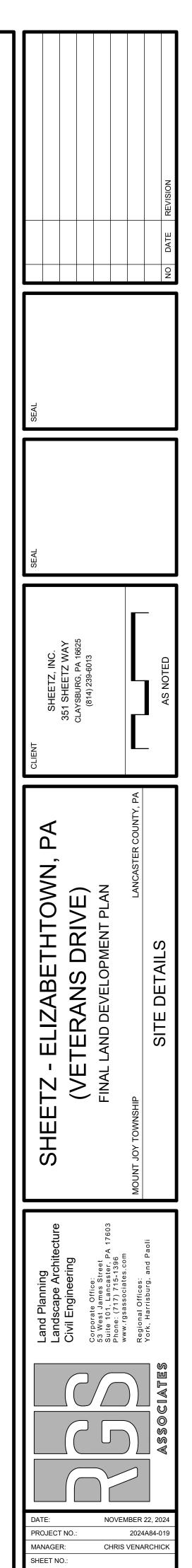
PROJECT NO.:

MANAGER: SHEET NO .: 2024A84-019

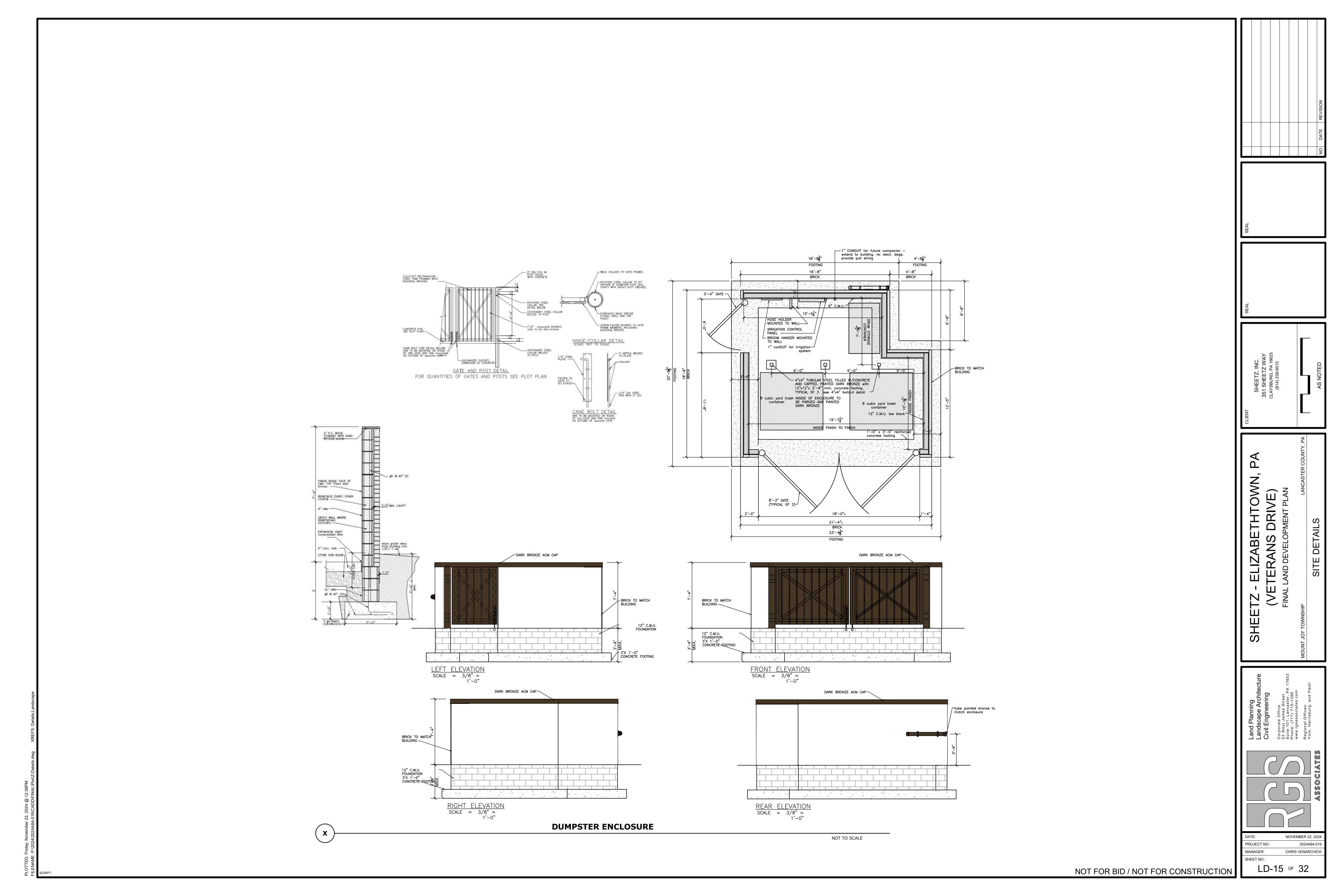
CHRIS VENARCHICK

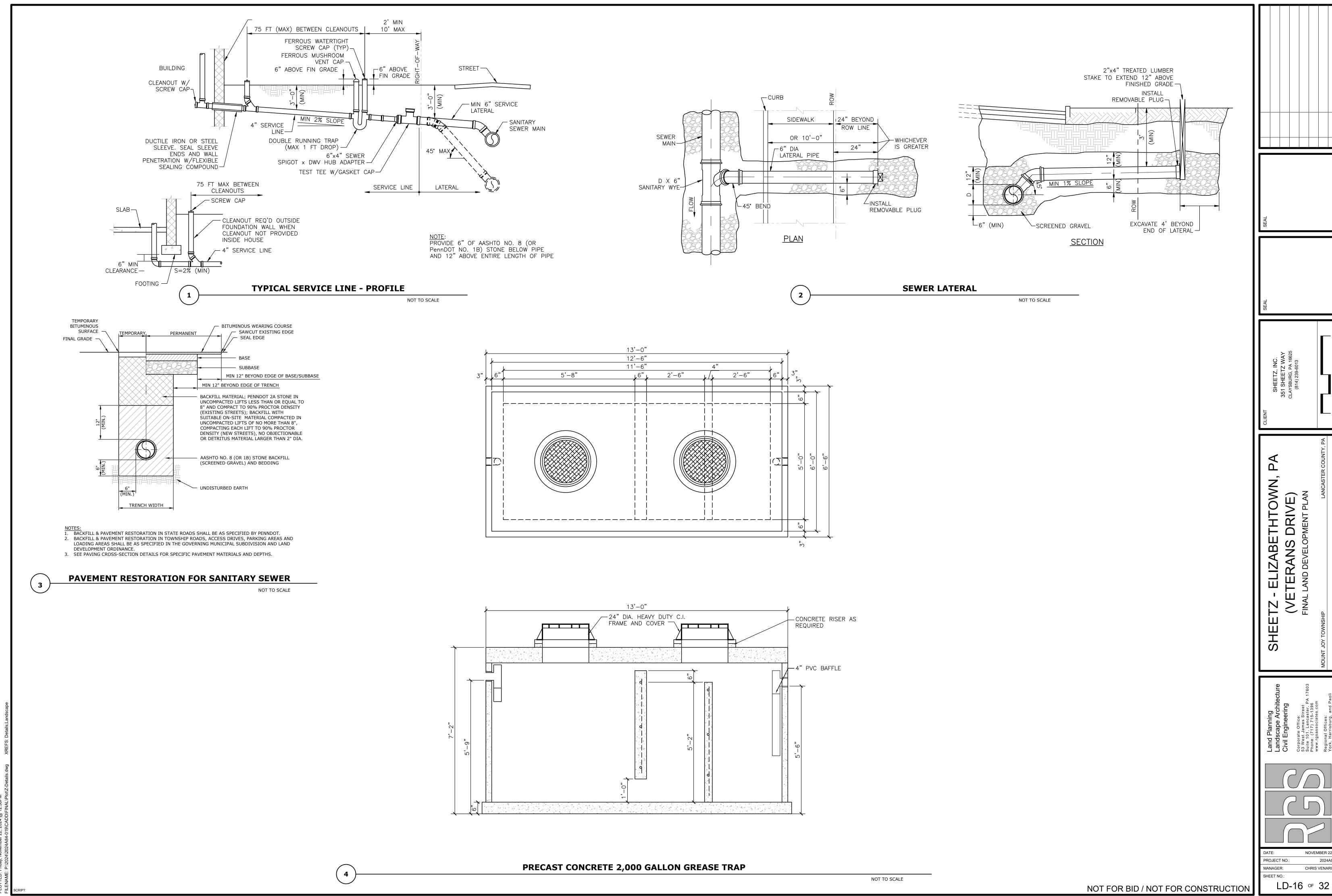


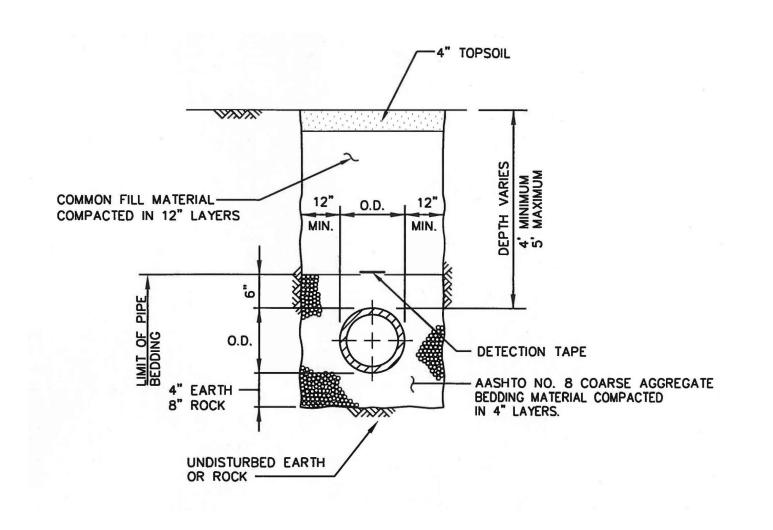


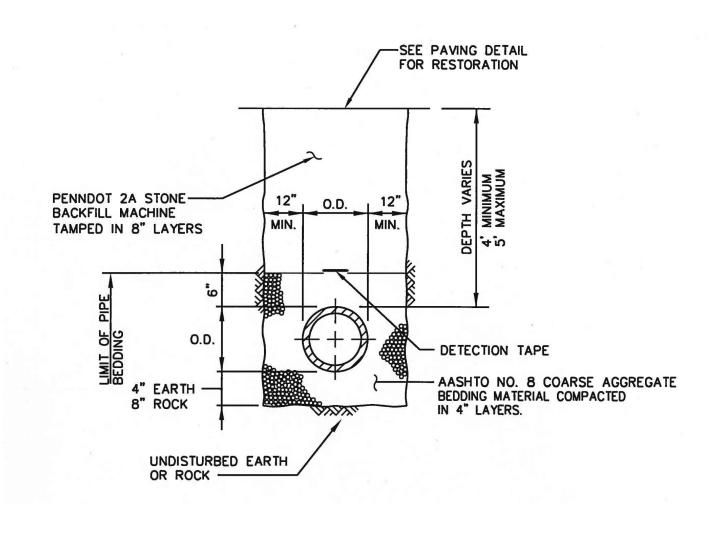


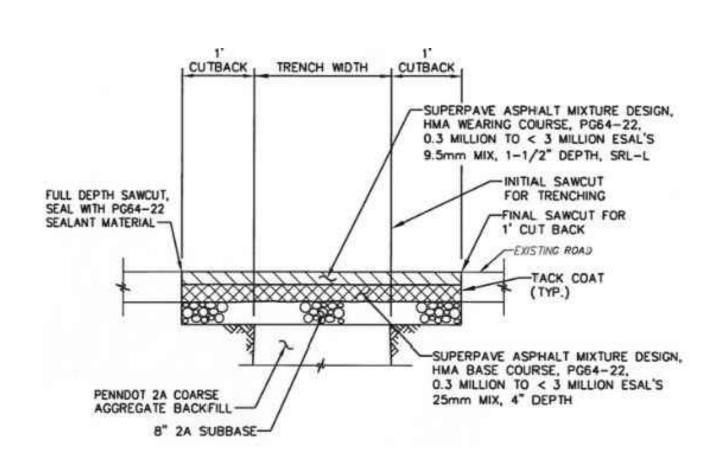
LD-14 of 32











WATERLINE TRENCH - UNPAVED AREAS

NOT TO SCALE

WATERLINE TRENCH - PAVED AREAS

NOT TO SCALE

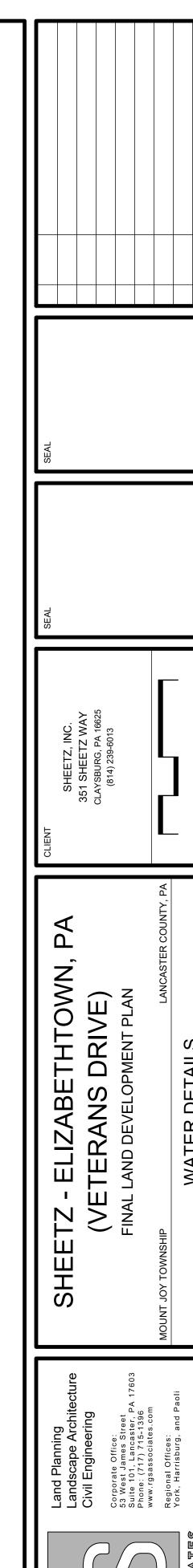
PAVING RESTORATION

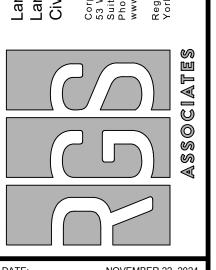
NOT TO SCALE

| | | | SANITARY SEWER | |
|--------------------|-----|---|--------------------------------|--|
| GRAVITY SEWER PIPE | PVC | SDR-35 (PS46) ASTM D3034 (PRODUCT STANDARD) ASTM F477 (GASKET) ASTM D3212 (INTEGRAL BELL JOINT) | REFER TO PROFILE | |
| | | | WATER | |
| WATER LATERAL | WHC | HDPE (LATERAL) SCHEDULE 40 PVC (CASING) | REFER TO DETAIL | |
| | | SITE FEA | ATURES AND LANDSCAPING | |
| TOPSOIL | | ASTM D5268 - STANDARD SPECIFICATION FOR TOPSOIL ASTM D4972 - TEST METHOD OF pH FOR SOILS | SEE GRADATION OF ASTM STANDARD | TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT. |
| HARDWOOD MULCH | | N/A | MAXIMUM 3" IN SIZE PIECES | DOUBLE SHREDDED HARDWOOD COLOR: BLACK OR BROWN FREE OF TRASH, DEBRIS AND OTHER NON-ORGANIC MATERIALS |

MATERIAL SPECIFICATIONS

NOT TO SCALE





NAGER: CHRIS VENARCHICK
EET NO.:

LD-17 OF 32