

EXISTING WOODLANDS

EXISTING WOODLANDS TO BE REMOVED:	6,839 SF
EXISTING WOODLANDS TO REMAIN:	1,319 SF (19.3%)
EXISTING WOODLANDS TO REMAIN:	5,521 SF (80.7%)

SOIL INFORMATION

SYMBOL	NAME	SLOPE	HYDRO GROUP
Ubb	UNGERS EXTREMELY STONY LOAM	3-8%	B
Ubd	UNGERS EXTREMELY STONY LOAM	8-25%	B
Hg	HOLLY SILT LOAM		B/D

SITE FEATURE LEGEND

	EXISTING FEATURE TO BE REMOVED
	T.B.R. = TO BE REMOVED

PER INSTRUMENT NO. 5849003, THE SANITARY SEWER LATERAL WAS FOR THE BENEFIT AND USE OF THE PROPERTY KNOWN AS 81 HERSEY ROAD WHICH CROSSES THE PROPERTY KNOWN AS 50 VETERANS DRIVE, GRANTING TO 81 HERSEY ROAD THE CONTINUED USE AND BENEFIT OF THE SANITARY SEWER LATERAL AND THE RIGHTS TO MAINTAIN, RECONSTRUCT, REPAIR, REPLACE, AND OPERATE THE EXISTING LINE, RECORDED PLANS 2011-0142-J AND 2013-0128-J SHOW THE EXISTING SANITARY SEWER LATERAL AS ABANDONED, SENIOR LATERAL ABANDONMENT TO BE FIELD VERIFIED.

PLOTTED: Friday, November 22, 2024 @ 12:27 PM
 FILENAME: P:\2024\2024A484-019\CADD\FINAL\Plot\EC-Exist-Demo.dwg
 XREFS: Existing;Soils;Demolition;EC-Exist-Demo.dwg

NO.	DATE	REVISION

SEAL

SEAL

CLIENT

SHEETZ, INC.
 351 SHEETZ WAY
 CLAYSBURG, PA 16825
 (814) 239-8013

MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

**SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)**

FINAL LAND DEVELOPMENT PLAN
 EXISTING CONDITIONS-DEMOLITION PLAN

Land Planning
 Landscape Architecture
 Civil Engineering

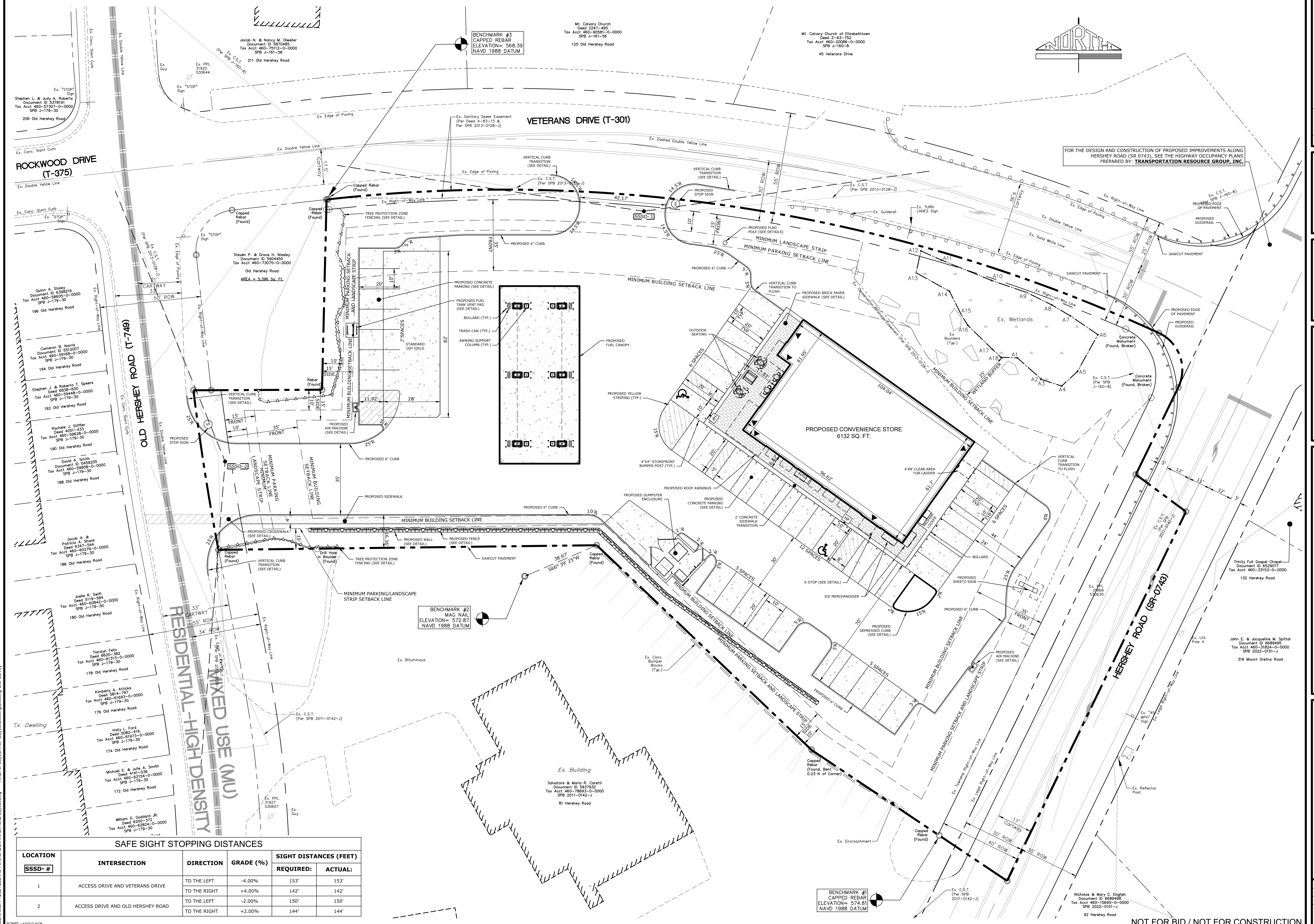
Corporate Office:
 53 West James Street
 York, PA 17403
 Phone: (717) 745-1384
 www.gsassociates.com

Regional Offices:
 York, Harrisburg, and Pott
 sville

GS ASSOCIATES

DATE: NOVEMBER 22, 2024
 PROJECT NO.: 2024A4-019
 MANAGER: CHRIS VERNARCHICK
 SHEET NO.: LD-3 OF 32

NOT FOR BID / NOT FOR CONSTRUCTION



FOR THE DESIGN AND CONSTRUCTION OF PROPOSED IMPROVEMENTS ALONG
HERSHEY ROAD (SR 0743), SEE THE HIGHWAY OCCUPANCY PLANS
PREPARED BY: **TRANSPORTATION RESOURCE GROUP, INC.**

RESIDENTIAL-HIGH DENSITY
MIXED USE (MU)

SAFE SIGHT STOPPING DISTANCES					
LOCATION	INTERSECTION	DIRECTION	GRADE (%)	SIGHT DISTANCES (FEET)	
				REQUIRED:	ACTUAL:
1	ACCESS DRIVE AND VETERANS DRIVE	TO THE LEFT	-4.00%	153'	153'
		TO THE RIGHT	+4.00%	142'	142'
		TO THE LEFT	-2.00%	150'	150'
2	ACCESS DRIVE AND OLD HERSHEY ROAD	TO THE RIGHT	+2.00%	144'	144'

NO.	DATE	REVISION

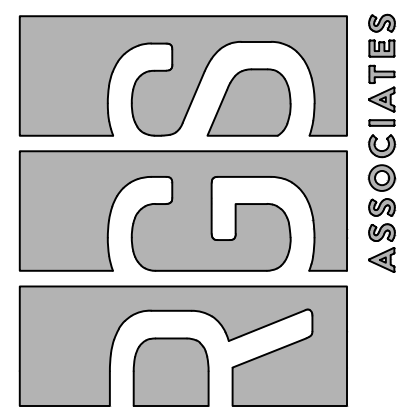
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SHEETZ, INC.
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CLAYSBURG, PA 16825
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LAYOUT PLAN
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

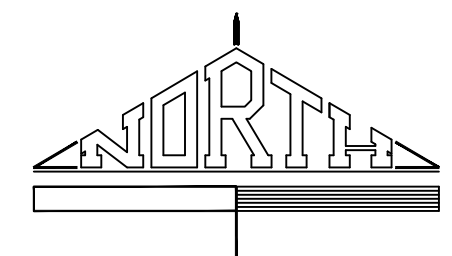
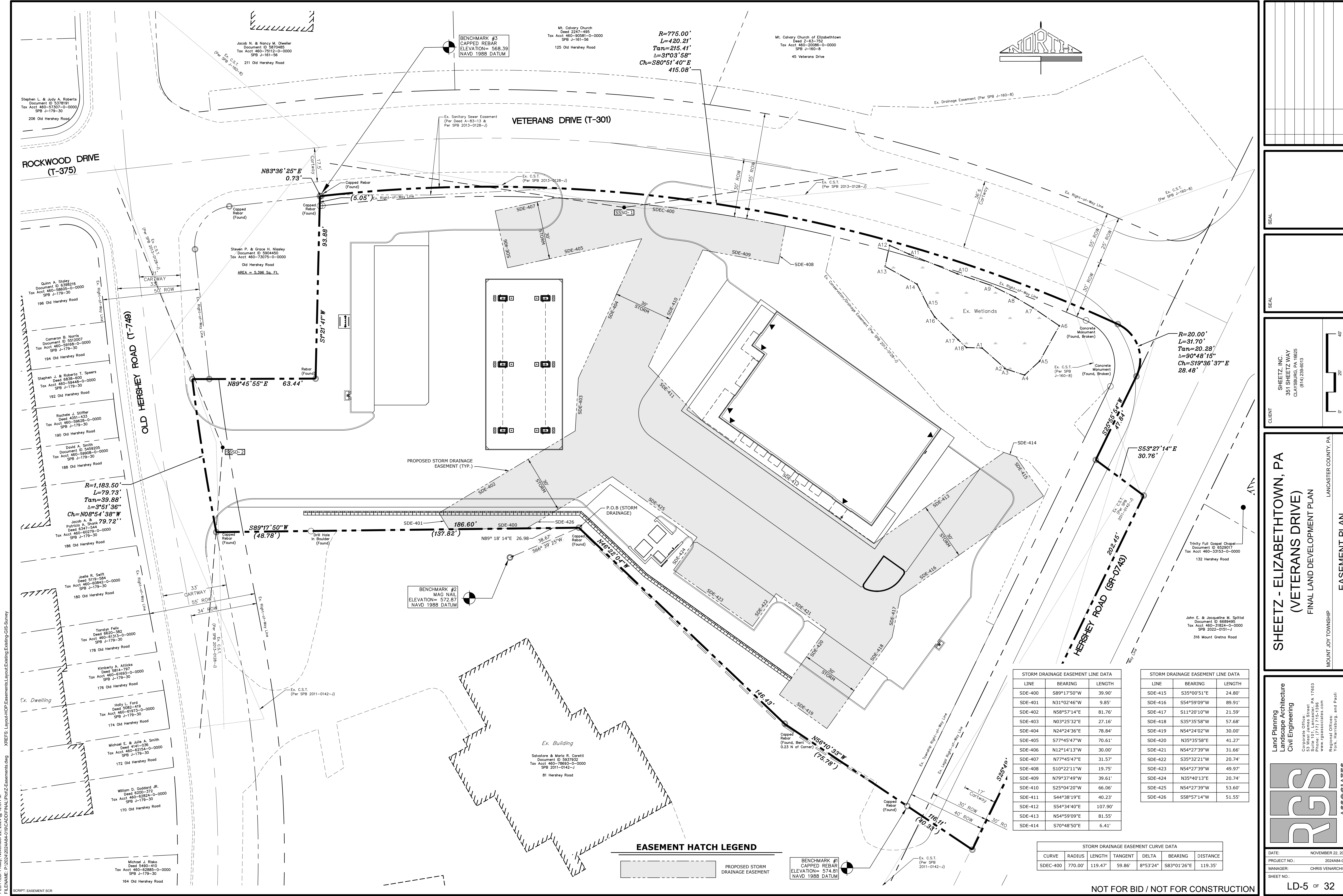
Land Planning
Landscape Architecture
Civil Engineering



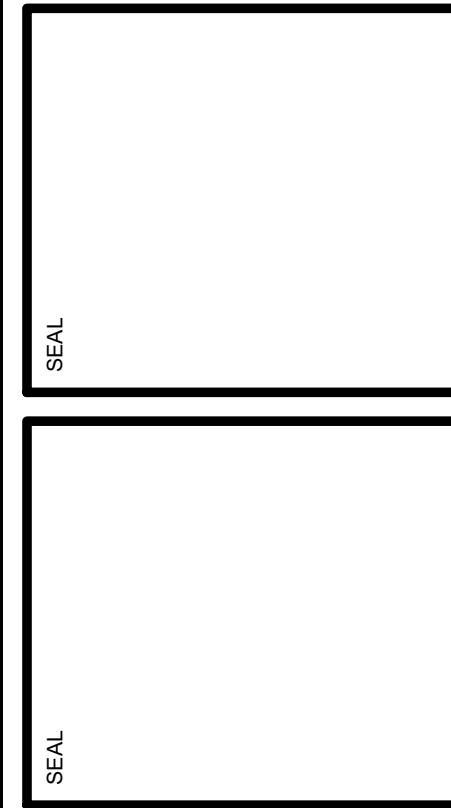
DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHICK
SHEET NO.: LD-4 OF 32

PLOTTED: Friday, November 22, 2024 @ 12:27 PM
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XREFS: Layout-HQP-Layout-Existing-Existing-GIS-Survey

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SHEETZ, INC.
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CLAYSBURG, PA 16825
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**SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
FINAL LAND DEVELOPMENT PLAN**

LANCASTER COUNTY, PA
MOUNT JOY TOWNSHIP

EASEMENT PLAN

Land Planning
Landscape Architecture
Civil Engineering

RGS ASSOCIATES

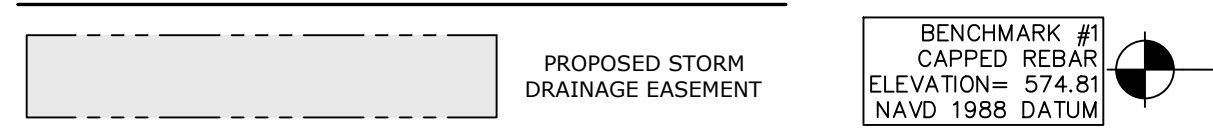
Corporate Office:
53 West James Street, PA 17003
Phone: (717) 715-1384
www.rgsassociates.com

Regional Offices:
York, Harrisburg, and Paoli

DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHCK
SHEET NO.: LD-5 OF 32

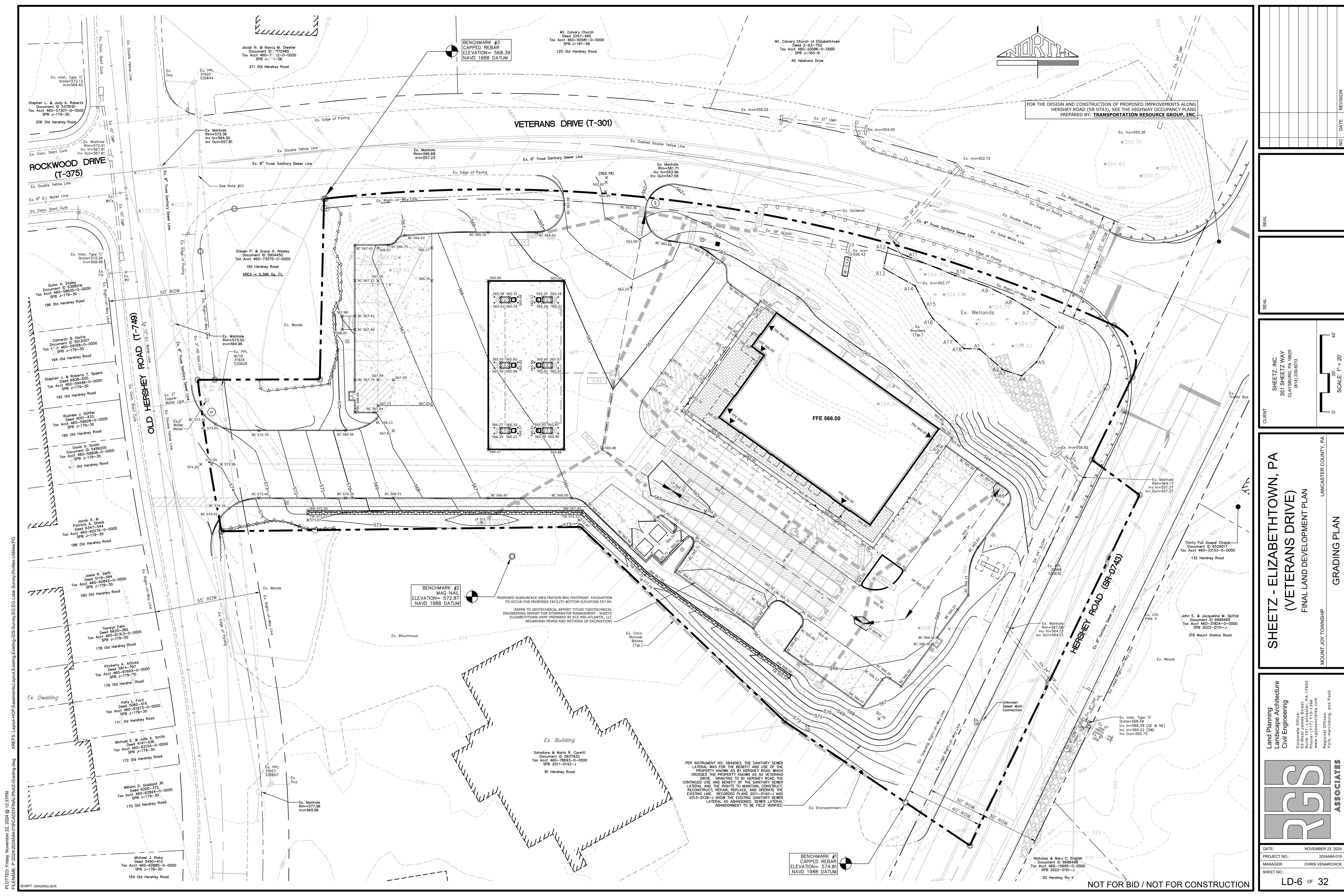
STORM DRAINAGE EASEMENT LINE DATA			STORM DRAINAGE EASEMENT CURVE DATA						
LINE	BEARING	LENGTH	CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
SDE-400	S89°17'50"W	39.90'	SDEC-400	770.00'	119.47'	59.86'	8°53'24"	S83°01'26"E	119.35'
SDE-401	N31°02'46"W	9.85'	SDE-415	S35°00'51"E	24.80'				
SDE-402	N58°57'14"E	81.76'	SDE-416	S54°59'09"W	89.91'				
SDE-403	N03°25'32"E	27.16'	SDE-417	S11°20'10"W	21.59'				
SDE-404	N24°24'36"E	78.84'	SDE-418	S35°35'58"W	57.68'				
SDE-405	S77°45'47"W	70.61'	SDE-419	N54°24'02"W	30.00'				
SDE-406	N12°14'13"W	30.00'	SDE-420	N35°35'58"E	41.27'				
SDE-407	N77°45'47"E	31.57'	SDE-421	N54°27'39"W	31.66'				
SDE-408	S10°22'11"W	19.75'	SDE-422	S35°32'21"W	20.74'				
SDE-409	N79°37'49"W	39.61'	SDE-423	N54°27'39"W	49.97'				
SDE-410	S25°04'20"W	66.06'	SDE-424	N35°40'13"E	20.74'				
SDE-411	S44°38'19"E	40.23'	SDE-425	N54°27'39"W	53.60'				
SDE-412	S54°34'40"E	107.90'	SDE-426	S58°57'14"W	51.55'				
SDE-413	N54°59'09"E	81.55'							
SDE-414	S70°48'50"E	6.41'							

EASEMENT HATCH LEGEND



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 XREFS: Layout-HOP-Easements;Layout/Existing-GIS-Survey
 SCRIPT: EASEMENT.DSC



FOR THE DESIGN AND CONSTRUCTION OF PROPOSED IMPROVEMENTS ALONG
HERSHEY ROAD (SR 0743). SEE THE HIGHWAY OCCUPANCY PLANS
PREPARED BY: TRANSPORTATION RESOURCE GROUP, INC.

BENCHMARK #2
MAG NAIL
ELEVATION= 572.87
NAVD 1988 DATUM

PROPOSED SUBSURFACE INFILTRATION BED FOOTPRINT. EXCAVATION
TO OCCUR FOR PROPOSED FACILITY BOTTOM ELEVATION 557.84.
(REFER TO GEOTECHNICAL REPORT TITLED "GEOTECHNICAL
ENGINEERING REPORT FOR STORMWATER MANAGEMENT - SHEETZ
ELIZABETHTOWN SWIM" PREPARED BY EGS-MID-ATLANTIC, LLC
REGARDING MEANS AND METHODS OF EXCAVATION)

PER INSTRUMENT NO. 5849063, THE SANITARY SEWER
LATERAL WAS FOR THE BENEFIT AND USE OF THE
PROPERTY KNOWN AS 81 HERSEY ROAD WHICH
CROSSES THE PROPERTY KNOWN AS 50 VETERANS
DRIVE, GRANTING TO 81 HERSEY ROAD THE
CONTINUED USE AND BENEFIT OF THE SANITARY SEWER
LATERAL AND THE RIGHTS TO MAINTAIN, CONSTRUCT,
RECONSTRUCT, REPAIR, REPLACE, AND OPERATE THE
EXISTING LINE, RECORDED PLANS 2011-0142-J AND
2013-0128-J SHOW THE EXISTING SANITARY SEWER
LATERAL AS ABANDONED. SENIOR LATERAL
ABANDONMENT TO BE FIELD VERIFIED.

Nicholas & Mary C. English
Document ID 6689498
Tax Act 460-1696-0-0000
SPB J-179-30
92 Hershey Rd

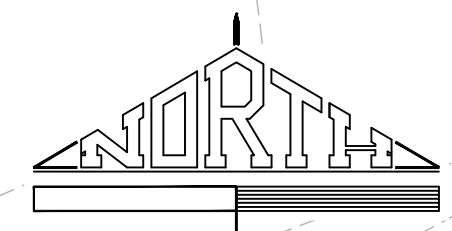
BENCHMARK #1
CAPPED REBAR
ELEVATION= 574.51
NAVD 1988 DATUM

Ex. Building
Salvatore & Mario R. Coretti
Document ID 5237932
Tax Act 460-78693-0-0000
SPB 2011-0142-J
81 Hershey Road

Jacob N. & Nancy M. O'weller
Document ID 710485
Tax Act 460-712-0-0000
SPB J-179-30
211 Old Hershey Road

BENCHMARK #3
CAPPED REBAR
ELEVATION= 568.39
NAVD 1988 DATUM

Mt. Calvary Church of Elizabethtown
Deed 2287-495
Tax Act 460-90581-0-0000
SPB J-161-56
125 Old Hershey Road



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SHEETZ, INC.
351 SHEETZ WAY
CLAYSBURG, PA 16825
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MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

SHEETZ - ELIZABETHTOWN, PA (VETERANS DRIVE) FINAL LAND DEVELOPMENT PLAN

GRADING PLAN

Land Planning
Landscape Architecture
Civil Engineering

Corporate Office:
53 West James Street
PA 17033
Phone: (717) 715-1386
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Regional Offices:
York, Harrisburg, and Pott
dam

DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHIC
SHEET NO.: LD-6 OF 32

PLOTTED: Friday, November 22, 2024 @ 12:27 PM
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LANDSCAPE CONTRACTOR NOTES:

- GENERAL PLANTING NOTES.
 - CONTRACTOR SHALL CONTACT PA ONE CALL (8-1-1), AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY PLANTING. ANY SHALL FIELD-ADJUST THE LOCATIONS OF TREES AND SHRUBS, IF NECESSARY, TO AVOID ANY CONFLICT WITH THESE UTILITIES. **CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY PROPOSED DESIGN CHANGES.**
 - THIS PLAN IS FOR PLANTING INFORMATION ONLY. REFER TO GRADING, UTILITY, SITE LAYOUT AND SEDIMENT EROSION CONTROL PLANS FOR ALL RELATED INFORMATION.
 - ALL PLANTS AND SHRUBS SHALL BE AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE DETAILS AND COMMENTS NOTED ON THESE DRAWINGS.
 - ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OR REJECTION BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.** PLANT MATERIALS INSTALLED WITHOUT PRIOR APPROVAL ARE SUBJECT TO REPLACEMENT BY THE CONTRACTOR AT HIS/HER EXPENSE IF DETERMINED TO BE UNSATISFACTORY. REJECTED PLANT MATERIALS SHALL BE REMOVED IMMEDIATELY FROM THE PROJECT SITE.
- PROPOSED LOCATIONS OF ALL NON-HERBACEOUS PLANT MATERIALS AND PLANTING BED OUTLINES SHALL BE STAKED AND OUTLINED IN THE FIELD BY THE **CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT** OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS, AND SHALL REPORT ANY IDENTIFIED DISCREPANCIES TO THE LANDSCAPE ARCHITECT. IF SITE WORK HAS BEEN MODIFIED AND DIFFERS FROM INFORMATION SHOWN ON THE APPROVED PLANS, AND POTENTIAL CHANGES TO THE PLANTING DESIGN ARE NECESSARY, THE CONTRACTOR SHALL **CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS.**
- PROCEED WITH WORK ONLY WHEN PRESENT AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING WITHOUT EXCESSIVE SOIL COMPACTION AND/OR UNNECESSARY PLANT DAMAGE.
- PLANT TREES, SHRUBS, AND OTHER PLANT MATERIALS AFTER FINISHED GRADES ARE ESTABLISHED, AND BEFORE PLANTING ANY TURF AREAS UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOIL IS PLACED OR PLANTING BEGINS TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE PLANTED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL **NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CORRECTIVE ACTION.** ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- REMOVE ANY EXCESS SOIL FROM PLANT ROOT FLARES, IF PRESENT.
- LANDSCAPE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN WORKING IN AREAS OF EXISTING VEGETATION THAT IS TO REMAIN AND TO BE PROTECTED. IF SUCH VEGETATION IS INJURED OR DESTROYED DURING CONSTRUCTION, IT SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH PLANTS OF A SIZE AND SPECIES **AS DETERMINED BY THE LANDSCAPE ARCHITECT**, AND SUCH REPLACEMENT SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANT QUANTITIES NOTED ON THE PLANT LIST SHOULD MATCH THE PLANT SYMBOLS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLANT MATERIAL BASED UPON GRAPHIC SYMBOL QUANTITIES AND **SHALL CONTACT THE LANDSCAPE ARCHITECT** IF A DIFFERENCE IS FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE DRAWING SYMBOLS.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE TOP OF THE MAIN ROOT ORDER ROOT (FIRST LARGE SET OF ROOTS THAT DIVIDE FROM THE TRUNK) SHALL BE PLANTED NO LOWER THAN ONE OR TWO INCHES INTO THE SOIL.

- PLANT STANDARDS**
 - ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
 - ALL PLANTS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY, AND VIGOROUS. THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE.
 - REQUIREMENTS FOR PLANT MEASUREMENTS, BRANCHING, GRADING, QUALITY, AND BALLING AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, AS AMENDED. DO NOT PRUNE TO ATTAIN REQUIRED SIZES.
 - IF FORMAL PLANTING ARRANGEMENTS OR A CONSISTENT ORDER OF PLANTS IS INDICATED ON THE DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.
 - ALL STREET TREES AND SCREENING PLANT MATERIALS SHALL BE INSTALLED DURING THE FIRST PLANTING SEASON FOLLOWING COMPLETION OF OTHER SITE WORK.
 - THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS PRIOR TO THE BEGINNING OF THE GUARANTEE PERIOD BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING AND WEEDING TO KEEP THE COMPLETED WORK AND/OR UNCOMPLETED WORK IN A CLEAN AND NEAT CONDITION AT ALL TIMES.

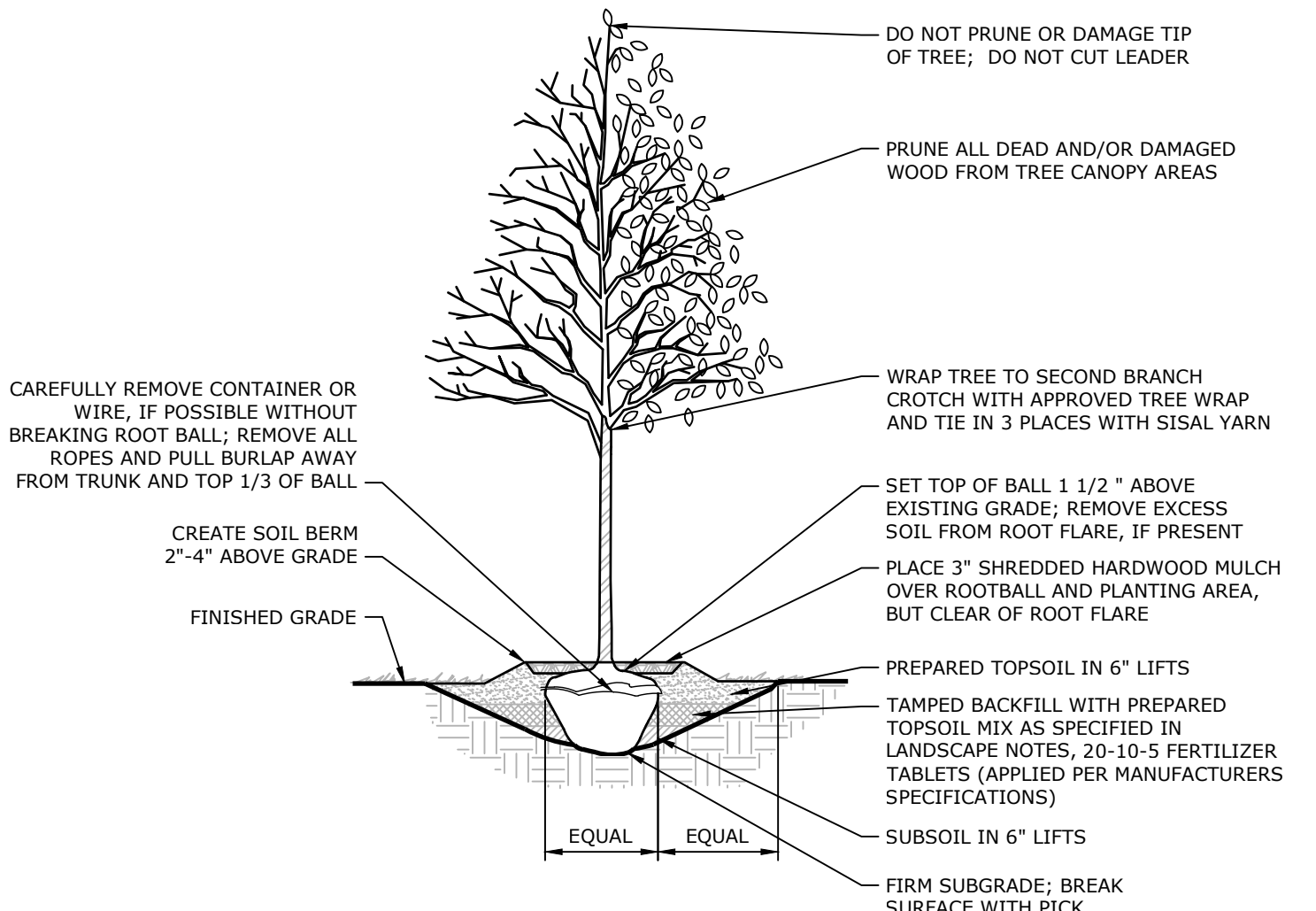
- PLANT GUARANTEE**
 - ALL MATERIAL SHALL BE GUARANTEED BY INSTALLER FOR THE DURATION OF 18 MONTHS FOLLOWING THE DATE OF PLANTING, OR 12 MONTHS AFTER THE FINAL INSPECTION AND ACCEPTANCE OF WORK, WHICHEVER IS GREATER. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.
 - NO MORE THAN 1/3 OF THE TREE OR SHRUB SHALL BE DAMAGED OR DEAD WITHOUT REPLACEMENT. REPLACEMENT PLANTS SHALL CONFORM TO ALL REQUIREMENTS OF THIS SECTION AND SHALL BE MAINTAINED AFTER REPLANTING FOR AN ADDITIONAL 18 MONTHS.
 - THE CONTRACTOR SHALL GUARANTEE THAT PLANTS SHALL BE IN VIGOROUS AND THRIVING CONDITION AT THE END OF THE GUARANTEE PERIOD. SHOULD ANY PLANTS APPEAR TO BE IN POOR HEALTH OR LACK NORMAL GROWTH HABIT, AS DETERMINED BY THE LANDSCAPE ARCHITECT, THEY SHALL BE REMOVED AT ONCE AND REPLACED.
 - DURING THE TIME BETWEEN THE INSTALLATION OF PLANTS AND THE BEGINNING OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SUPERINTENDENCE OF THE PLANTINGS. SHOULD ANY PLANT BE STOLEN OR OTHERWISE REMOVED, ANY SUCH PLANT SHALL BE REPLACED BY THE CONTRACTOR. THE GUARANTEE PERIOD WILL BEGIN WHEN ALL PLANTS ARE INSTALLED AS SHOWN AND SPECIFIED IN THESE PLANS.
 - WITHIN THE GUARANTEE PERIOD, THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY MAINTENANCE PRACTICES BEING FOLLOWED OR OBTAINED WHICH WOULD BE DETRIMENTAL TO THE HEALTHY VIGOROUS GROWING CONDITIONS OF PLANTS.
 - INSPECTION TO DETERMINE WORK COMPLETION FOR BEGINNING THE ONE-YEAR GUARANTEE PERIOD WILL BE MADE BY THE OWNER AND LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH INSPECTION SUBMITTED BY THE CONTRACTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
 - AFTER INSPECTION, THE CONTRACTOR WILL BE NOTIFIED OF ANY DEFICIENCIES TO BE CORRECTED.
 - IF DEFICIENCIES ARE NOTED, A SECOND INSPECTION TO DETERMINE WORK COMPLETION FOR BEGINNING THE ONE-YEAR GUARANTEE PERIOD WILL BE MADE BY THE OWNER AND LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH INSPECTION SUBMITTED BY THE CONTRACTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
 - ONCE ANY AND ALL DEFICIENCIES ARE ADDRESSED, THE CONTRACTOR WILL BE NOTIFIED OF THE DATE THAT THE WORK HAS BEEN APPROVED FOR BEGINNING THE GUARANTEE PERIOD.
 - ONE-YEAR FROM THE FROM THE START OF THE PLANT GUARANTEE PERIOD, OR 18 MONTHS AFTER PLANTING, WHICHEVER IS GREATER, THE CONTRACTOR, OWNER AND LANDSCAPE ARCHITECT WILL INSPECT THE SITE TO LOCATE ANY PLANTS THAT ARE NOT IN A VIGOROUS AND THRIVING CONDITION. A SITE INSPECTION REPORT WILL BE ISSUED TO THE CONTRACTOR. THE CONTRACTOR WILL HAVE 30 DAYS TO REPLACE ANY PLANTS IDENTIFIED AS FAILING THE GUARANTEE STANDARD.

- SOIL PREPARATION:**
 - NOTES IN THIS SECTION APPLY TO ALL PLANTING AREAS OTHER THAN LANDSCAPED PCBM BMPs. SOIL PREPARATION REQUIREMENTS FOR PCBM BMPs CAN BE FOUND ON SHEET # ###.
 - PRIOR TO PLANTING, THE LANDSCAPE CONTRACTOR SHALL OBTAIN, AND FORWARD TO THE LANDSCAPE ARCHITECT, SOIL AGRONOMY TESTING REPORTS FROM AN APPROVED SOILS LABORATORY SUCH AS THE PENNSYLVANIA STATE UNIVERSITY'S AGRICULTURAL ANALYTICAL SERVICES LABORATORY. TESTS SHALL BE COMPLETED FOR EACH EXISTING SOIL TYPE AND FOR EACH BATCH OF IMPORTED TOPSOIL. TESTS TO INCLUDE SOIL FERTILITY, PARTICLE SIZE, SAND SIEVE ANALYSIS, ORGANIC MATTER AND SOLUBLE SALTS. CONTRACTOR TO REQUEST SOIL AMENDMENT RECOMMENDATIONS FOR EACH CATEGORY OF TURF AND/OR LANDSCAPE PLANT TO BE INSTALLED IN THE SUBJECT SOIL.
 - ALL SOIL AMENDMENTS SHALL BE INSTALLED PER THE SOIL AGRONOMY REPORT, AND SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
 - PERENNIAL, ANNUAL AND BULB PLANTING AREAS SHALL HAVE AMENDED SOILS AS FOLLOWS FOR EACH 100 S.F. AREA:
 - 6 CU. FT. OF CLEAN COMPOST
 - 5-6 LBS. MILORGANITE OR EQUAL
 - 2-3 LBS. OF 0-20-20 FERTILIZER
 - AGRIFORM 20-10-5 PLANTING TABLETS OR EQUIVALENT SHALL BE USED FOR ALL TREE AND SHRUB PLANTINGS PER THE MANUFACTURER'S SPECIFICATIONS. TABLETS ARE NOT A REPLACEMENT FOR AMENDMENTS REQUIRED BY THE SOIL AGRONOMY TEST RESULTS.
 - APPLY AMENDMENTS ON-SITE, AND MIX SOIL TO FULLY ADDRESS ALL EXISTING SOIL DEFICIENCIES. DO NOT APPLY AMENDMENTS NOR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
 - LANDSCAPE PLANTING AREAS SHALL BE FREE OF ANY DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE RUBBLE, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE TAR, ROOFING COMPOUND, ACID, AND STONES LARGER THAN 3" IN ANY DIRECTION.
 - TOPSOIL SHALL BE PLACED AT A MINIMUM DEPTH OF 6".
 - IN ALL PLANTING AREAS, IF INSUFFICIENT TOPSOIL IS PRESENT PRIOR TO PLANTING, THE SITE CONTRACTOR SHALL PROVIDE AND PLACE THE REQUIRED TOPSOIL AT THE LANDSCAPE CONTRACTOR'S REQUEST. THE TOPSOIL SHALL BE ROUGH GRADED BY THE SITE CONTRACTOR AND FINISH GRADED BY THE LANDSCAPE CONTRACTOR.
 - CONTRACTOR SHALL KILL OFF ANY EXISTING TURF AND UNWANTED VEGETATION WITHIN PROPOSED BED LIMITS. COMPLETE REMOVAL OF TURF BY MEANS OF A SOD CUTTER OR SCUFFING IS AN ACCEPTABLE ALTERNATIVE METHOD TO HERBICIDE APPLICATION. IF HERBICIDE IS NOT USED, THE CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING PLANT ROOTS.

- MULCH:**
 - THE CONTRACTOR MAY APPLY A PRE-EMERGENT HERBICIDE PER THE MANUFACTURER'S SPECIFICATIONS TO THE ENTIRE PLANTING BED FOR CONTROL OF WEED GERMINATION.
 - A LAYER OF 3" THICK DOUBLE SHREDED HARDWOOD MULCH DYED BROWN OR BLACK SHALL BE APPLIED ACROSS THE ENTIRE PLANTING BED AREA UNLESS OTHERWISE INDICATED ON THE PLAN.
 - MULCH SHALL NOT COVER THE CROWNS OF ANY HERBACEOUS PLANTS, NOR THE ROOT FLARES OF ANY WOODY PLANTS.
 - PLACE "DEWITT" 15 YEAR WEED BARRIER" WOVEN POLYPROPYLENE OR APPROVED EQUAL IN ALL PLANTED BEDS AND AT EACH TREE RING.
- SEED/SOD ESTABLISHMENT NOTES:**
 - GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULING FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
 - TURFGRASS SOD SHALL COMPLY WITH "SPECIFICATIONS FOR TURFGRASS SOD MATERIALS" IN TPI GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING. TURFGRASS SOD SHALL BE A VIABLE SOD OF UNIFORM DENSITY, COLOR, AND TEXTURE. IT SHALL BE STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT.
 - RECOMMENDED TIME OF TURFGRASS SEEDING IS SEPTEMBER 1ST TO OCTOBER 15TH. WHERE SPRING SEEDING IS NECESSARY, SEED NO LATER THAN APRIL 1ST FOR BEST RESULTS.
 - SOW RECOMMENDED SEED MIXTURE ADAPTED TO USE IN CLIMATIC CONDITIONS OF THE SPECIFIC SITE AREA.
 - PRIOR TO SEEDING AND/OR SODDING, REMOVE ANY EXISTING VEGETATION FROM PROPOSED LAWN AREAS.
 - EXCESS DEAD VEGETATION SHOULD BE TURNED UNDER, IF THE SITE IS NOT TOO WET FOR TILLING WITHOUT EXCESSIVE SOIL COMPACTION.
 - IF TOPSOIL HAS BEEN DEPLETED OR REMOVED IN THE AREA TO BE SEEDED OR SODDED, PROVIDE SOIL AMENDMENTS PER THE SOIL AGRONOMY REPORT.
 - DIVIDE TOTAL SEED QUANTITY INTO TWO EQUAL LOTS, SOWING ONE LOT IN ONE DIRECTION, AND THE SECOND LOT AT RIGHT ANGLES TO THE FIRST WITH A MECHANICAL SEEDER OR SPREADER.
 - EXTRA CARE SHALL BE TAKEN TO ELIMINATE DEPRESSIONS OR AIR POCKETS BY ROLLING OR TAMPING LAWN BASE BEFORE INSTALLATION. ALL SOD MUST BE DELIVERED AND INSTALLED WITHIN 36 HOURS OF BEING CUT. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE WITH STAGGERED JOINTS. IMMEDIATELY AFTER INSTALLATION, THE SOD SHALL BE WATERED TO A DEPTH OF 4" INTO THE SOIL.
 - MULCHING WITH STRAW, HYDROMULCH, OR FIBER MATS IS RECOMMENDED TO PROTECT SEED FROM DRYING OUT OR WASHING AWAY. HEAVY MULCHES SHOULD BE REMOVED FROM THE AREA WITHIN A FEW DAYS AFTER SEED GERMINATION.
 - BOUNDARIES OF NEWLY SEEDDED AREAS SHALL BE WELL DEFINED WITH SIGNS OR OTHER MARKERS TO DETER INTRUSION UNTIL LAWN AREAS ARE FULLY ESTABLISHED.
 - CONTRACTOR IS RESPONSIBLE FOR TURF MAINTENANCE UNTIL SATISFACTORY TURF IS ESTABLISHED, AS DETERMINED BY THE LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION.
- FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER PROCESSES. REPLACE MATERIALS AND TURF DAMAGED OR LOST IN AREAS OF SUBSIDENCE.**
 - IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH AND ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
 - APPLY TREATMENTS AS REQUIRED TO KEEP TURF AND SOIL FREE OF PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS.
- WATERING: INSTALL AND MAINTAIN TEMPORARY PIPING, HOSES, AND TURF-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND TO KEEP TURF UNIFORMLY MOIST TO A DEPTH OF 4 INCHES.**
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER TURF WITH FINE SPRAY AT A MINIMUM RATE OF 1 INCH PER WEEK UNLESS RAINFALL PRECIPITATION IS ADEQUATE.
- MOW TURF AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIED HEIGHT WITHOUT CUTTING MORE THAN ONE-THIRD OF GRASS HEIGHT. REMOVE NO MORE THAN ONE-THIRD OF GRASS-LEAF LENGTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT MOW UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET.
- TURF POST-FERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY. USE FERTILIZER THAT PROVIDES ACTUAL NITROGEN OF AT LEAST 1 LB/1000 SQ. FT. TO TURF AREA.
- SATISFACTORY TURF - TURF INSTALLATIONS SHALL MEET THE FOLLOWING CRITERIA AS DETERMINED BY LANDSCAPE ARCHITECT/ENGINEER: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 70 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
- CONTRACTOR TO USE SPECIFIED MATERIALS TO REESTABLISH TURF THAT DOES NOT COMPLY WITH REQUIREMENTS, AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES					
AL	5	Amelanchier laevis	Allegheny Serviceberry	2" - 2.5" Cal.	B&B
CC	5	Cercis canadensis 'Merlot'	Merlot Eastern Redbud	2" - 2.5" Cal.	B&B
GT	3	Gleditsia triacanthos inermis 'Impcole'	Imperial® Honey Locust	2" - 2.5" Cal.	B&B
MV	4	Magnolia virginiana	Sweetbay Magnolia	2" - 2.5" Cal.	B&B
ZS	3	Zelkova serrata	Japanese Zelkova	2" - 2.5" Cal.	B&B
SHRUBS					
BM	6	Buxus microphylla 'Little Missy'	Little Missy Littleleaf Boxwood	1 gal.	Cont.
LMV	16	Liriope muscari 'Variegata'	Variegated Lilyturf	3.5"	Pot
NF	11	Nepeta x 'Walker's Low'	Walker's Low Catmint	12" - 18"	Pot
PL	7	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	3 gal.	Cont.

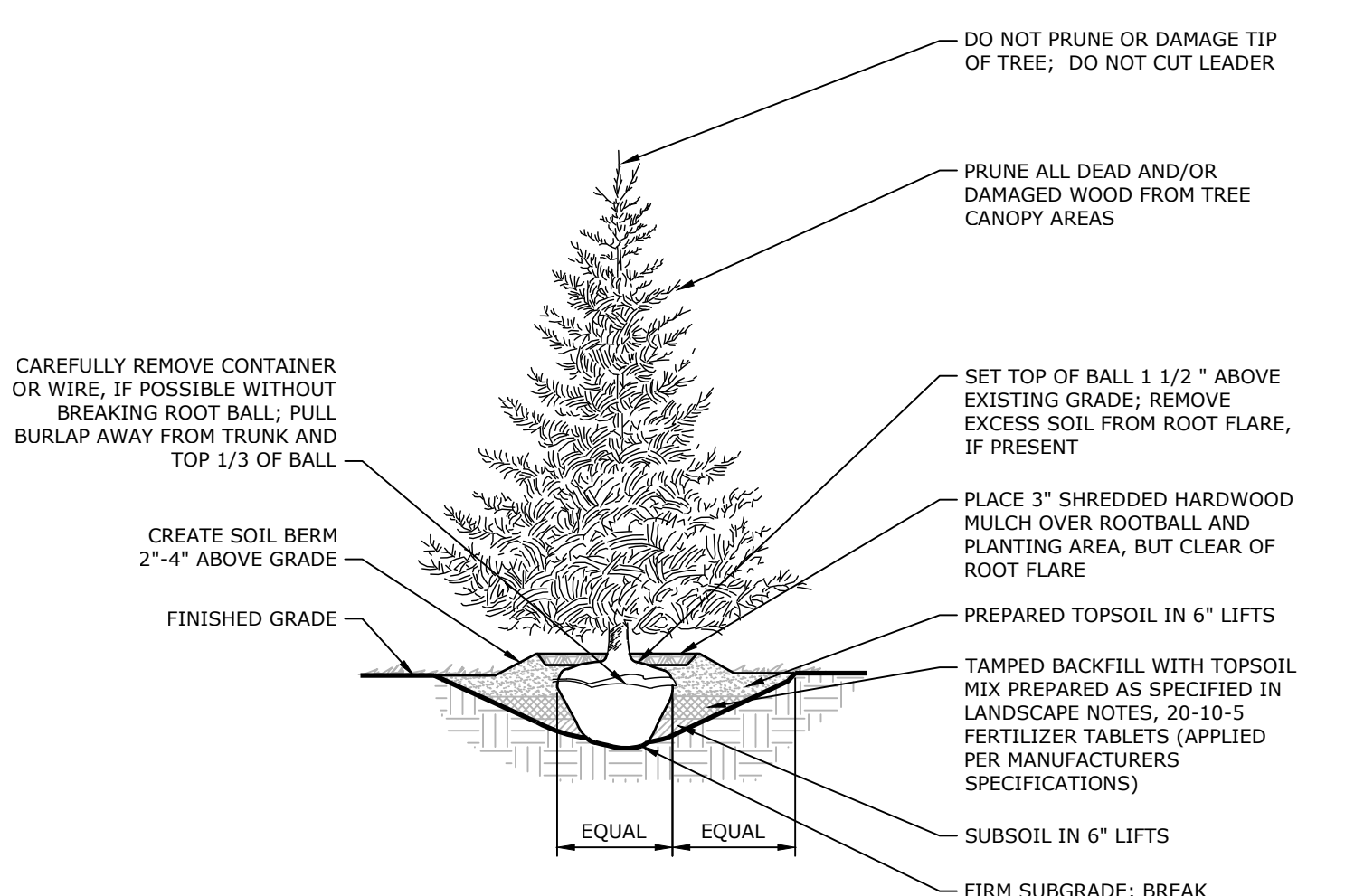
PLANT SCHEDULE



- PLANT SPECIFICATION NOTES:**
- ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
 - ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE.
 - ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE.
 - REQUIREMENTS FOR TREE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, AS AMENDED.
 - SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

1 TYPICAL DECIDUOUS TREE PLANTING

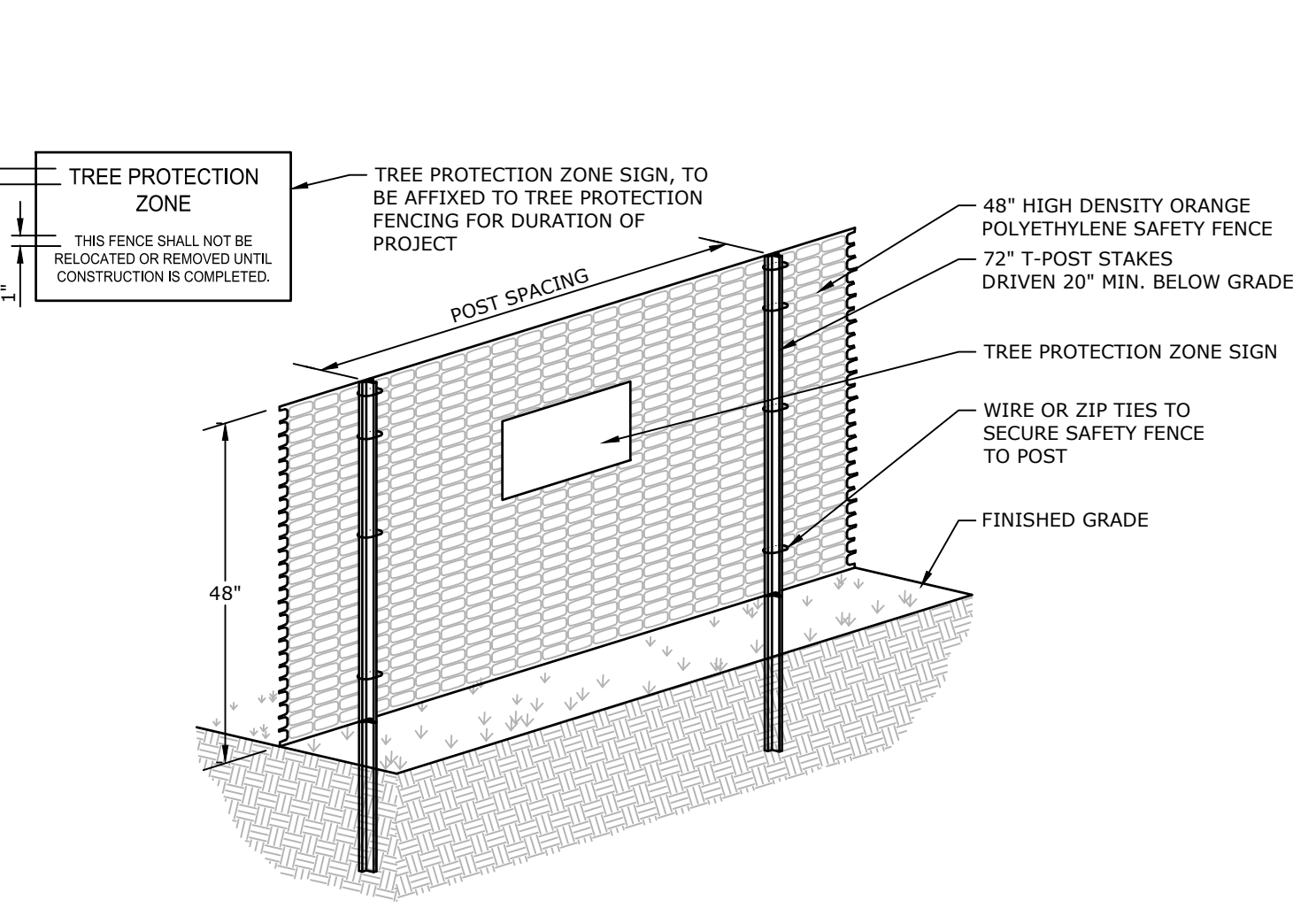
NOT TO SCALE



- PLANT SPECIFICATION NOTES:**
- ALL TREES SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
 - ALL TREES SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE.
 - ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE.
 - REQUIREMENTS FOR TREE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, AS AMENDED.
 - SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

3 TYPICAL EVERGREEN TREE PLANTING

NOT TO SCALE



- ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON PLANS.
- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH ORANGE POLYETHYLENE SAFETY CONSTRUCTION FENCE. INSTALL ORANGE CONSTRUCTION FENCE OUTSIDE THE TREE PROTECTION ZONE (TPZ) NOTED ON THE PLANS. SEE SHEET 3. ORANGE CONSTRUCTION FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
- ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON THE PLAN.
- THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- POST SPACING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

4 TYPICAL SHRUB PLANTING

NOT TO SCALE



- PLANT SPECIFICATION NOTES:**
- SET PLANTS AT SAME FINISHED GRADE AS GROWN IN THE NURSERY.
 - ALL SHRUBS SHALL HAVE BEEN NURSERY GROWN IN A CLIMATE SIMILAR TO THAT OF THE FINAL PLANTING SITE.
 - ALL SHRUBS SHALL HAVE A NORMAL GROWTH HABIT AND SHALL BE SOUND, HEALTHY AND VIGOROUS; THEY SHALL BE FREE FROM DISEASE, INSECTS, INSECT EGGS, AND LARVAE.
 - ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE.
 - REQUIREMENTS FOR SHRUB MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING OF SHRUBS SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, AS AMENDED.
 - SEE LANDSCAPE NOTES FOR REQUIRED SOIL TESTING, PREPARATION AND AMENDMENT.

5 TREE PROTECTION ZONE (TPZ) FENCE DETAIL

NOT TO SCALE



- ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON PLANS.
- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH ORANGE POLYETHYLENE SAFETY CONSTRUCTION FENCE. INSTALL ORANGE CONSTRUCTION FENCE OUTSIDE THE TREE PROTECTION ZONE (TPZ) NOTED ON THE PLANS. SEE SHEET 3. ORANGE CONSTRUCTION FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
- ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED AS SHOWN ON THE PLAN.
- THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- POST SPACING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

NO.	DATE	REVISION

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CLIENT

SHEETZ, INC.
351 SHEETZ WAY
CLAYSBURG, PA 16825
(814) 239-8013

**SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
FINAL LAND DEVELOPMENT PLAN**

LANCASTER COUNTY, PA

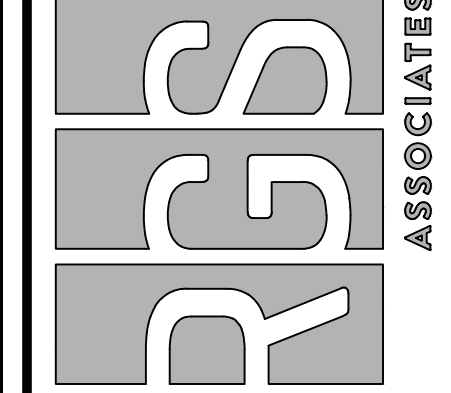
LANDSCAPE DETAILS

MOUNT JOY TOWNSHIP

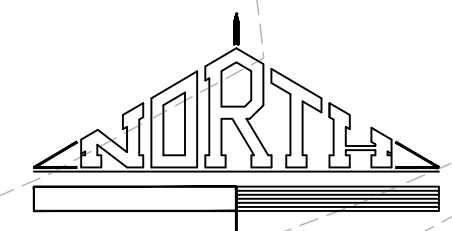
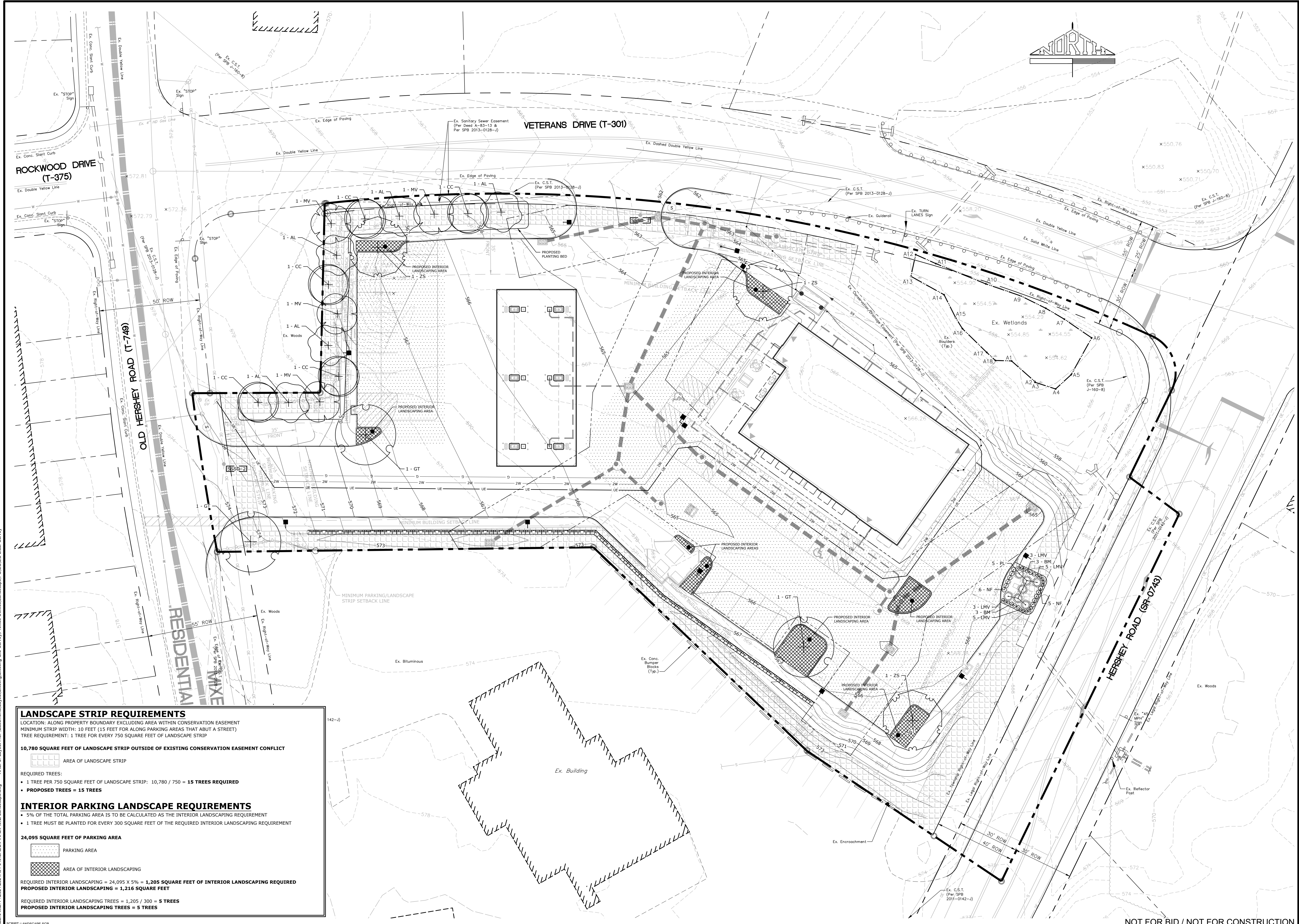
Land Planning
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Civil Engineering

Corporate Office:
53 West James Street
York, PA 17403
Phone: (717) 715-1386
www.gsassociates.com

Regional Offices:
York, Harrisburg, and Paeu



DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VERNARCHICK
SHEET NO.: LD-8 OF 32



LANDSCAPE STRIP REQUIREMENTS
 LOCATION: ALONG PROPERTY BOUNDARY EXCLUDING AREA WITHIN CONSERVATION EASEMENT
 MINIMUM STRIP WIDTH: 10 FEET (15 FEET FOR ALONG PARKING AREAS THAT ABUT A STREET)
 TREE REQUIREMENT: 1 TREE FOR EVERY 750 SQUARE FEET OF LANDSCAPE STRIP

10,780 SQUARE FEET OF LANDSCAPE STRIP OUTSIDE OF EXISTING CONSERVATION EASEMENT CONFLICT

AREA OF LANDSCAPE STRIP

REQUIRED TREES:

- 1 TREE PER 750 SQUARE FEET OF LANDSCAPE STRIP: 10,780 / 750 = 15 TREES REQUIRED
- PROPOSED TREES = 15 TREES

INTERIOR PARKING LANDSCAPE REQUIREMENTS

- 5% OF THE TOTAL PARKING AREA IS TO BE CALCULATED AS THE INTERIOR LANDSCAPING REQUIREMENT
- 1 TREE MUST BE PLANTED FOR EVERY 300 SQUARE FEET OF THE REQUIRED INTERIOR LANDSCAPING REQUIREMENT

24,095 SQUARE FEET OF PARKING AREA

PARKING AREA

AREA OF INTERIOR LANDSCAPING

REQUIRED INTERIOR LANDSCAPING = 24,095 X 5% = 1,205 SQUARE FEET OF INTERIOR LANDSCAPING REQUIRED
PROPOSED INTERIOR LANDSCAPING = 1,216 SQUARE FEET

REQUIRED INTERIOR LANDSCAPING TREES = 1,205 / 300 = 5 TREES
PROPOSED INTERIOR LANDSCAPING TREES = 5 TREES

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SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)
 FINAL LAND DEVELOPMENT PLAN

LANDSCAPE PLAN

SCALE: 1" = 20'

Land Planning
 Landscape Architecture
 Civil Engineering

Corporate Office:
 53 West James Street, PA, 17603
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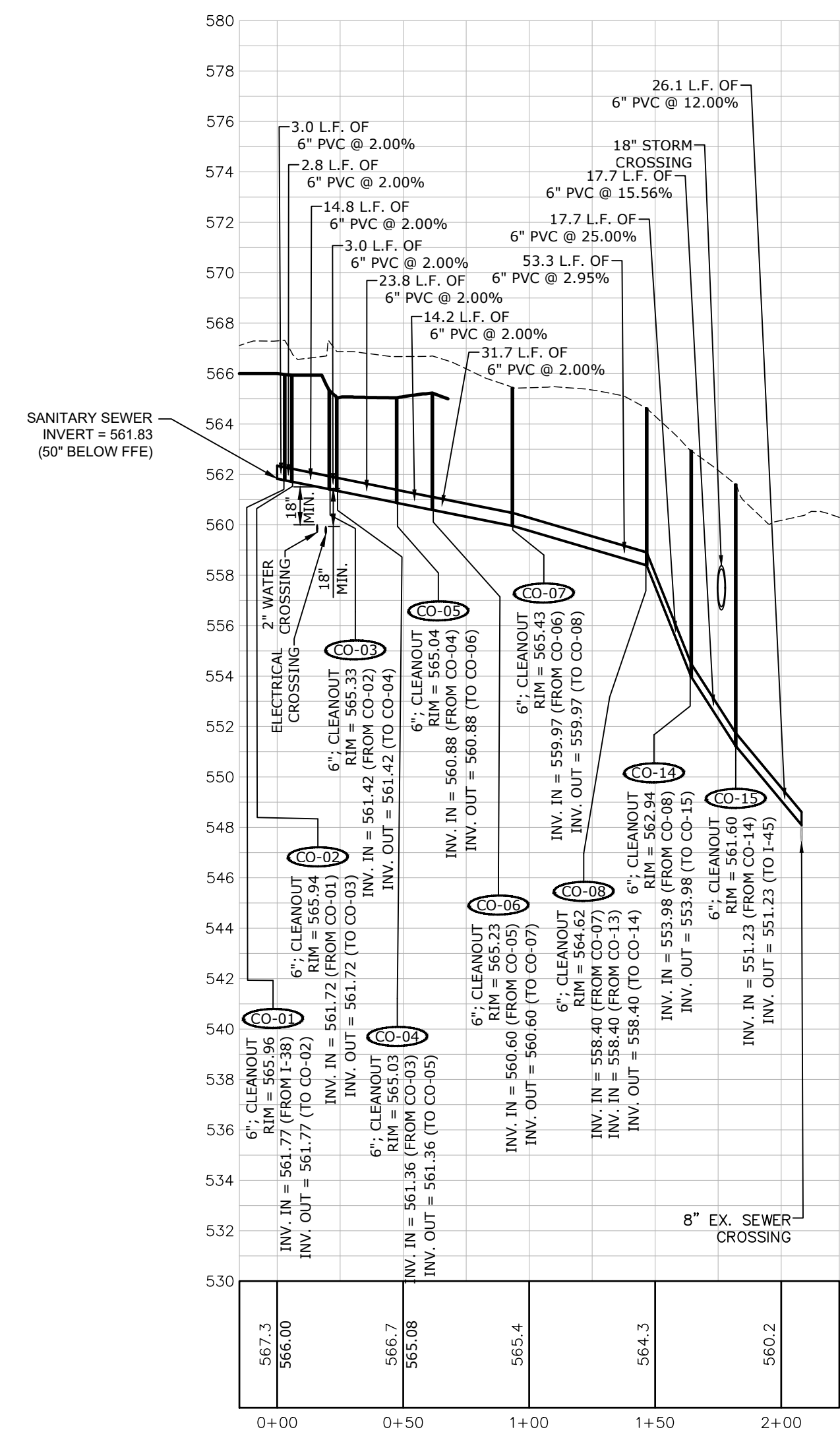
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 PROJECT NO.: 2024A84-019
 MANAGER: CHRIS VENARCHICK
 SHEET NO.: LD-9 OF 32

NOT FOR BID / NOT FOR CONSTRUCTION

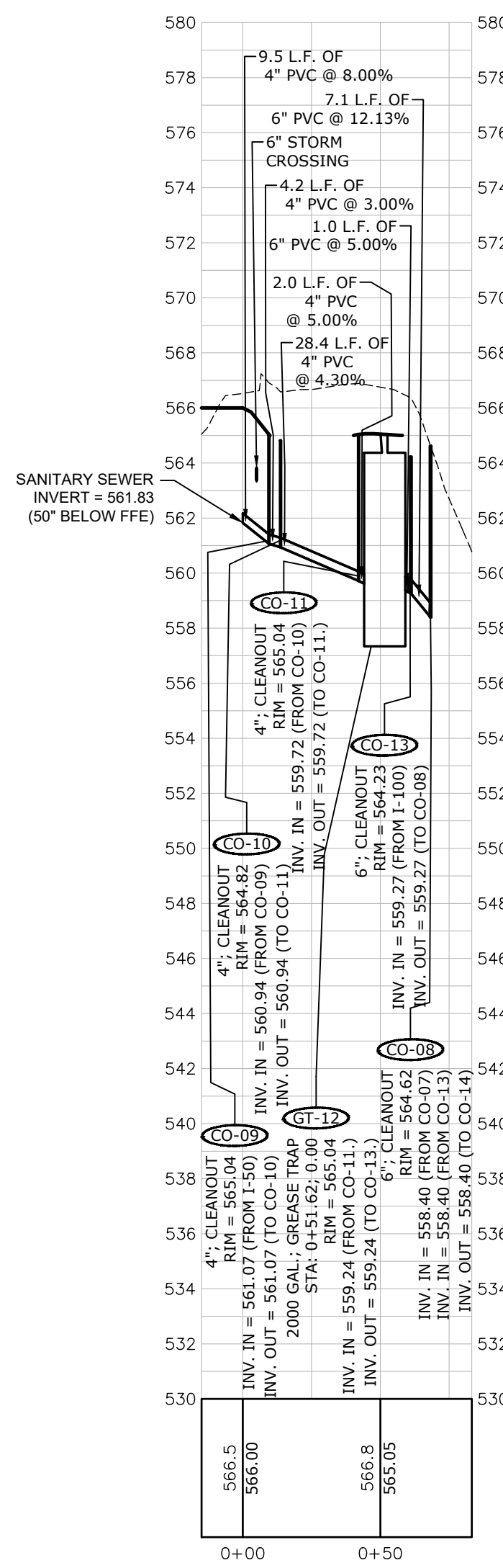
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LEGEND

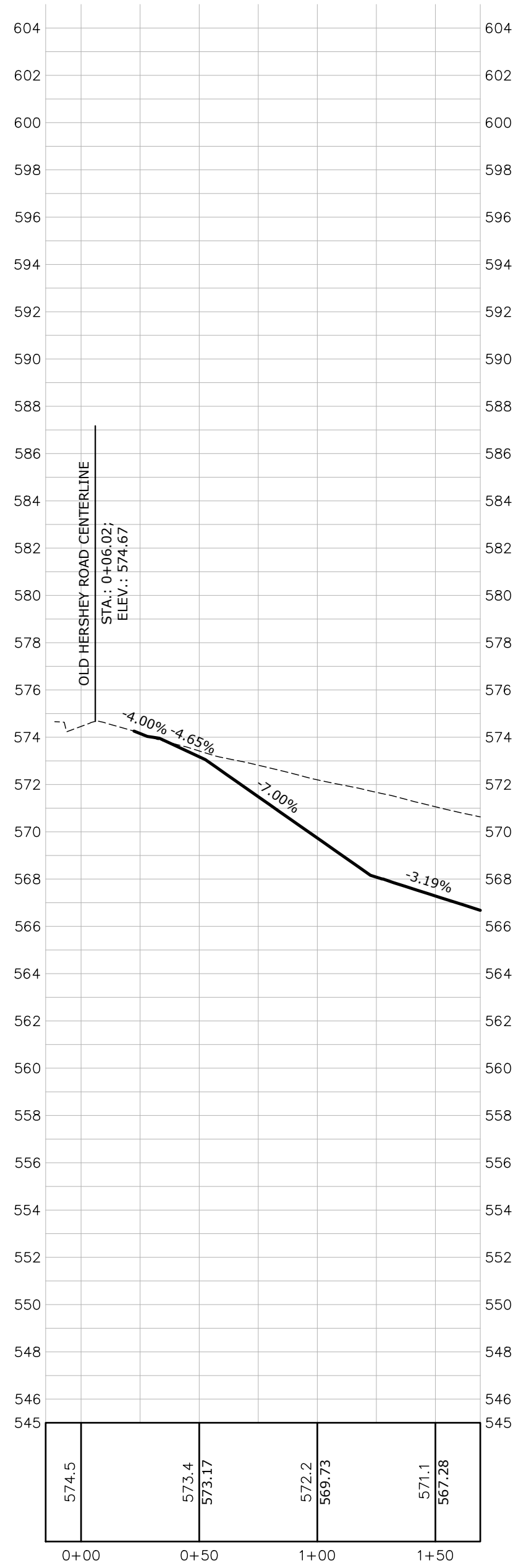
----- EXISTING GRADE ----- PROPOSED GRADE



SEWER SERVICE LATERAL
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



GREASE TRAP
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



ACCESS DRIVE FROM OLD HERSHEY ROAD
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'

NO.	DATE	REVISION

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 351 SHEETZ WAY
 CLAYSBURG, PA 16825
 (814) 238-8013

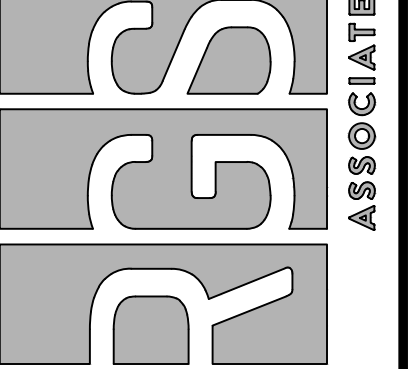
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**SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)**
 FINAL LAND DEVELOPMENT PLAN

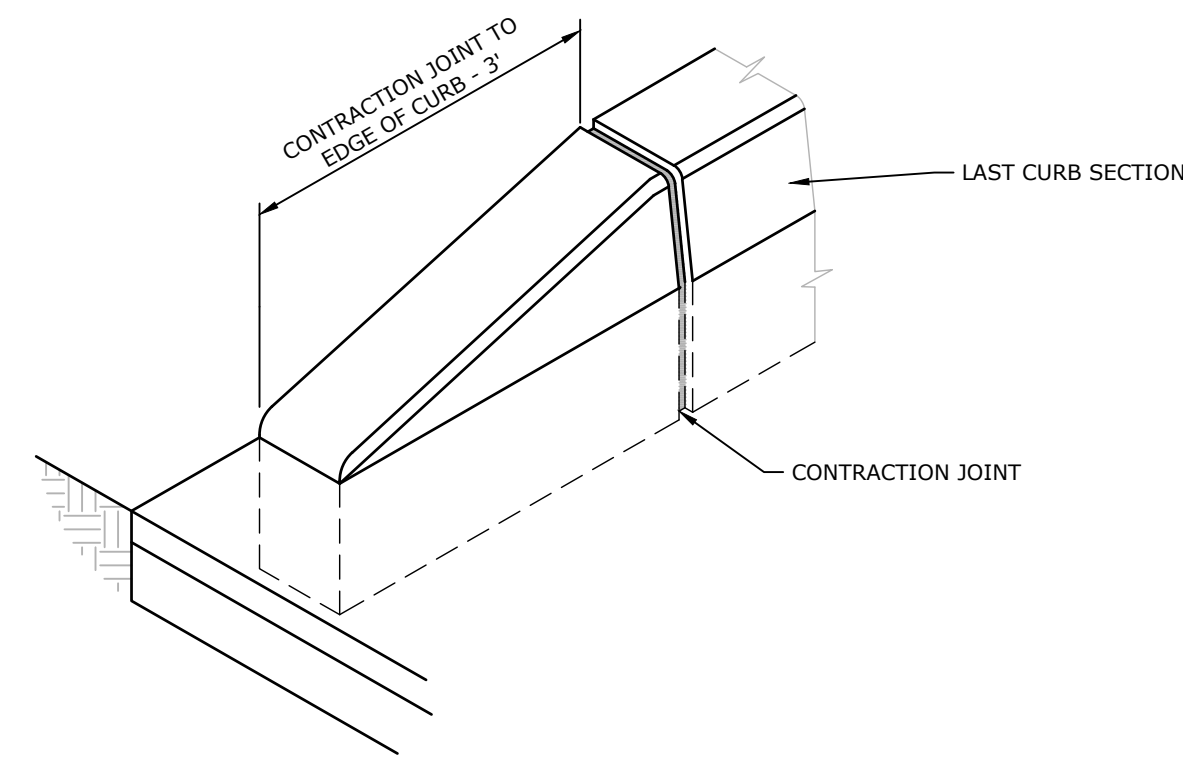
LANGCASTER COUNTY, PA
 MOUNT JOY TOWNSHIP

SEWER & ACCESS DRIVE PROFILES

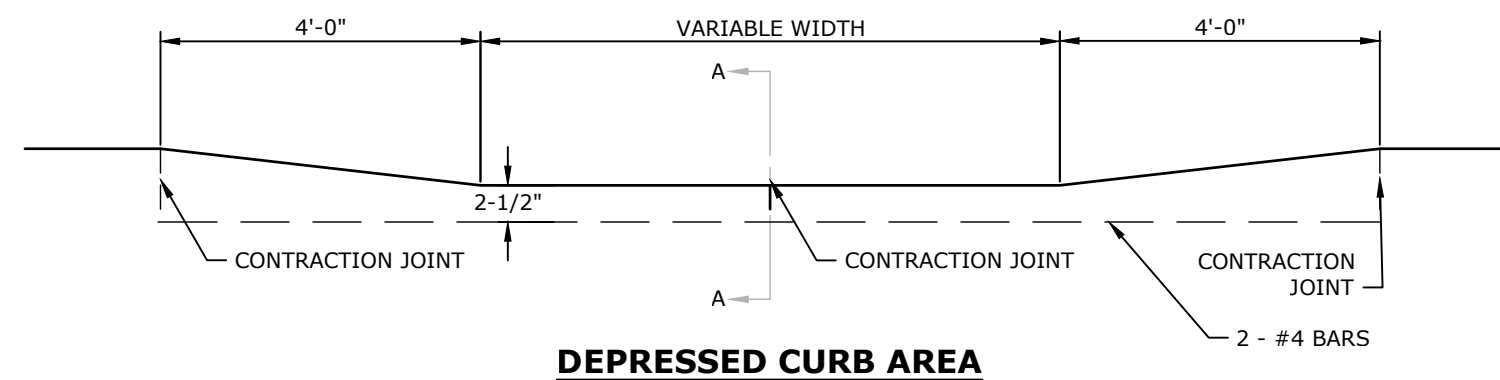
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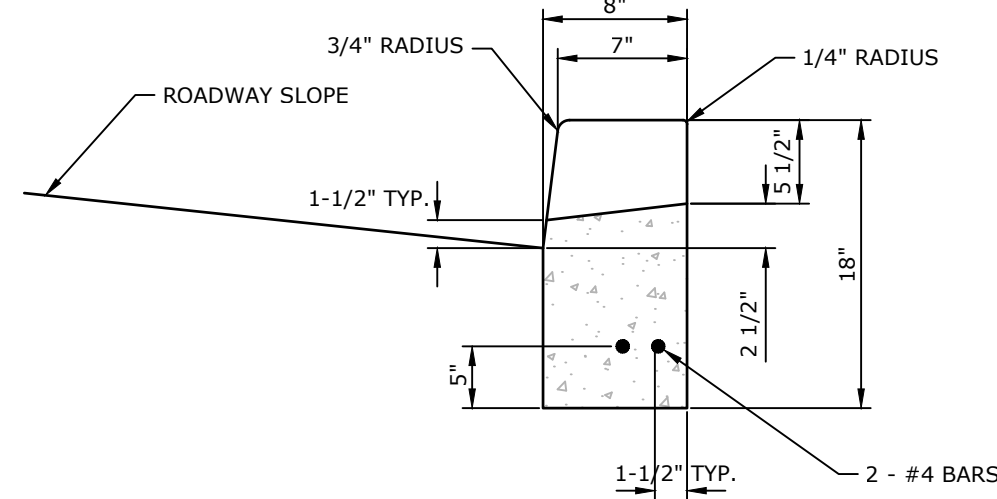
DATE:	NOVEMBER 22, 2024
PROJECT NO.:	2024A84-019
MANAGER:	CHRIS VENARCHCK
SHEET NO.:	LD-10 OF 32



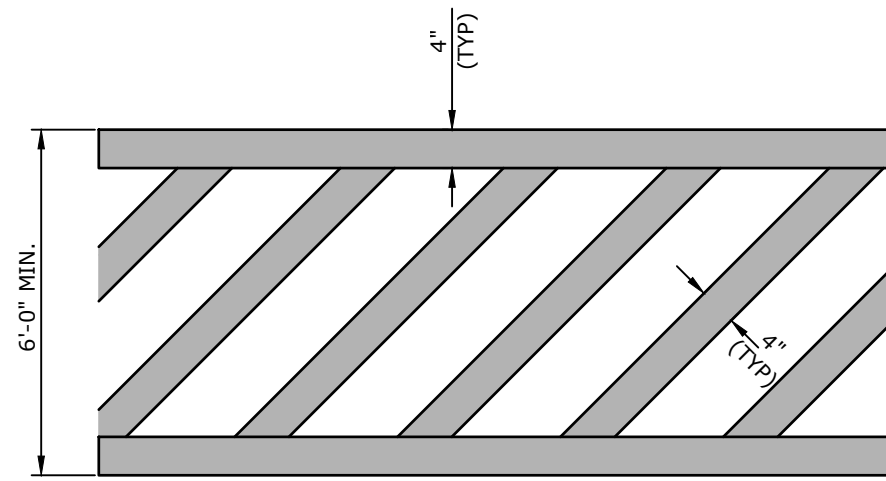
NOTES:
 1. EXPANSION JOINTS SHALL CONSIST OF 1/2" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL. EXPANSION JOINTS SHALL BE LOCATED AT ALL STRUCTURES AT THE END OF THE WORK DAY AND AT INTERVALS OF 100 FEET. CUT MATERIAL TO CONFORM WITH CROSS SECTIONAL AREA OF CURB.
 2. CONTRACTION JOINTS SHALL CONSIST OF A 2" DEEP, 3/16" WIDE SAW CUT AND BE PLACED AT UNIFORM LENGTHS OF 20 FOOT INTERVALS MAXIMUM AND 4 FOOT INTERVALS MINIMUM.



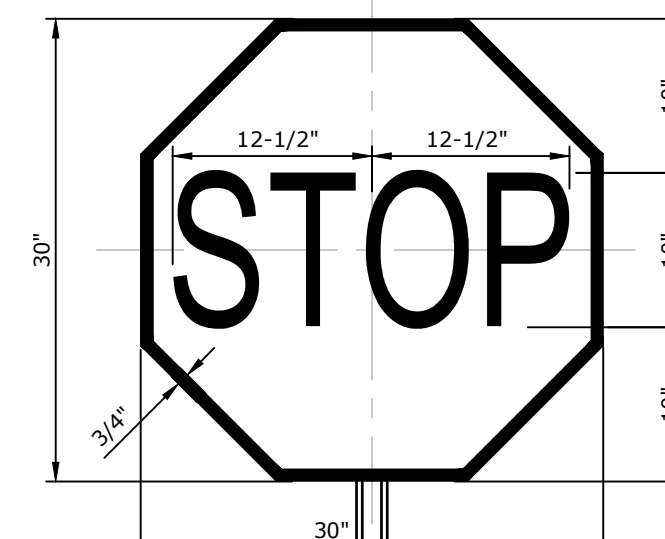
DEPRESSED CURB AREA



SECTION A-A



TYPE X THERMOPLASTIC CROSSWALK DETAIL



NOTE
 1. ROADWAY SIGNAGE PLACEMENT AND INSTALLATION SHALL BE COORDINATED WITH THE TOWNSHIP ENGINEER.

DETAIL TO BE PLACED AND USED ON PLANS ONLY WHEN REQUIRED BY A TOWNSHIP.

DETAIL TO BE USED WITH SI-009 - TYPICAL SIGN POST DETAIL

STOP SIGN

1 VERTICAL CURB TERMINATION NOT TO SCALE

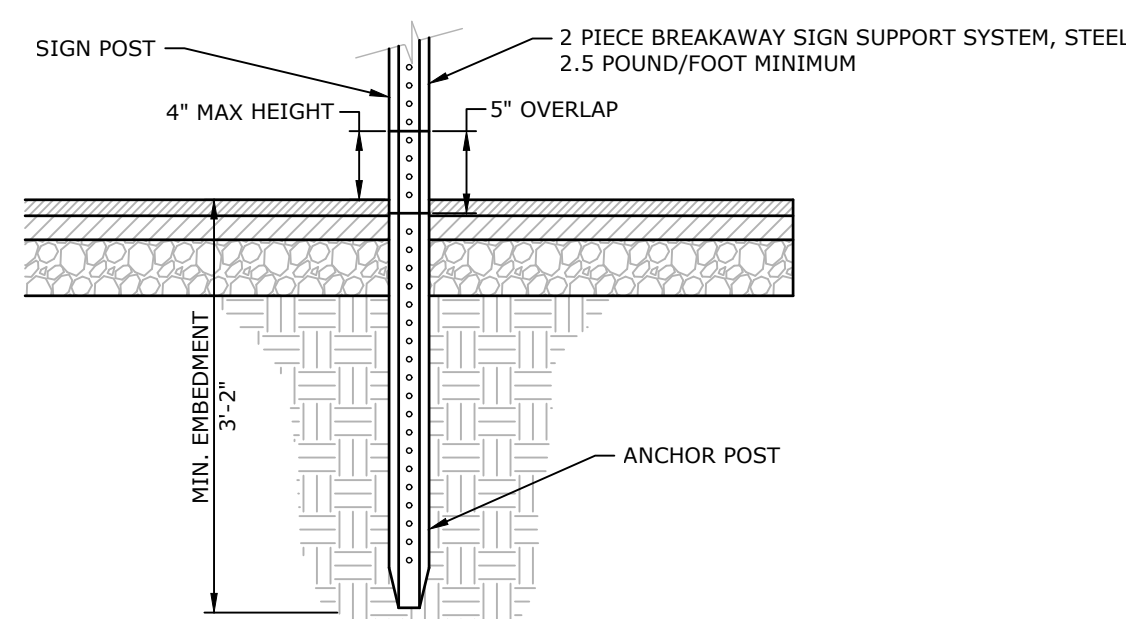
2 DEPRESSED CURB NOT TO SCALE

3 TYPE X THERMOPLASTIC CROSSWALK DETAIL NOT TO SCALE

4 STOP SIGN NOT TO SCALE

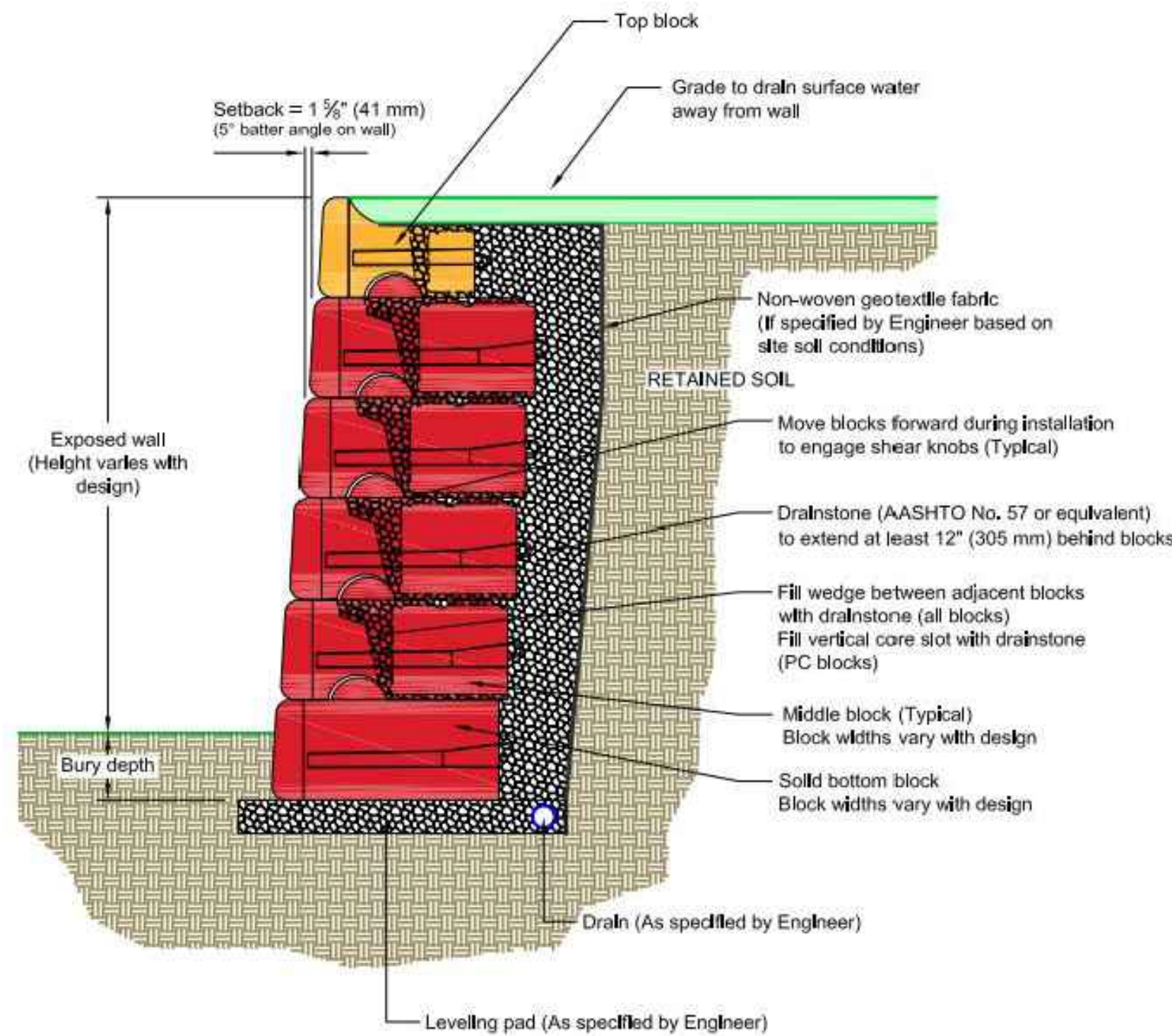
SIGN	MUTCD CODE
STOP	R1-1
NO PARKING	R7-x
NO PARKING (SYMBOL)	R8-3A
HANDICAP PARKING	R7-8
LEFT LANE MUST TURN LEFT	R3-7
PEDESTRIAN CROSSING	W11-2

NOTES:
 1. POSTS SHALL BE SQUARE BREAKAWAY POST SYSTEM CONSISTING OF A 14 GAUGE GALVANIZED STEEL SQUARE POST, 3'-6" ANCHOR AND A 12 GAUGE 2.25" TOP SECTION.
 2. THE POST SHALL BE CORNER WELDED WITH 7/16" HOLES ON CENTER, ON ALL FOUR SIDES AND BASE, ONLY THE HOLES USED FOR MOUNTING SIGNS SHALL BE PUNCHED OUT. THE COATING SHALL BE HOT DIPPED GALVANIZED WITH A COATING DESIGNATION OF G-140.
 3. A COMPLETE POST SYSTEM SHALL CONSIST OF AN ANCHOR SECTION OF AT LEAST 3'-6" LONG, A SQUARE TOP POST AT LEAST TEN FEET LONG, A CORNER BOLT AND A RAIN CAP.
 4. ANY FREESTANDING SIGN IN A PARKING LOT SHALL BE MOUNTED AS SHOWN. PROVIDE SIGNAGE ON BOTH SIDES OF POST WHEN REQUIRED.
 5. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PUBLICATION 408 AND TC-8702B.



SIGN POST

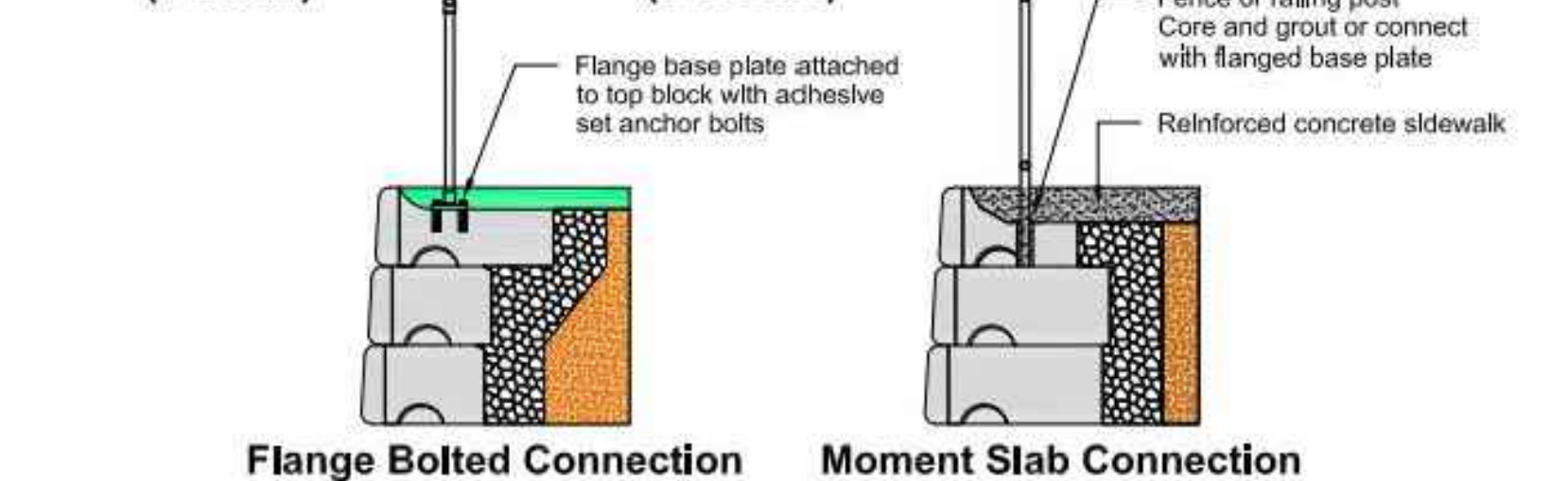
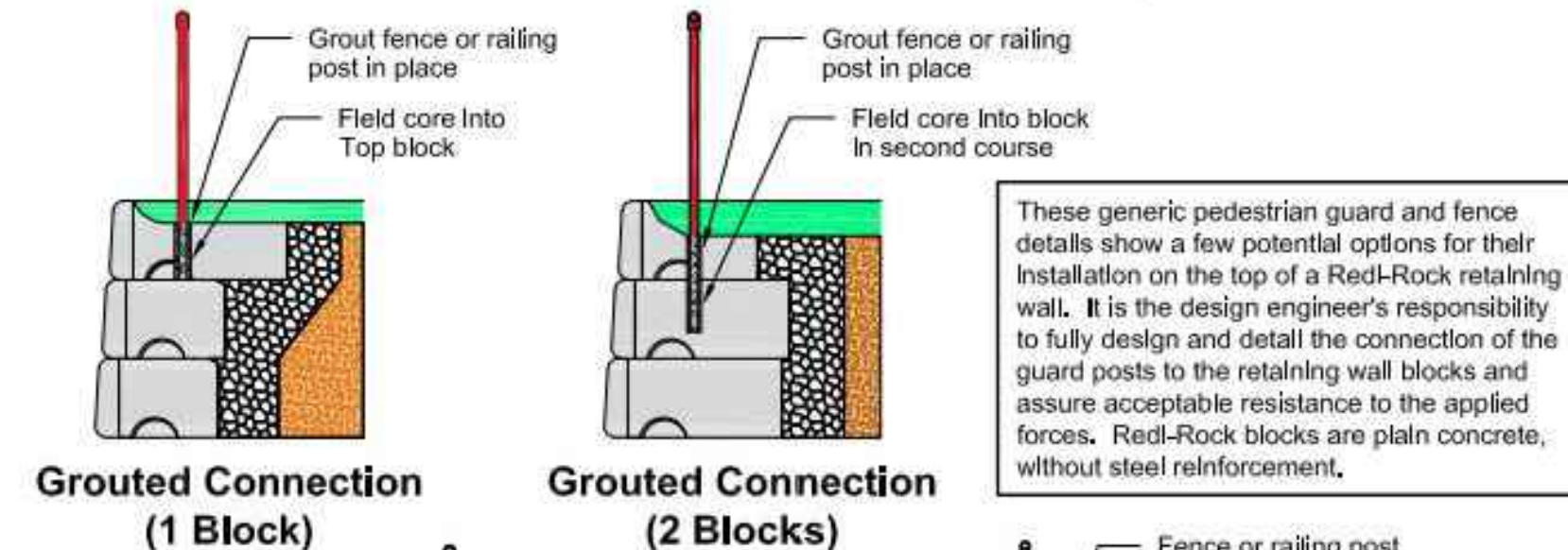
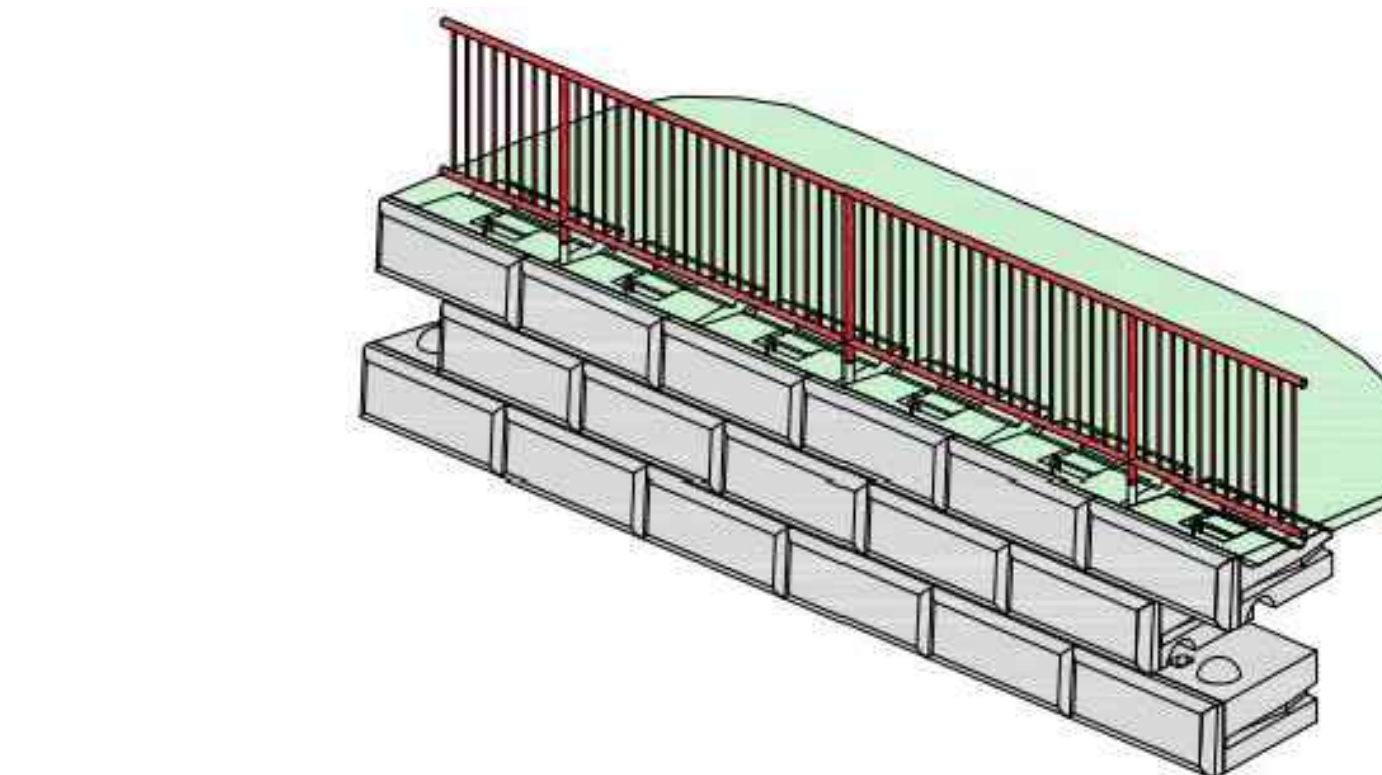
5 SIGN POST NOT TO SCALE



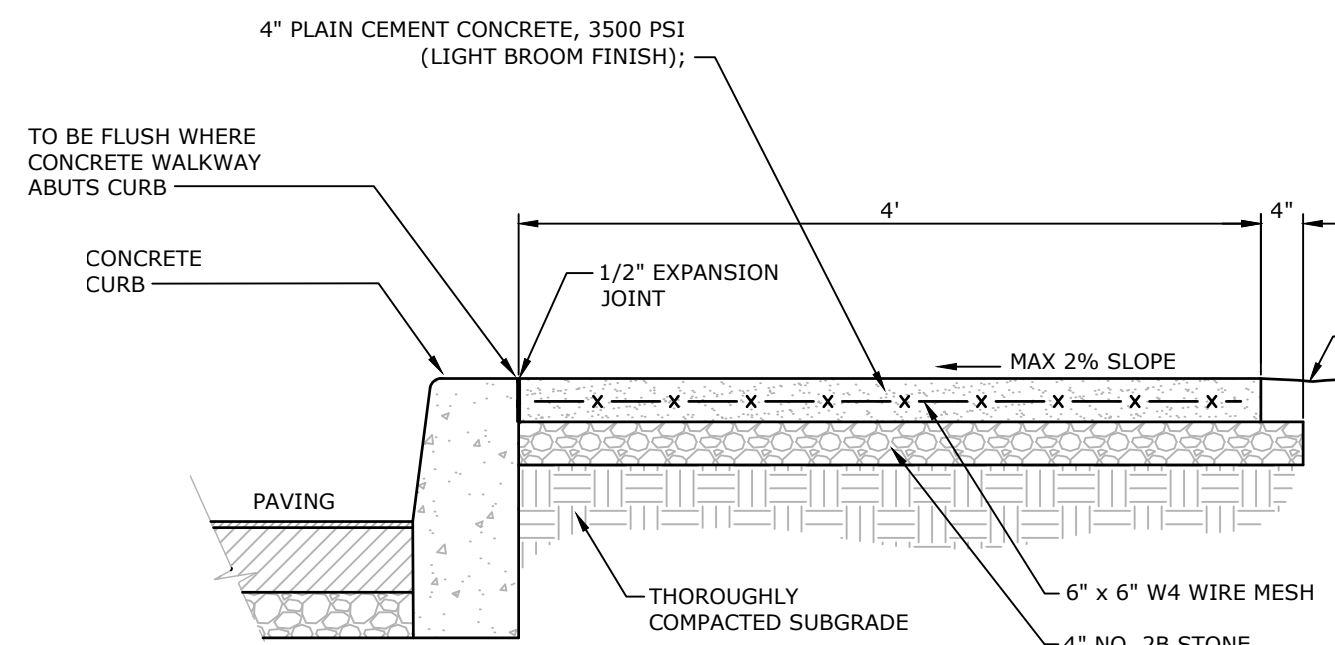
NOTES:
 • THIS DRAWING IS FOR REFERENCE ONLY. DETERMINATION OF THE SUITABILITY AND/OR MANNER OF USE OF ANY DETAILS CONTAINED IN THIS DOCUMENT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER OF RECORD. FINAL PROJECT DESIGNS, INCLUDING ALL CONSTRUCTION DETAILS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.
 • CONTRACTOR TO COORDINATE COLOR WITH SHEETZ.

TYPICAL GRAVITY WALL DETAIL (REDIROCK)

6 TYPICAL GRAVITY WALL DETAIL (REDIROCK) NOT TO SCALE



7 FENCE OR PEDESTRIAN GUARD CONNECTION OPTIONS (REDIROCK) NOT TO SCALE



NOTES:
 1. CONCRETE SHALL BE PLACED SO THAT THERE IS A SEPARATE JOINT EVERY FIVE (5) FEET WITH AN EXPANSION JOINT EVERY TWENTY (20) FEET.
 2. THERE SHALL BE ONE-HALF (1/2) INCH PRE-MOLDED EXPANSION JOINTS BETWEEN EVERY FIFTH SECTION AND BETWEEN ALL POINTS WHERE CONCRETE SIDEWALK ABUTS CONCRETE CURB.

8 TYPICAL CONCRETE SIDEWALK SECTION WITH CURB

8 TYPICAL CONCRETE SIDEWALK SECTION WITH CURB NOT TO SCALE

NO.	DATE	REVISION

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CLIENT
 SHEETZ, INC.
 351 SHEETZ WAY
 CLAYSBURG, PA 16825
 (814) 339-8013

AS NOTED

SHEETZ - ELIZABETHTOWN, PA (VETERANS DRIVE)
 FINAL LAND DEVELOPMENT PLAN

MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

Land Planning
 Landscape Architecture
 Civil Engineering

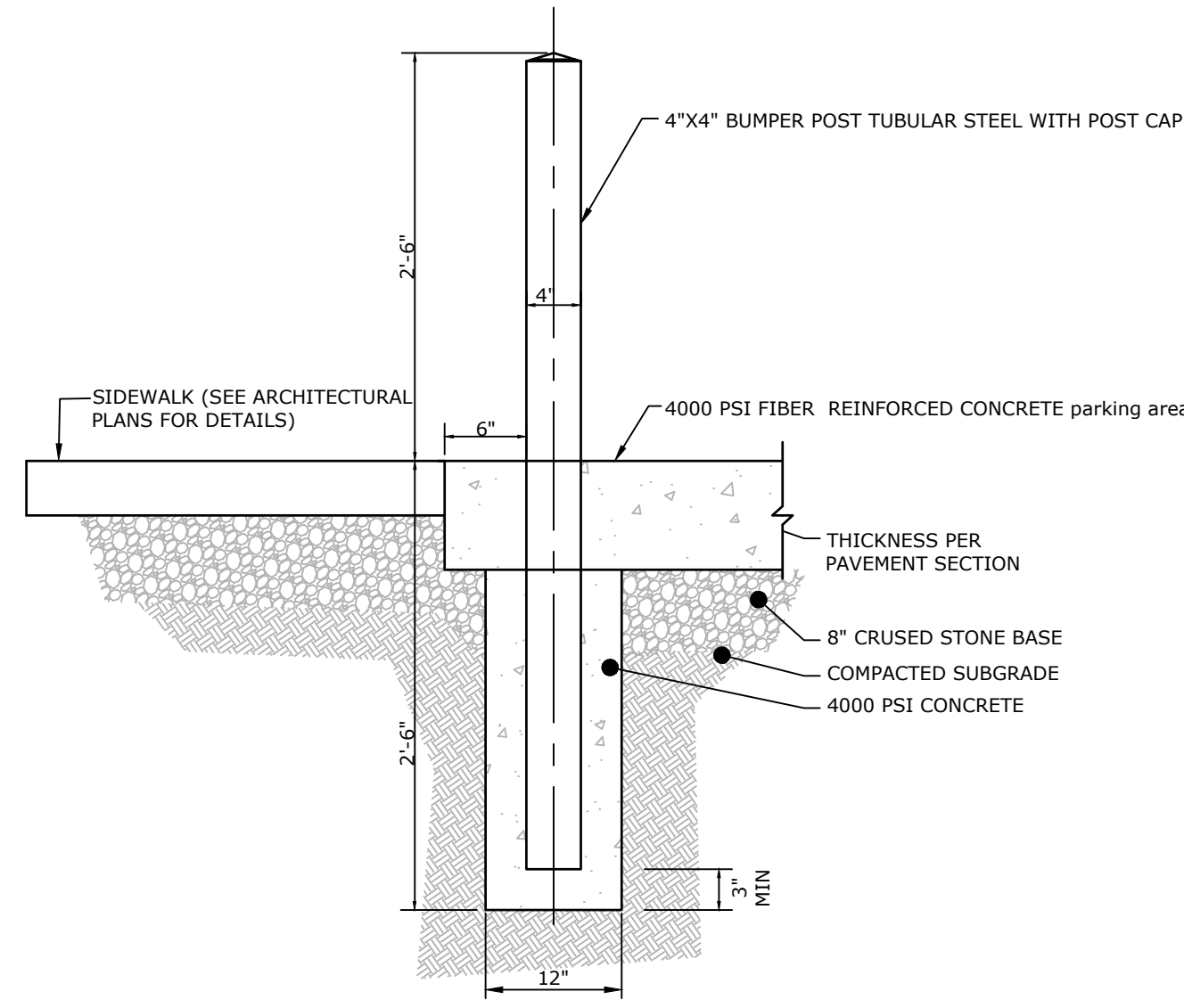
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 York, PA 17403
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 www.rgsassociates.com

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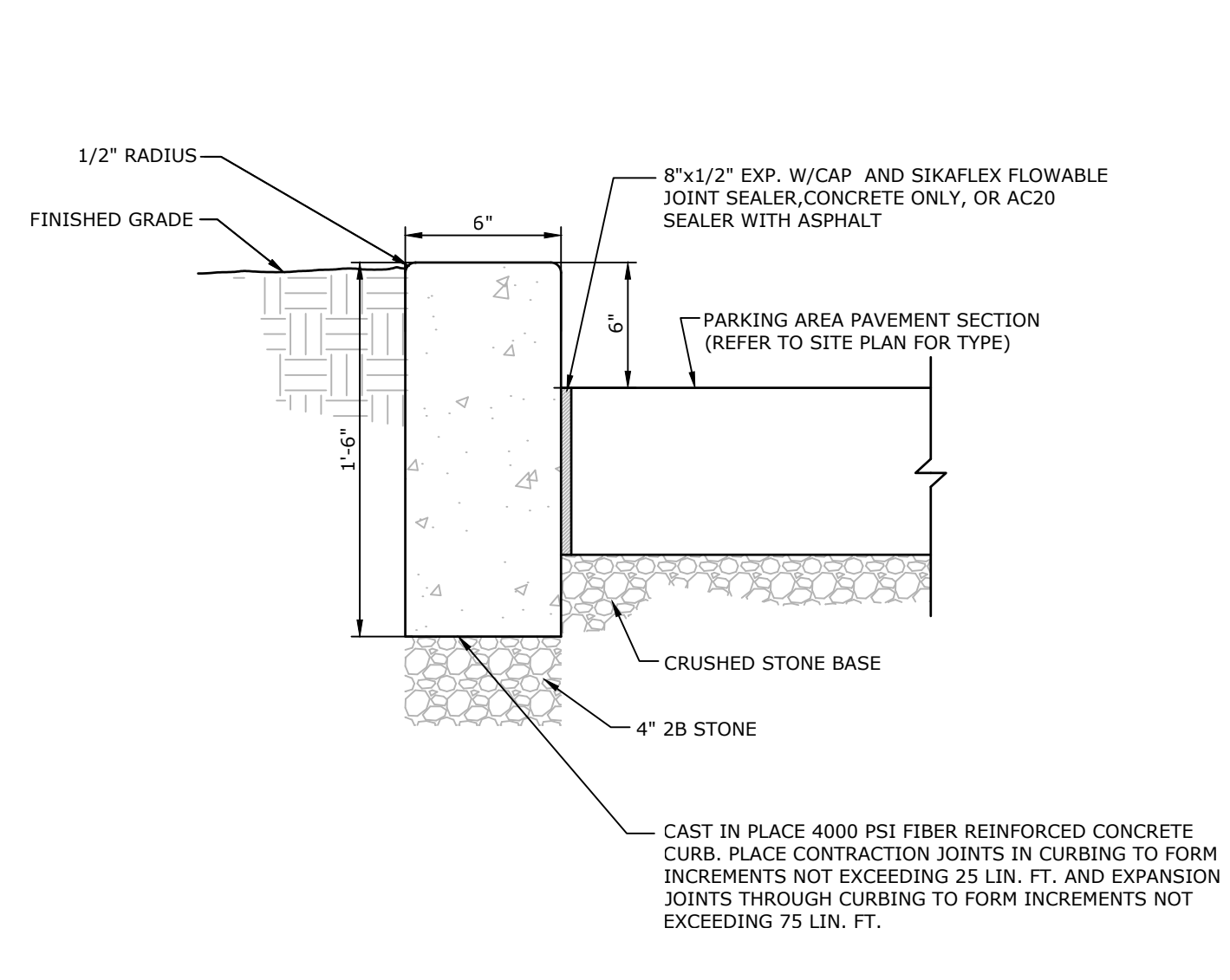
rgs ASSOCIATES

DATE: NOVEMBER 22, 2024
 PROJECT NO.: 2024A84-019
 MANAGER: CHRIS VENARCHICK
 SHEET NO.: LD-11 OF 32

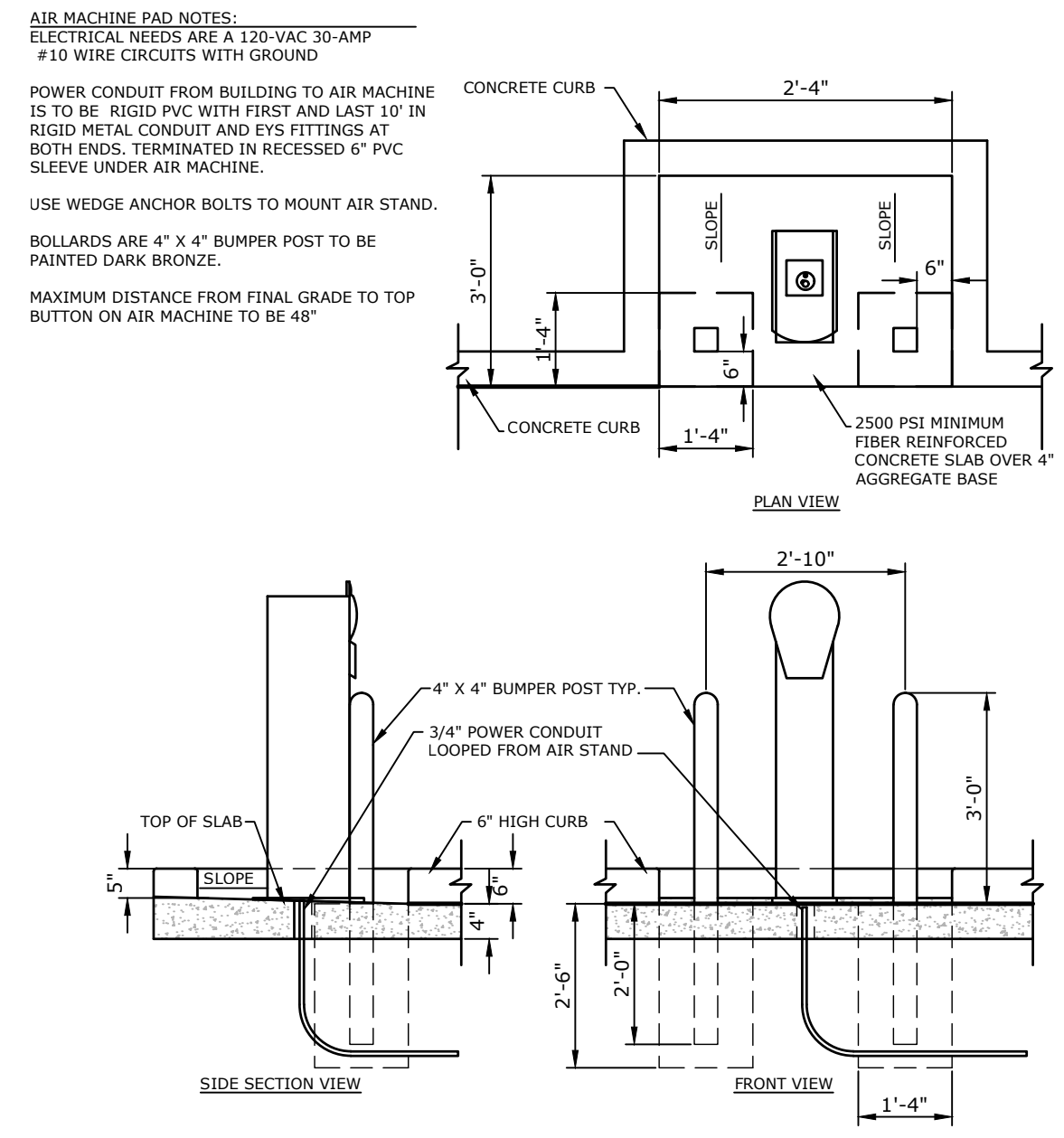
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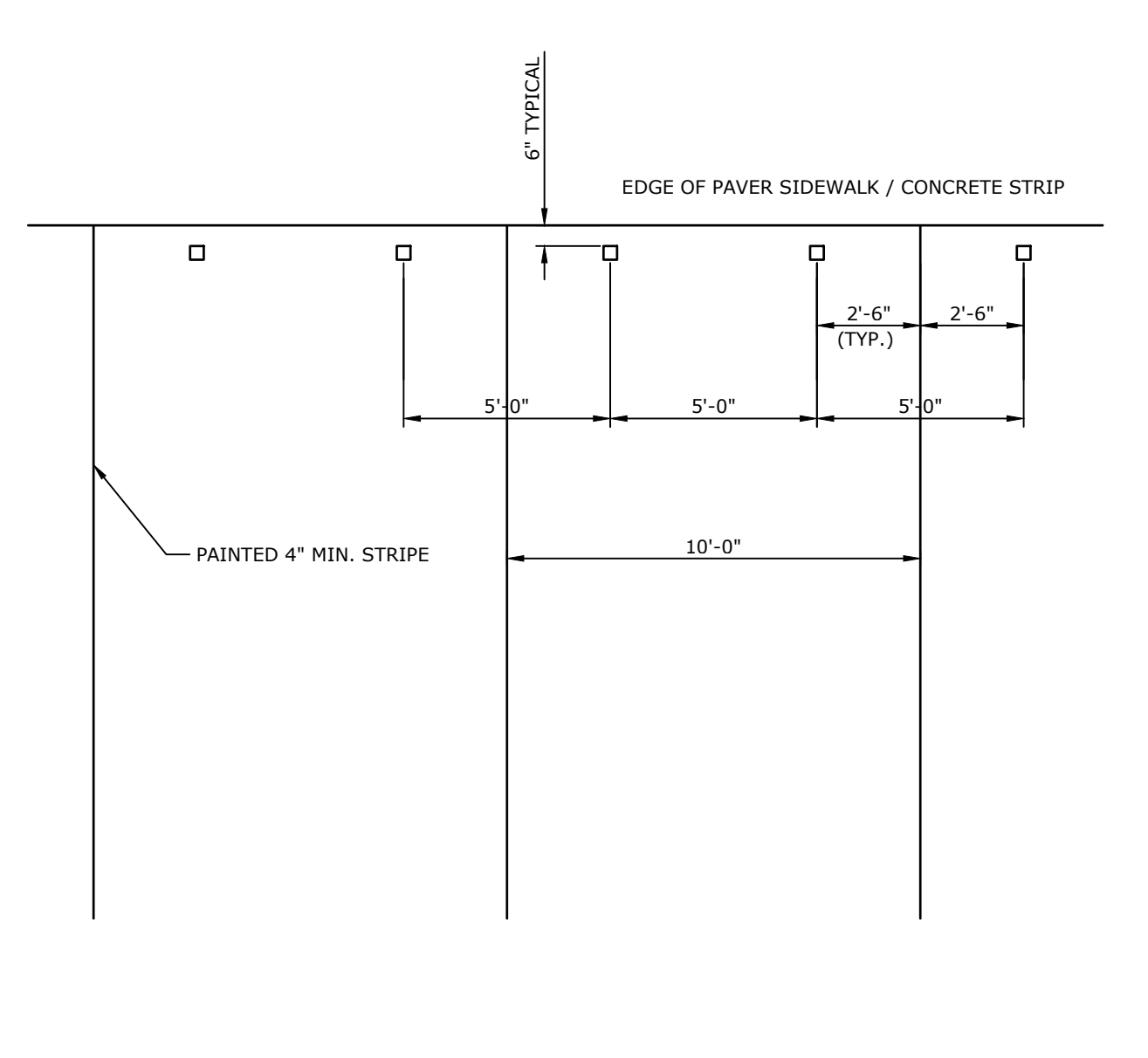
1 STOREFRONT BUMPER POST FLUSH SIDEWALK
NOT TO SCALE



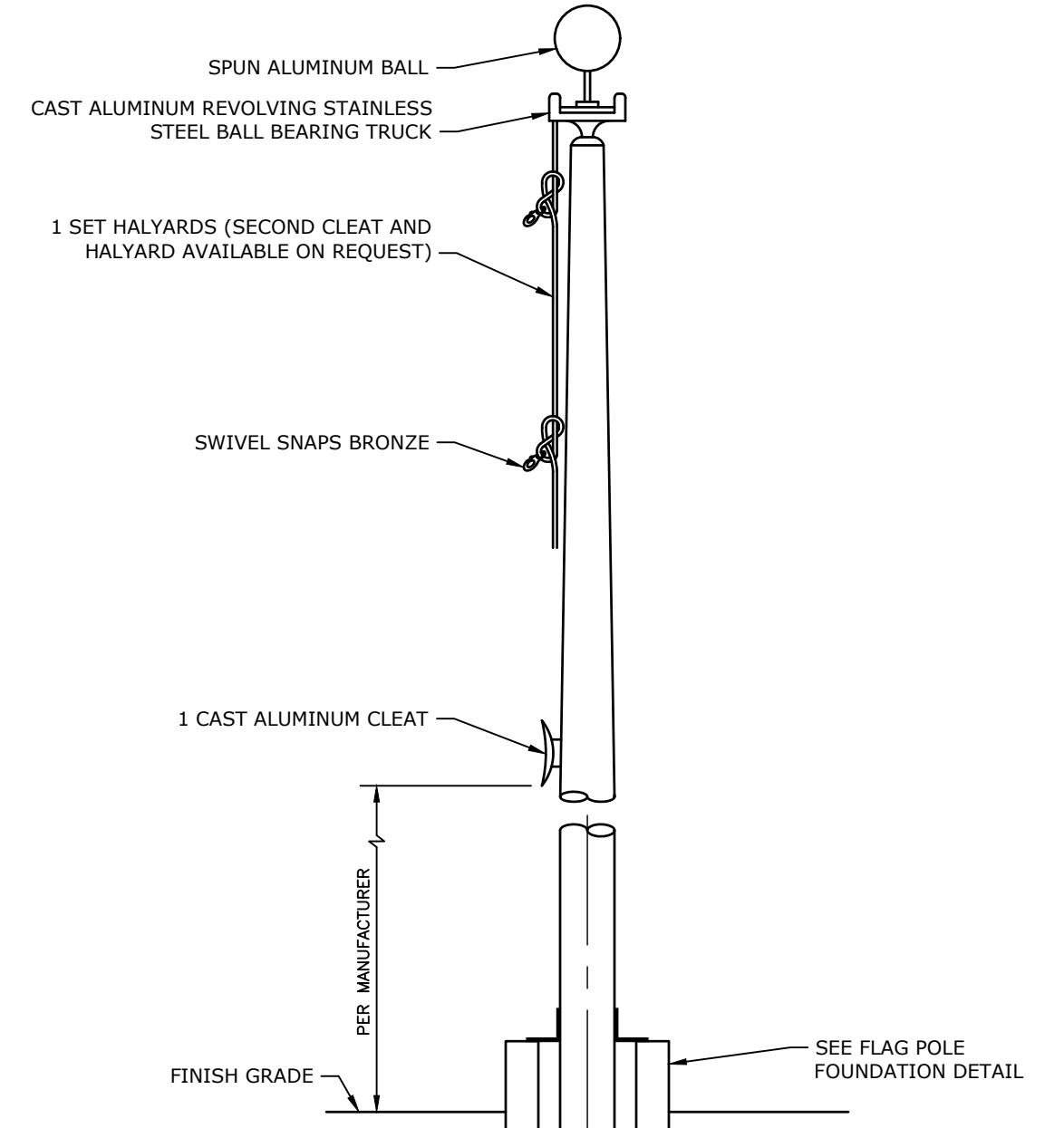
3 PERIMETER AND SITE CURB
NOT TO SCALE



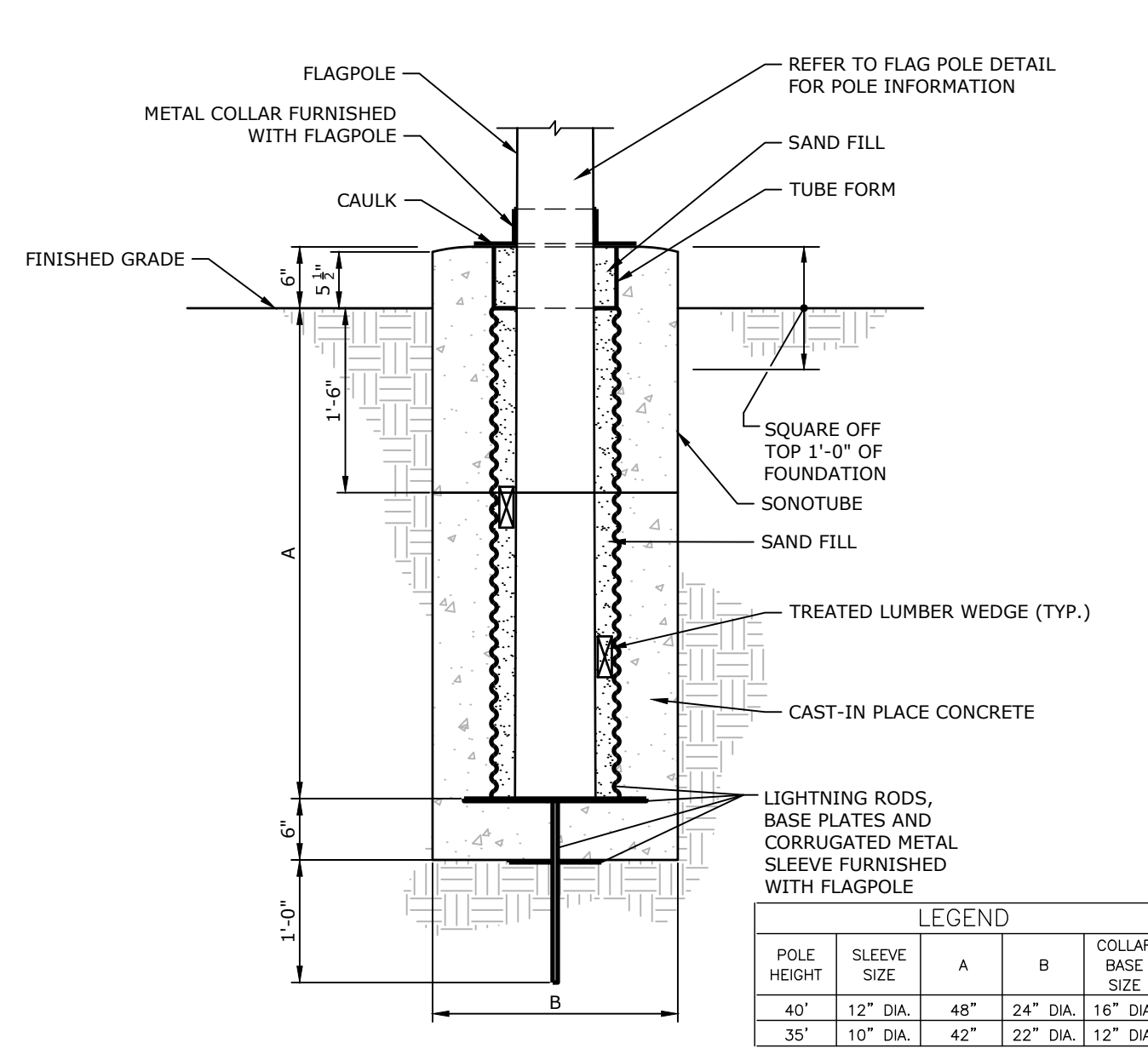
5 AIR MACHINE DETAIL
NOT TO SCALE



8 BUMPERPOST LAYOUT DETAIL (SIDEWALK)
NOT TO SCALE

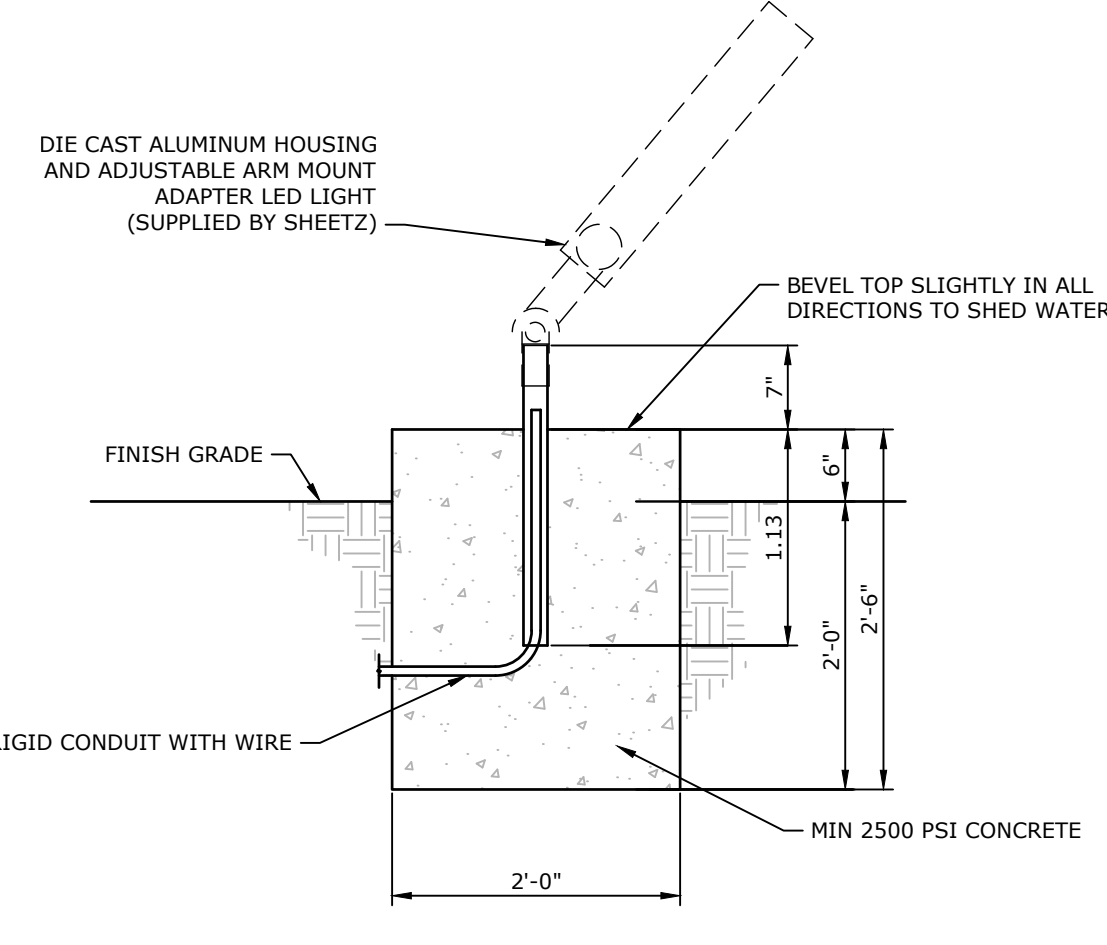


11 FLAGPOLE DETAIL
NOT TO SCALE

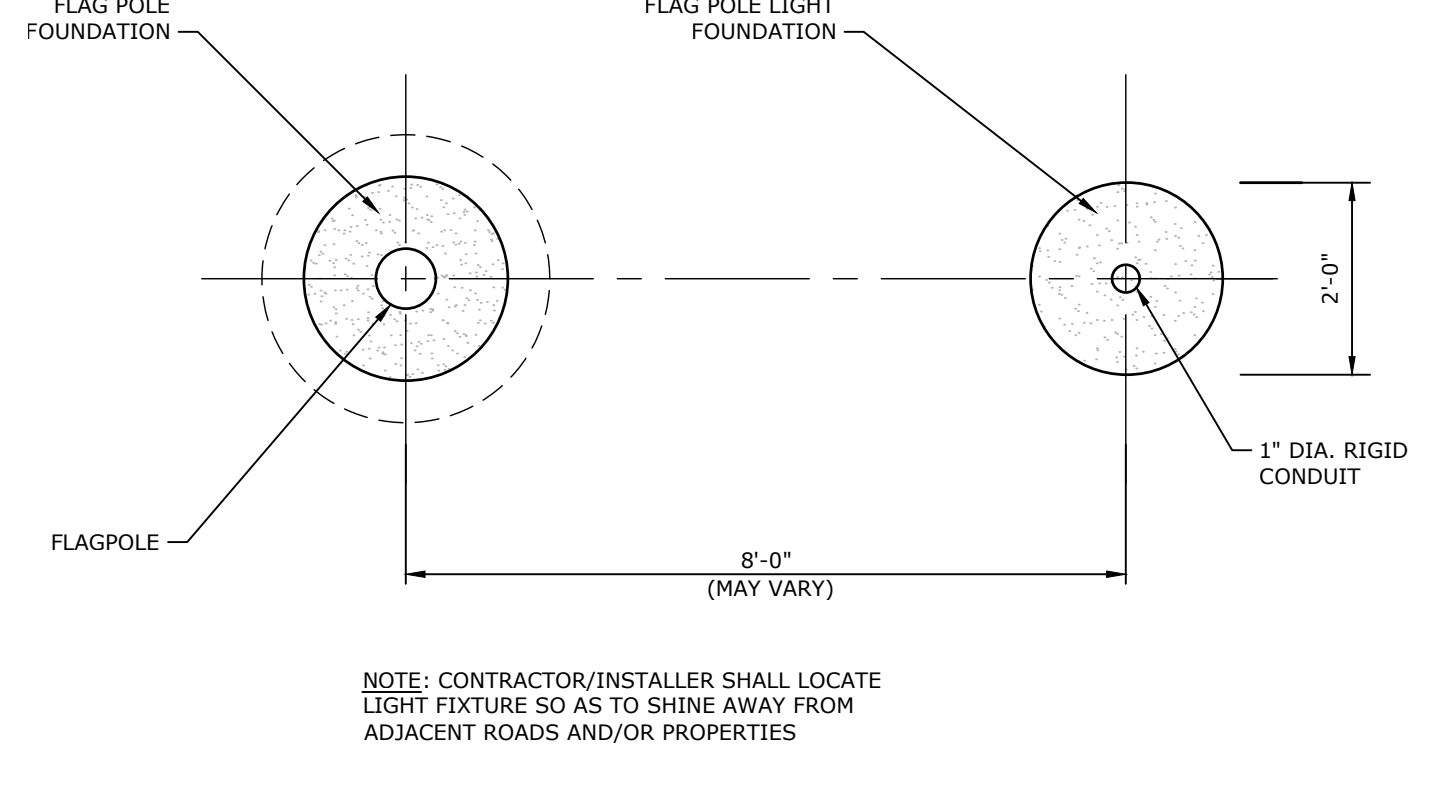


12 FLAGPOLE FOUNDATION
NOT TO SCALE

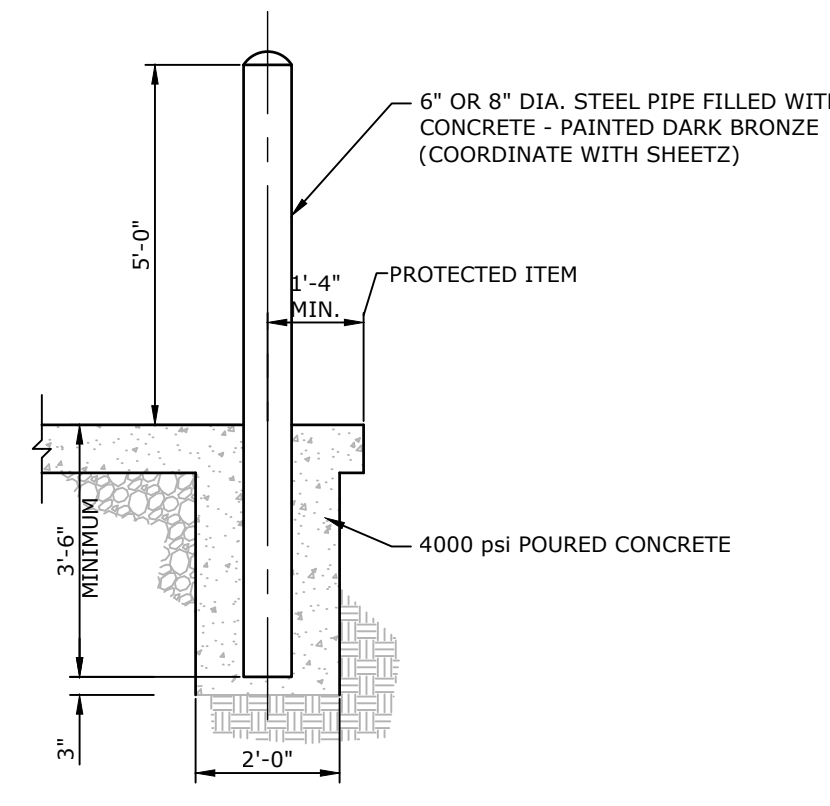
POLE HEIGHT	SLEEVE SIZE	A	B	COLLAR BASE SIZE
40'	12" DIA.	48"	24" DIA.	16" DIA.
35'	10" DIA.	42"	22" DIA.	12" DIA.



13 FLAGPOLE LIGHT FOUNDATION
NOT TO SCALE



14 FLAGPOLE LIGHT LAYOUT PLAN
NOT TO SCALE



17 6" OR 8" PIPE BOLLARD DETAIL
NOT TO SCALE

NO.	DATE	REVISION

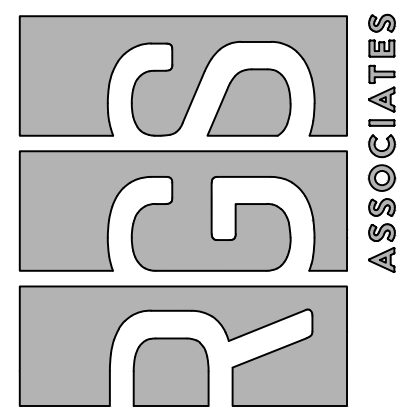
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CLIENT
SHEETZ, INC.
351 SHEETZ WAY
CLAYSBURG, PA 16825
(814) 239-8013

SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)
FINAL LAND DEVELOPMENT PLAN
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

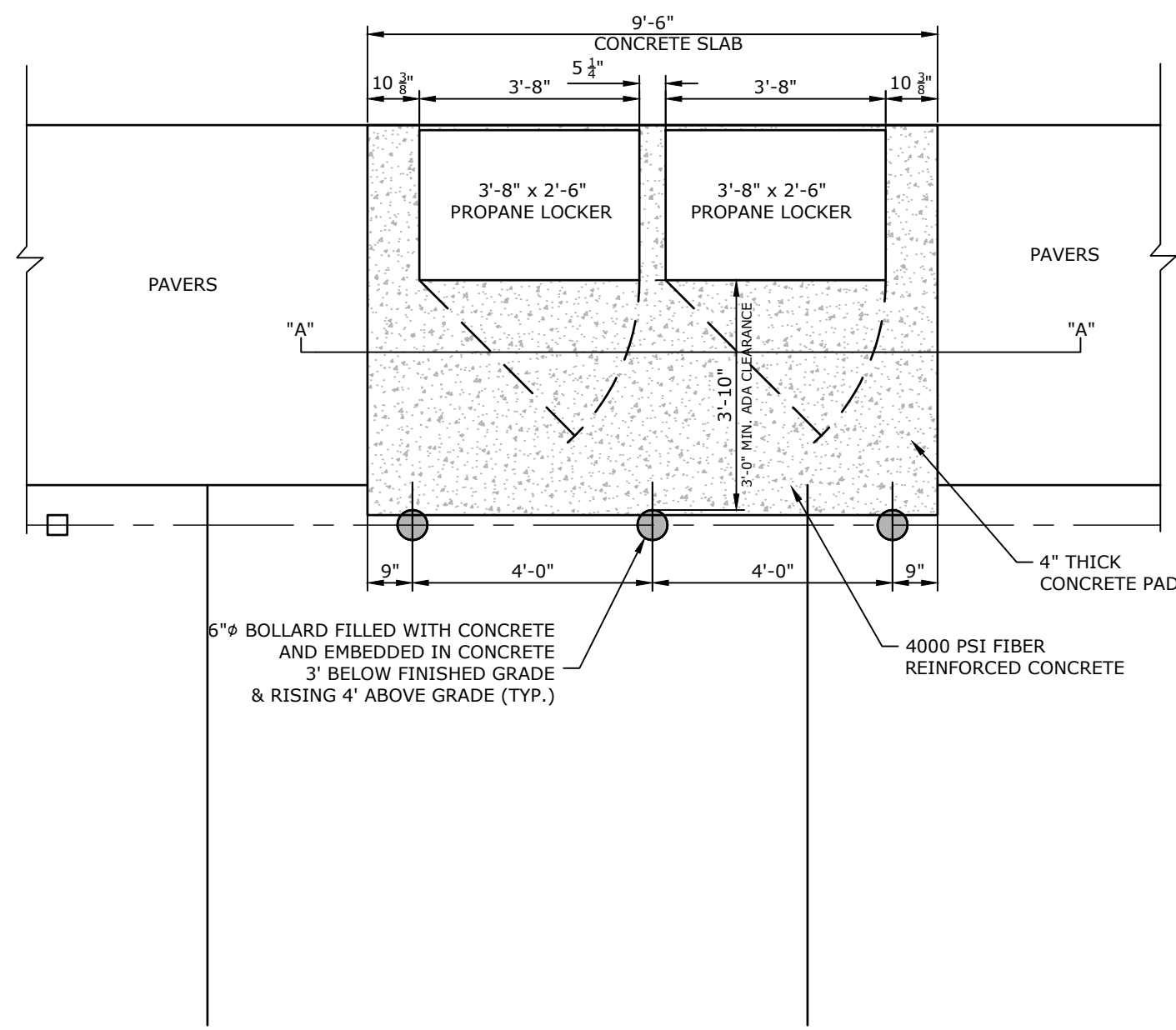
Land Planning
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53 West James Street
York, PA 17403
Phone: (717) 745-1386
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Regional Offices:
York, Harrisburg, and Pottsville



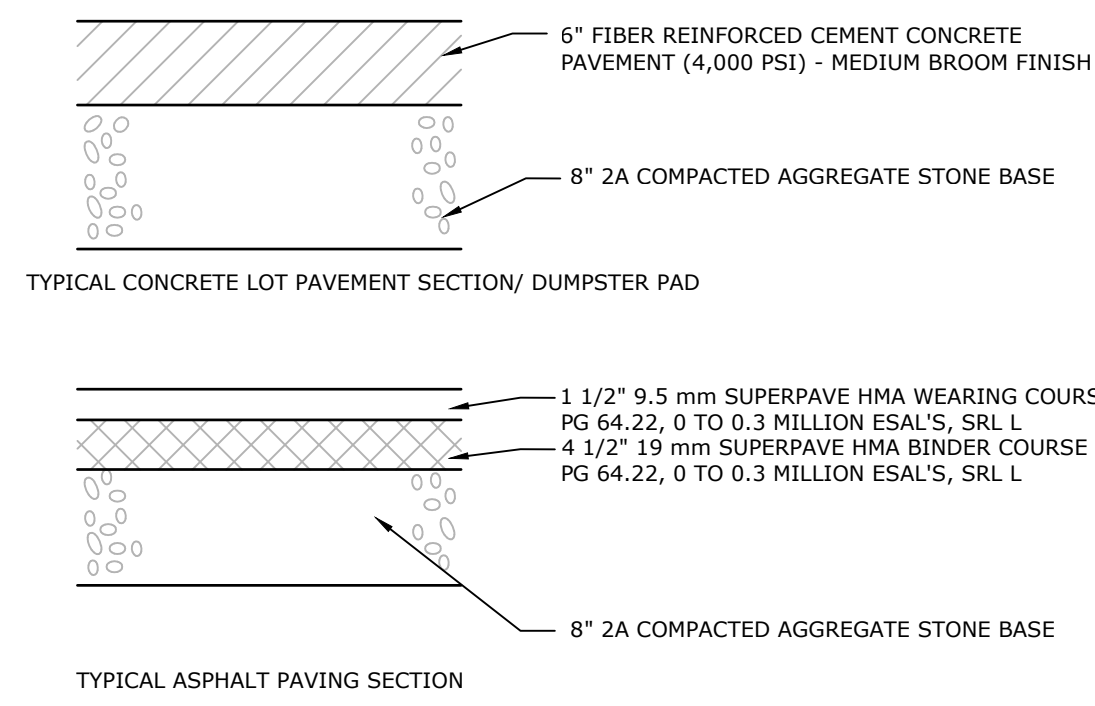
DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VENARCHICK
SHEET NO.: LD-12 OF 32

PLOTTED: Friday, November 22, 2024 @ 12:38PM
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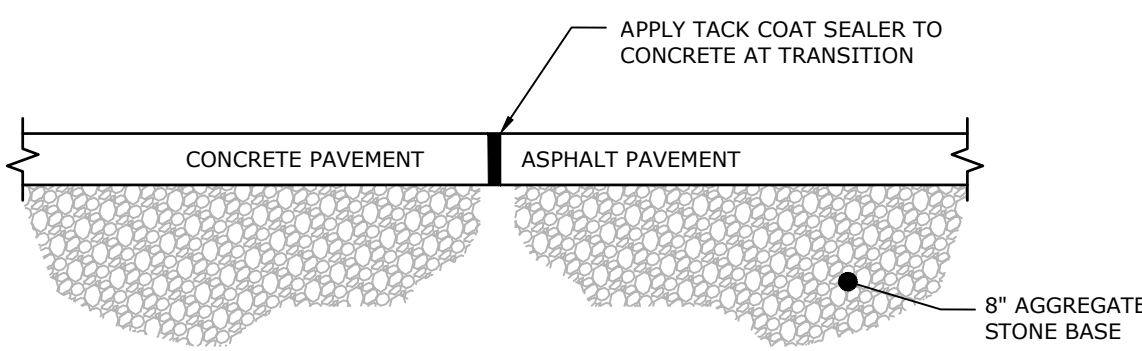
NOT FOR BID / NOT FOR CONSTRUCTION



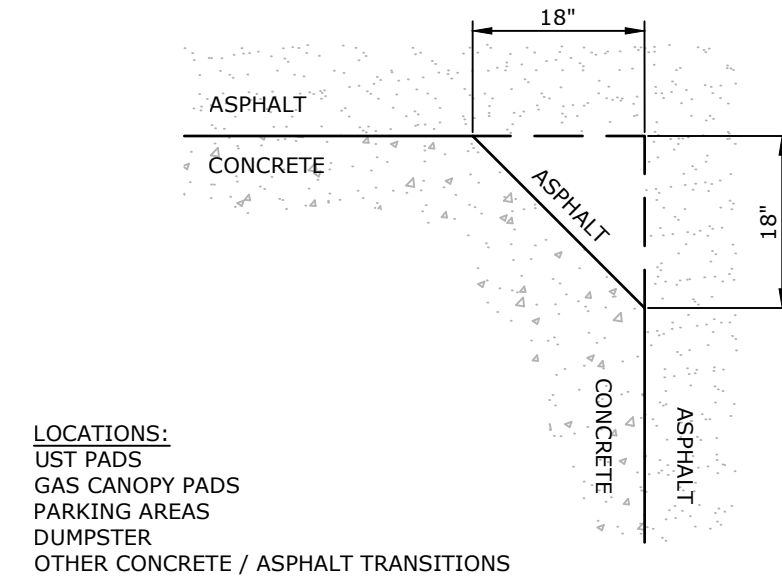
19 PROPANE LOCKER
NOT TO SCALE



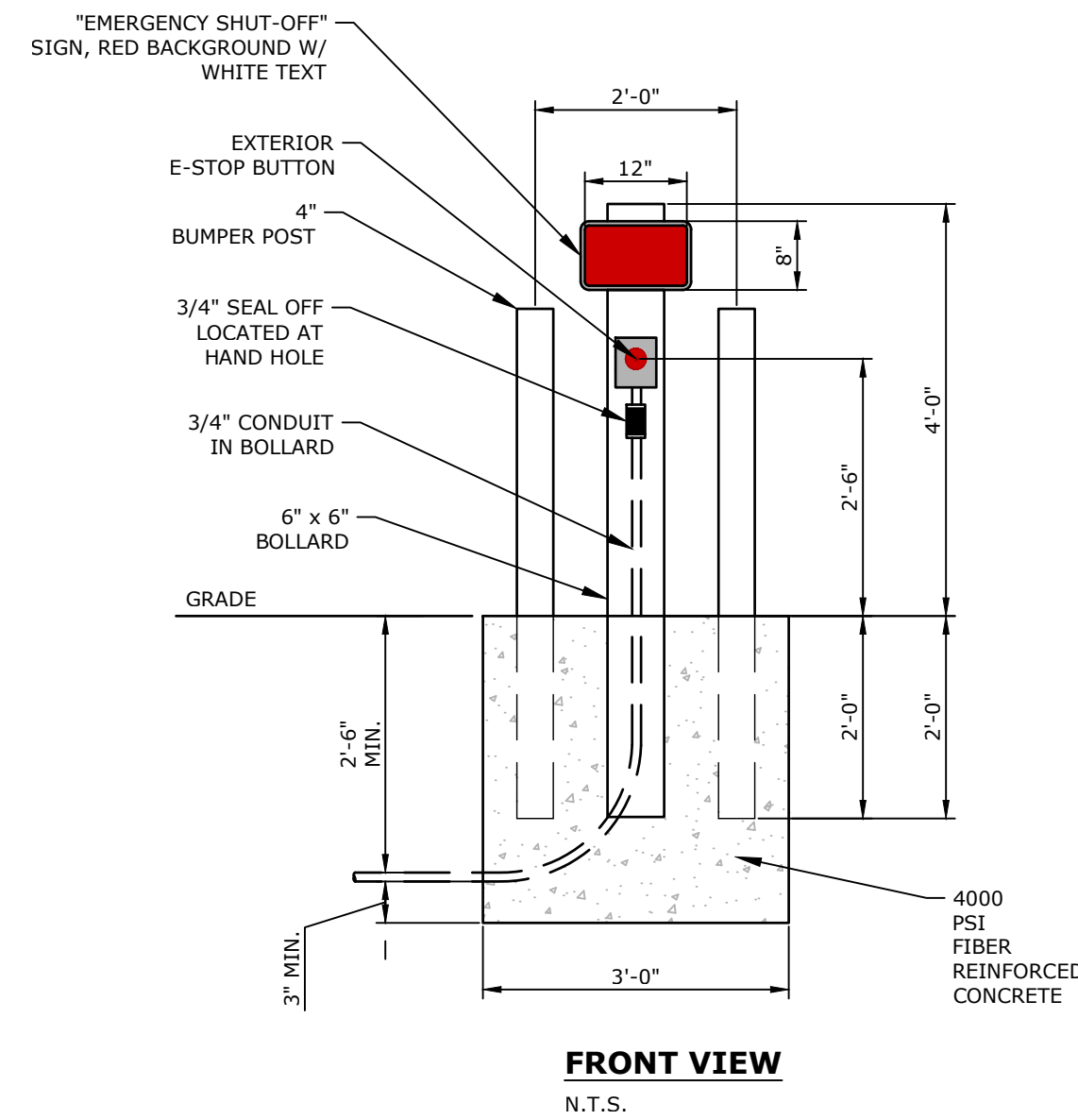
20 SITE PAVEMENT DETAILS
NOT TO SCALE



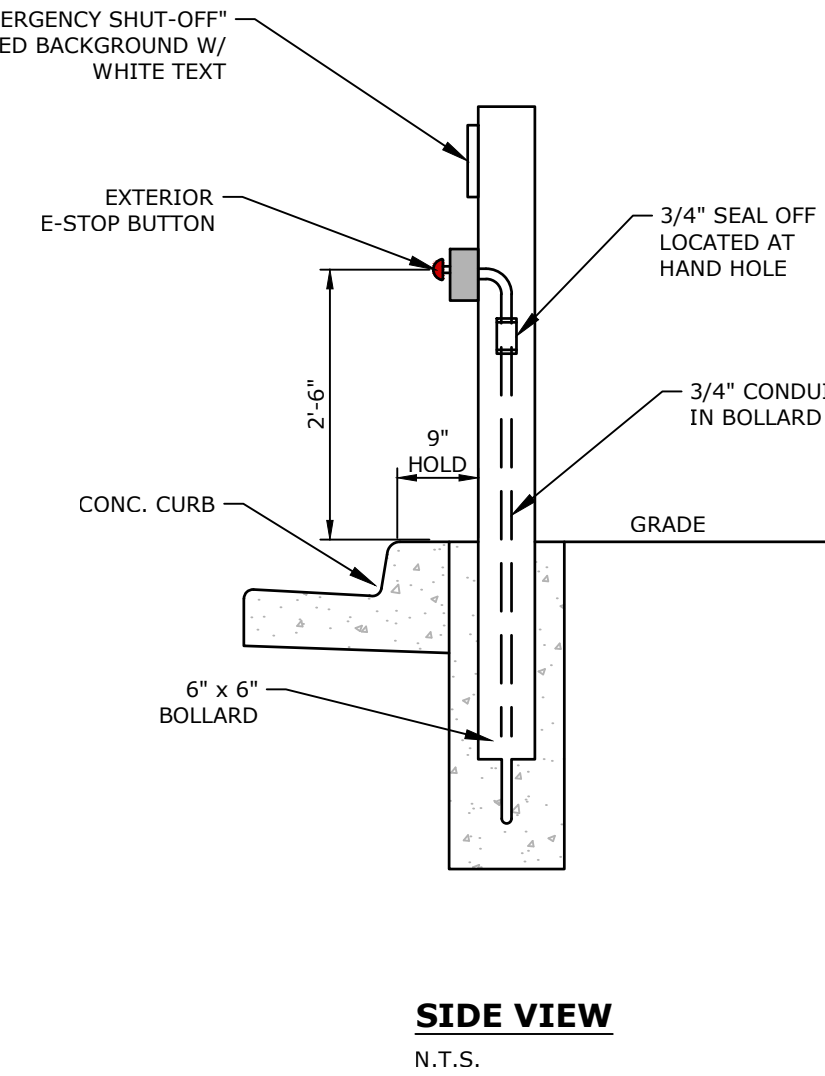
27 CONCRETE & ASPHALT TRANSITION DETAIL
NOT TO SCALE



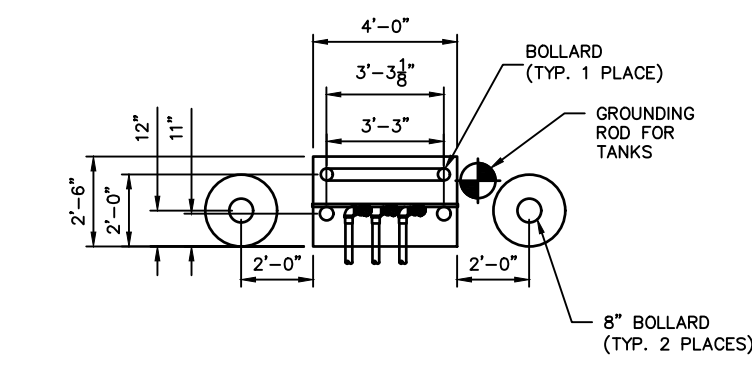
LOCATIONS:
UST PADS
GAS CANOPY PADS
PARKING AREAS
DUMPSTER
OTHER CONCRETE / ASPHALT TRANSITIONS



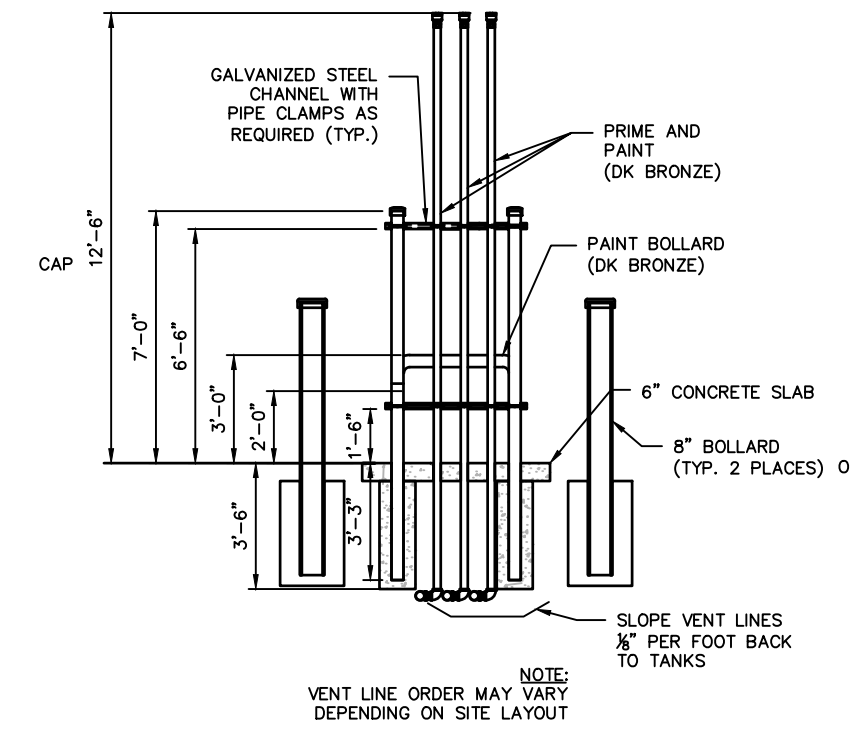
29 E-STOP DETAIL
NOT TO SCALE



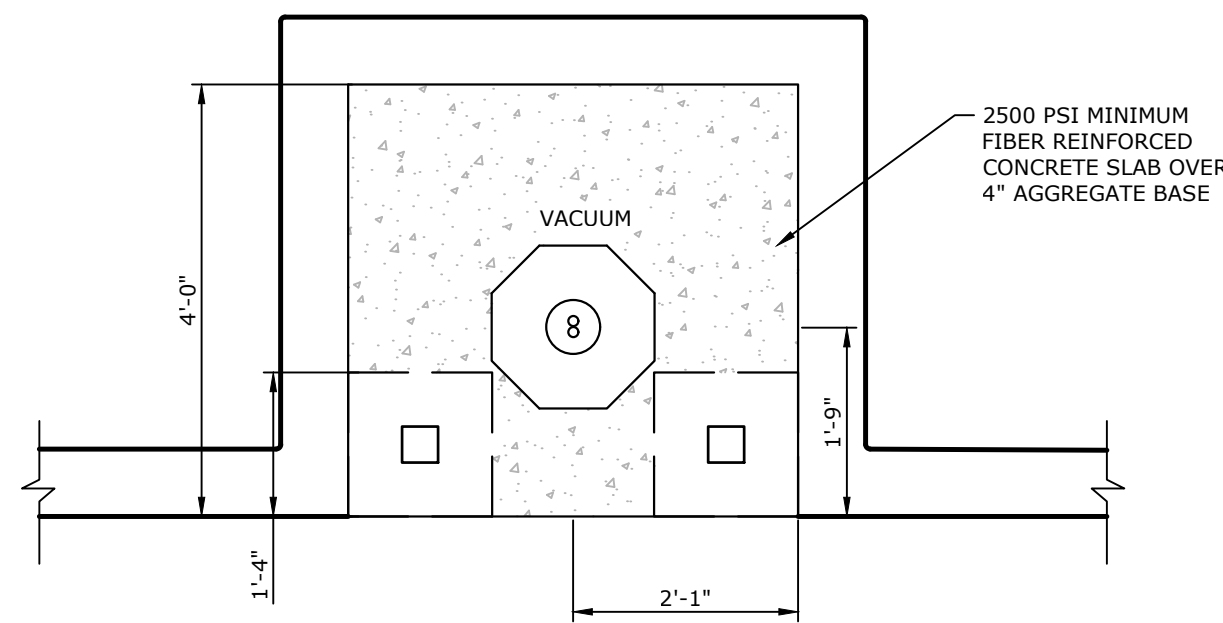
SIDE VIEW
N.T.S.



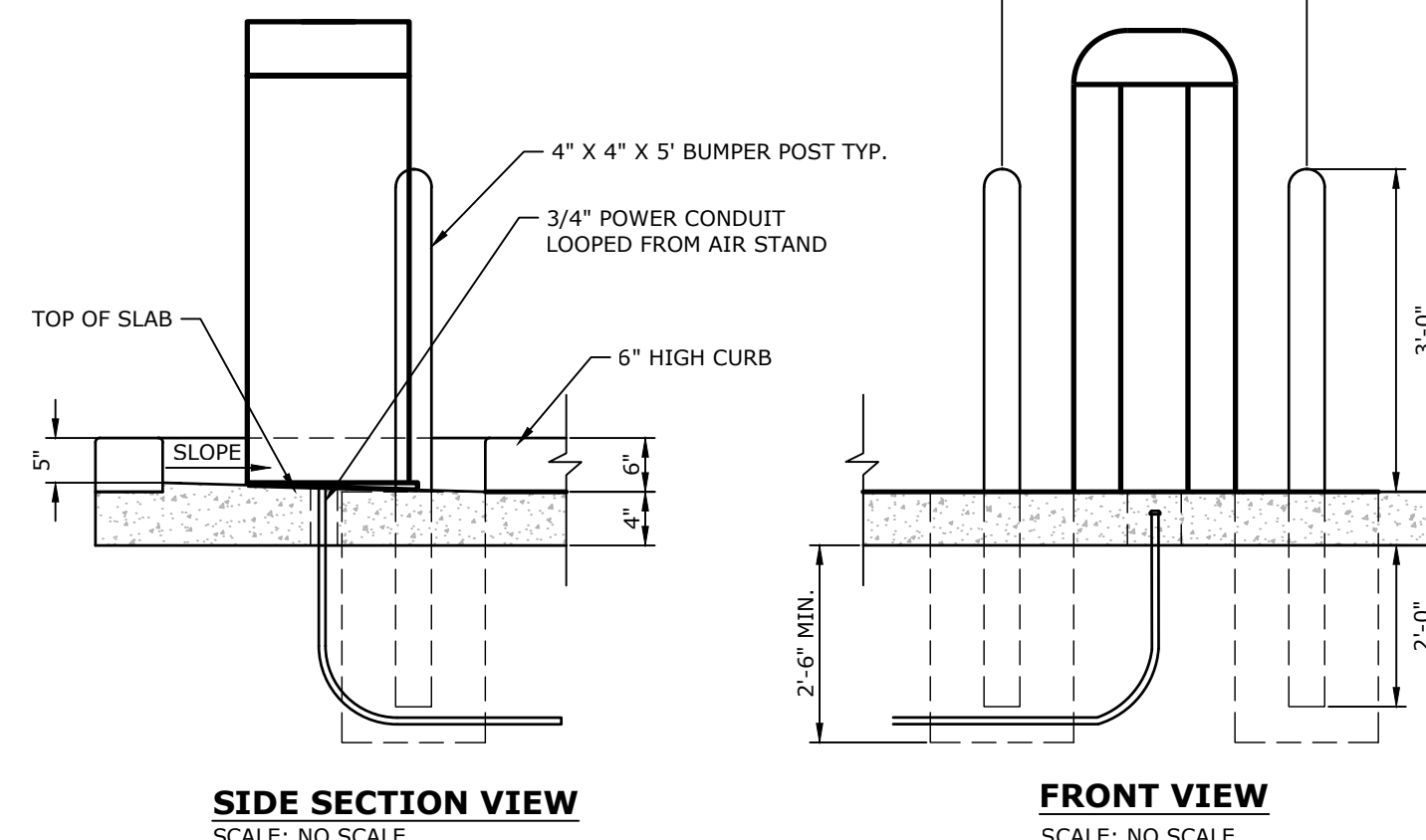
NOTE: DO NOT PAINT VENT CAPS



NOTE: VENT LINE ORDER MAY VARY DEPENDING ON SITE LAYOUT



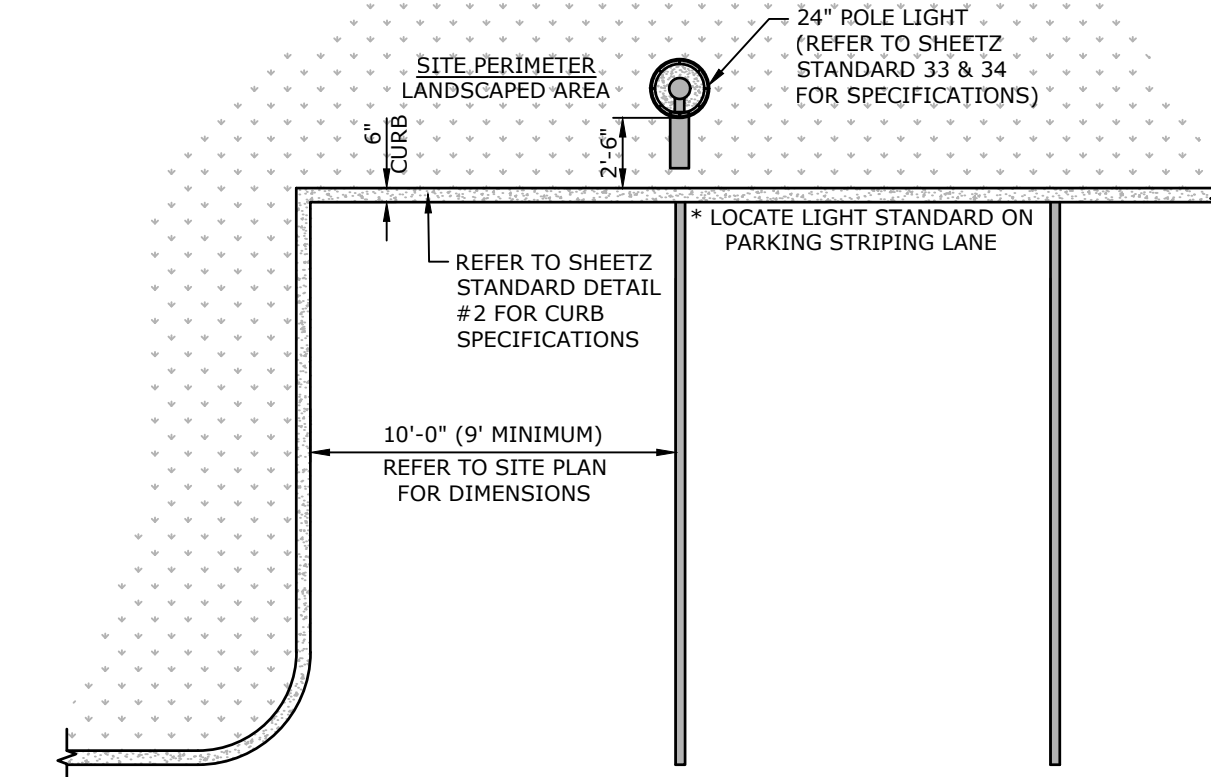
PLAN VIEW
SCALE: NO SCALE



SIDE SECTION VIEW
SCALE: NO SCALE

FRONT VIEW
SCALE: NO SCALE

32 STAND ALONE VACUUM DETAIL
NOT TO SCALE



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(814) 239-8013

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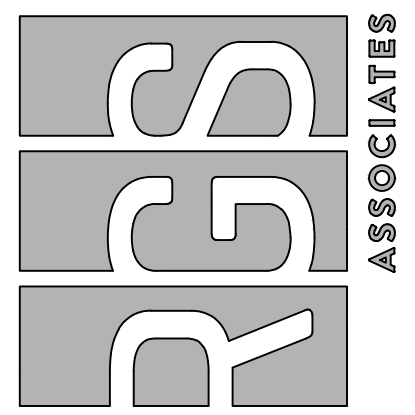
**SHEETZ - ELIZABETHTOWN, PA
(VETERANS DRIVE)**
FINAL LAND DEVELOPMENT PLAN

MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

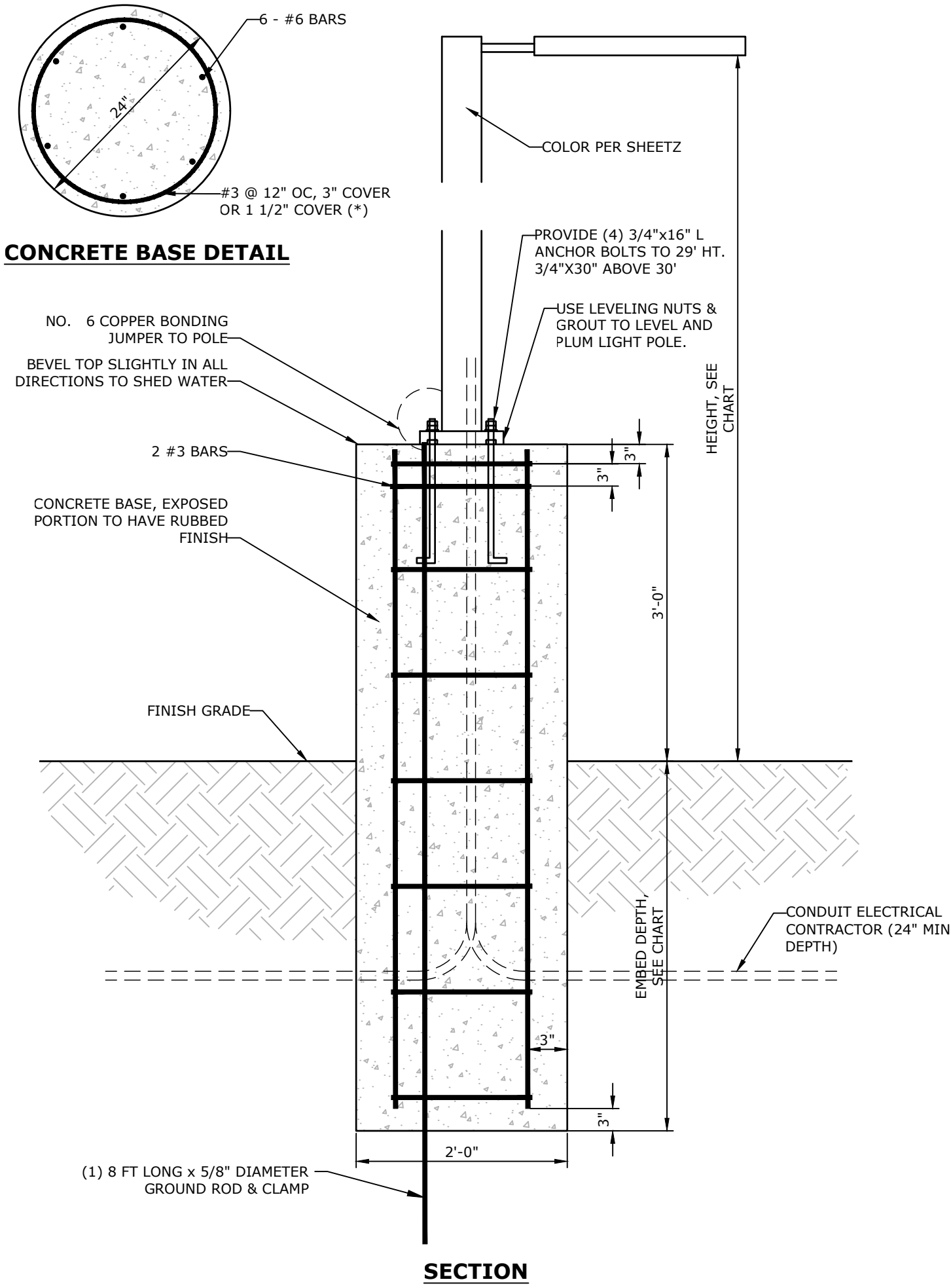
Land Planning
Landscape Architecture
Civil Engineering

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53 West James Street
PA 17003
Phone: (717) 715-1386
www.gsaassociates.com

Regional Offices:
York, Harrisburg, and Pottsville



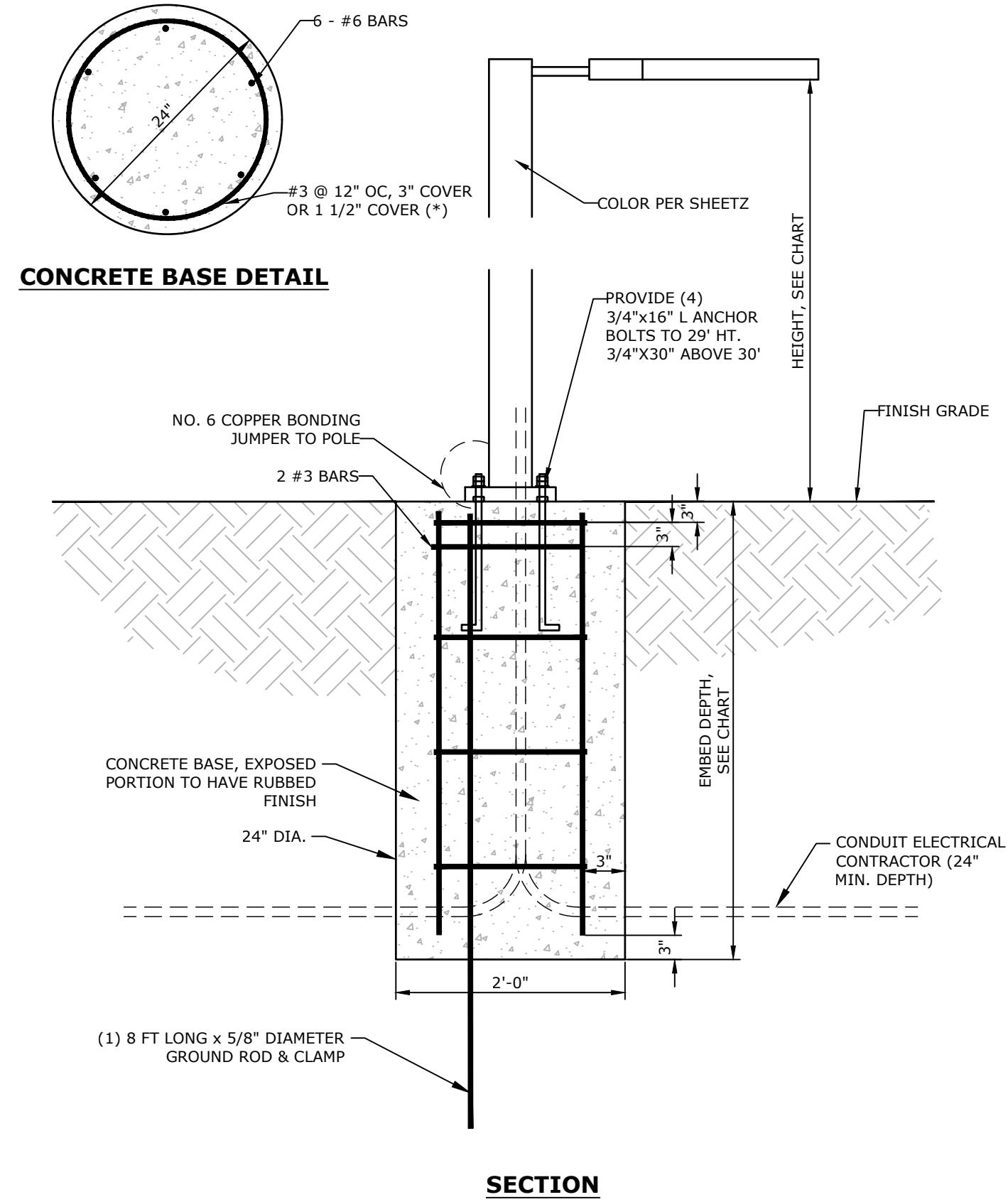
DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VENARCHICK
SHEET NO.: LD-13 OF 32



DESIGN CRITERIA
 CONCRETE f_c = 4,000 PSI
 REINFORCING f_y = 60 KSI
 WIND = 120 MPH
 WIND FORCE = 40 PSF
 LUMINAIRE EPA = 2.75 MAX COMBINED
 SOIL BEARING = 2,000 PSF
 SOIL LATERAL PRESSURE = 250 PSF/FT
 (*) 1 1/2" COVER IF FOUNDATION INSTALLED WITH SONATUBE. 3" COVER IF FOUNDATION CAST-IN-PLACE.

HEIGHT*	EMBED. DEPTH
UP TO 20'	3'-9"
21 TO 25'	4'-3"
26 TO 30'	4'-6"
31 TO 35'	5'-0"

HEIGHT* IS ABOVE GRADE



DESIGN CRITERIA
 CONCRETE f_c = 4,000 PSI
 REINFORCING f_y = 60 KSI
 WIND = 120 MPH
 WIND FORCE = 40 PSF
 LUMINAIRE EPA = 2.75 MAX COMBINED
 SOIL BEARING = 2,000 PSF
 SOIL LATERAL PRESSURE = 250 PSF/FT
 (*) 1 1/2" COVER IF FOUNDATION INSTALLED WITH SONATUBE. 3" COVER IF FOUNDATION CAST-IN-PLACE.

HEIGHT*	EMBED. DEPTH
UP TO 20'	3'-9"
21 TO 25'	4'-3"
26 TO 30'	4'-6"
31 TO 35'	5'-0"

HEIGHT* IS ABOVE GRADE

33 POLE LIGHT DETAIL NOT TO SCALE

34 FLUSH LIGHT POLE DETAIL NOT TO SCALE

NO.	DATE	REVISION

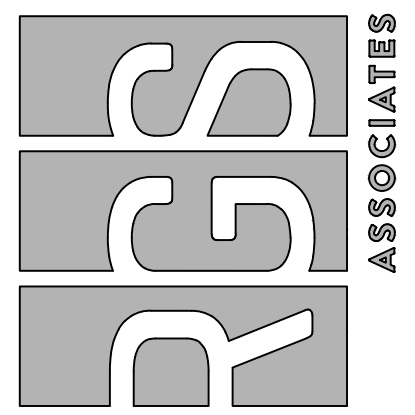
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 351 SHEETZ WAY
 CLAYTON, PA 16825
 (814) 239-8013
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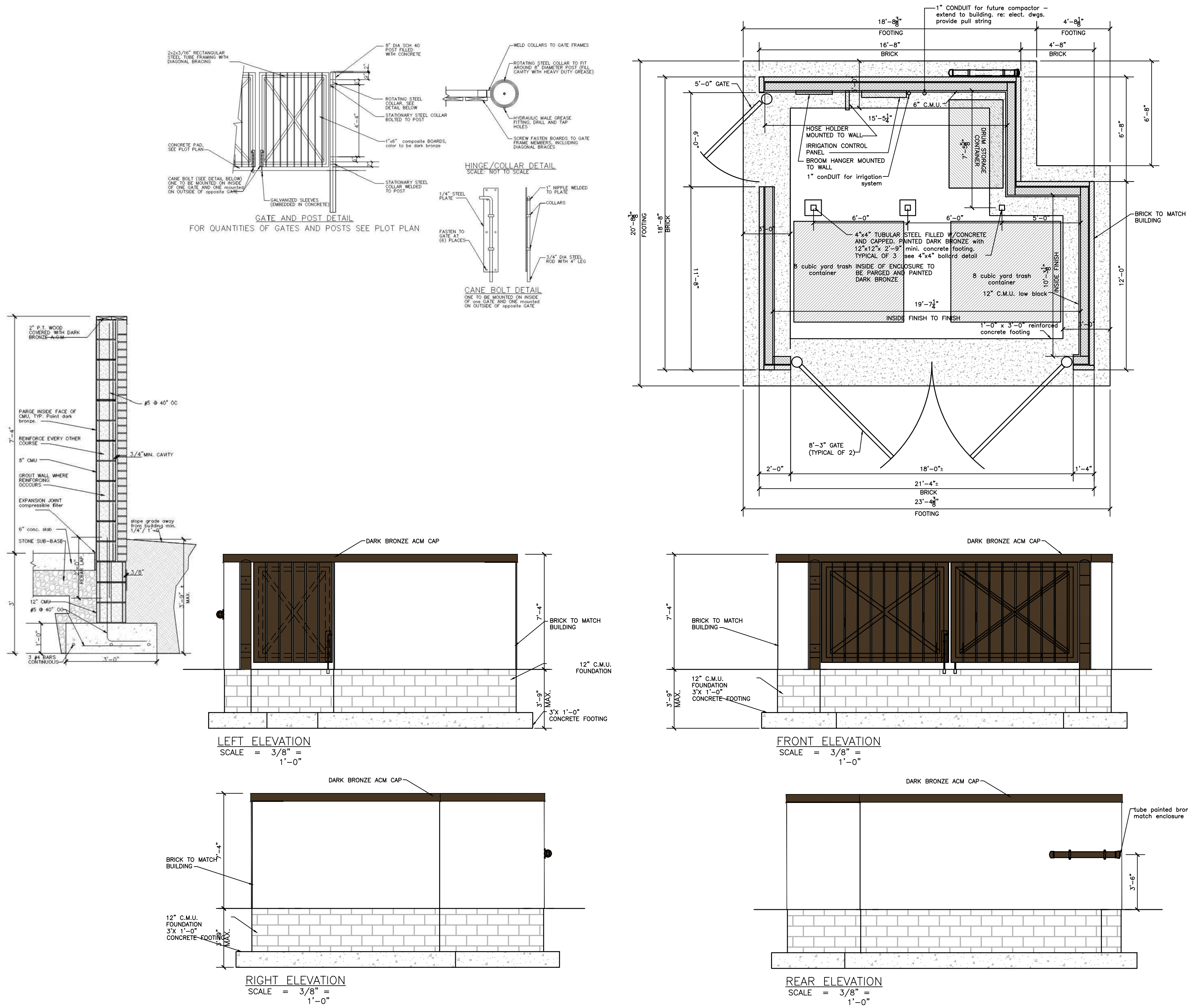
SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)
 FINAL LAND DEVELOPMENT PLAN
 MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA
 SITE DETAILS

Land Planning
 Landscape Architecture
 Civil Engineering
 Corporate Office:
 53 West James Street, PA 17603
 Phone: (717) 745-1386
 www.gsaassociates.com
 Regional Offices:
 York, Harrisburg, and Pottsville



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 PROJECT NO.: 2024A84-019
 MANAGER: CHRIS VENARCHICK
 SHEET NO.:

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DUMPSTER ENCLOSURE

NOT TO SCALE

X

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**SHEETZ - ELIZABETHTOWN, PA
 (VETERANS DRIVE)
 FINAL LAND DEVELOPMENT PLAN**

LANGCASTER COUNTY, PA
 MOUNT JOY TOWNSHIP

SITE DETAILS

Land Planning
 Landscape Architecture
 Civil Engineering

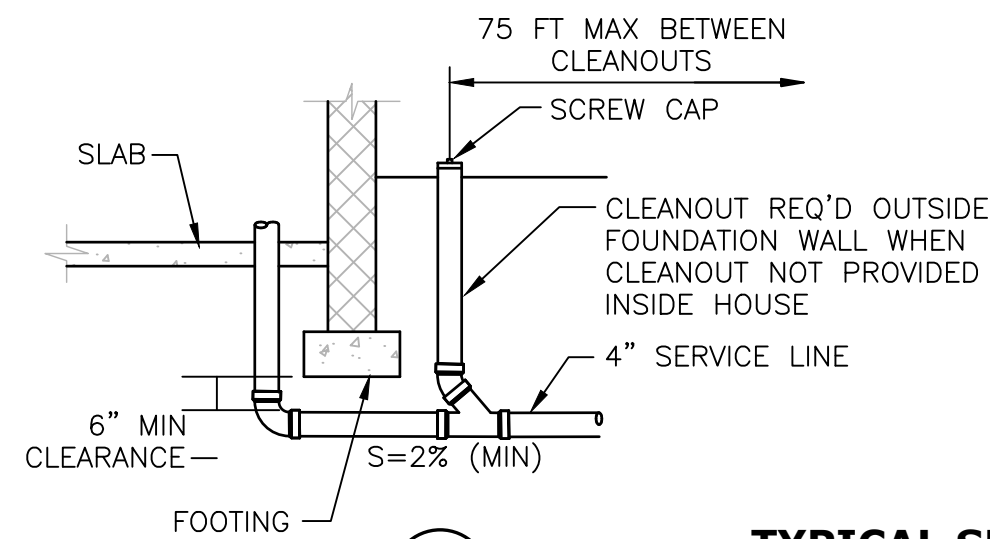
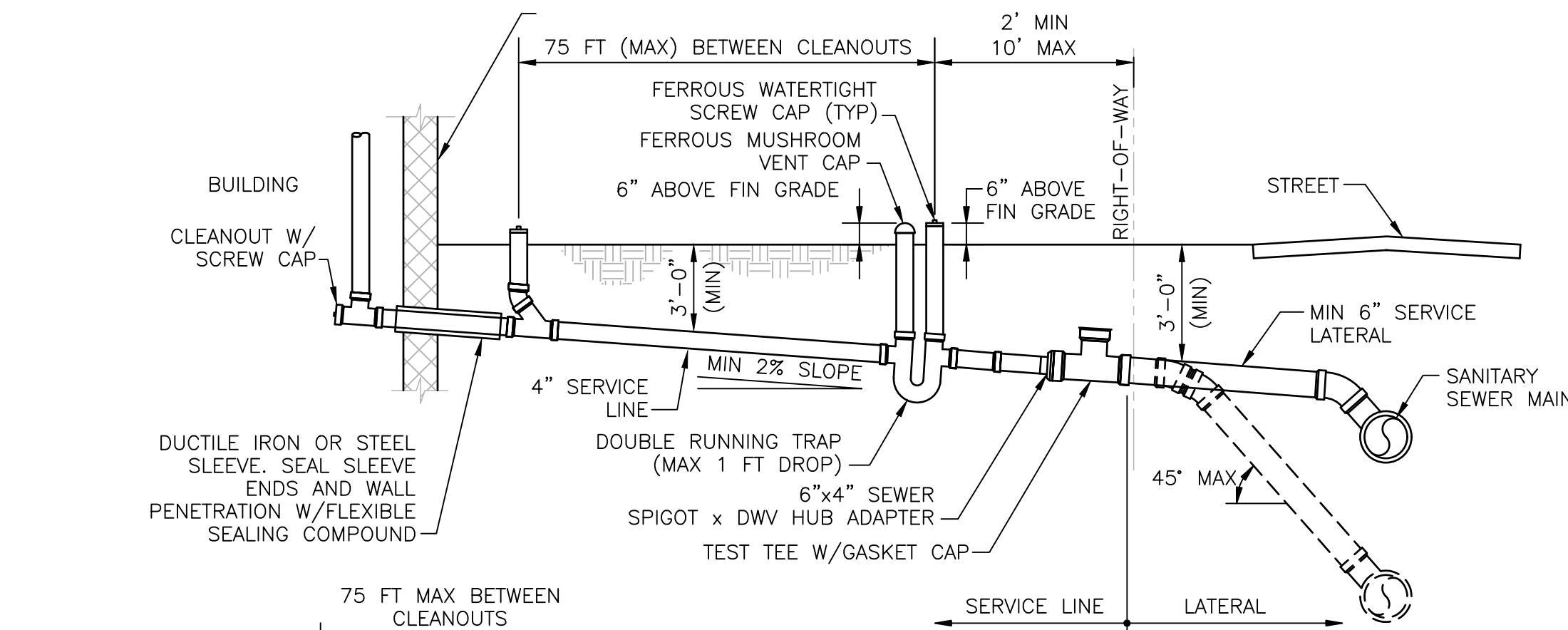
Corporate Office:
 53 West James Street
 York, PA 17403
 Phone: (717) 745-1386
 www.gssassociates.com

Regional Offices:
 York, Harrisburg, and Paeu

gss ASSOCIATES

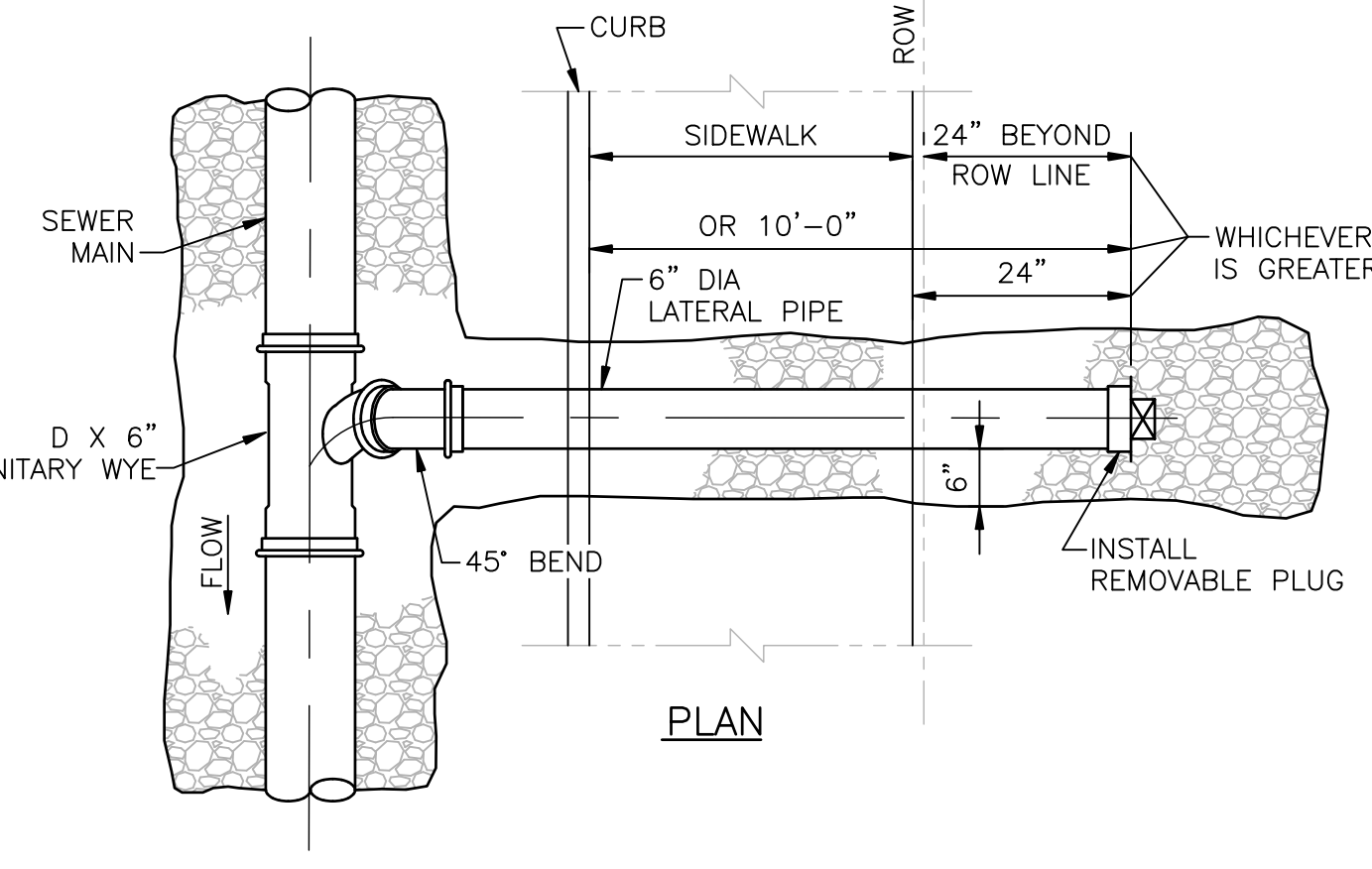
DATE:	NOVEMBER 22, 2024
PROJECT NO.:	2024A84-019
MANAGER:	CHRIS VENARCHICK
SHEET NO.:	LD-15 OF 32

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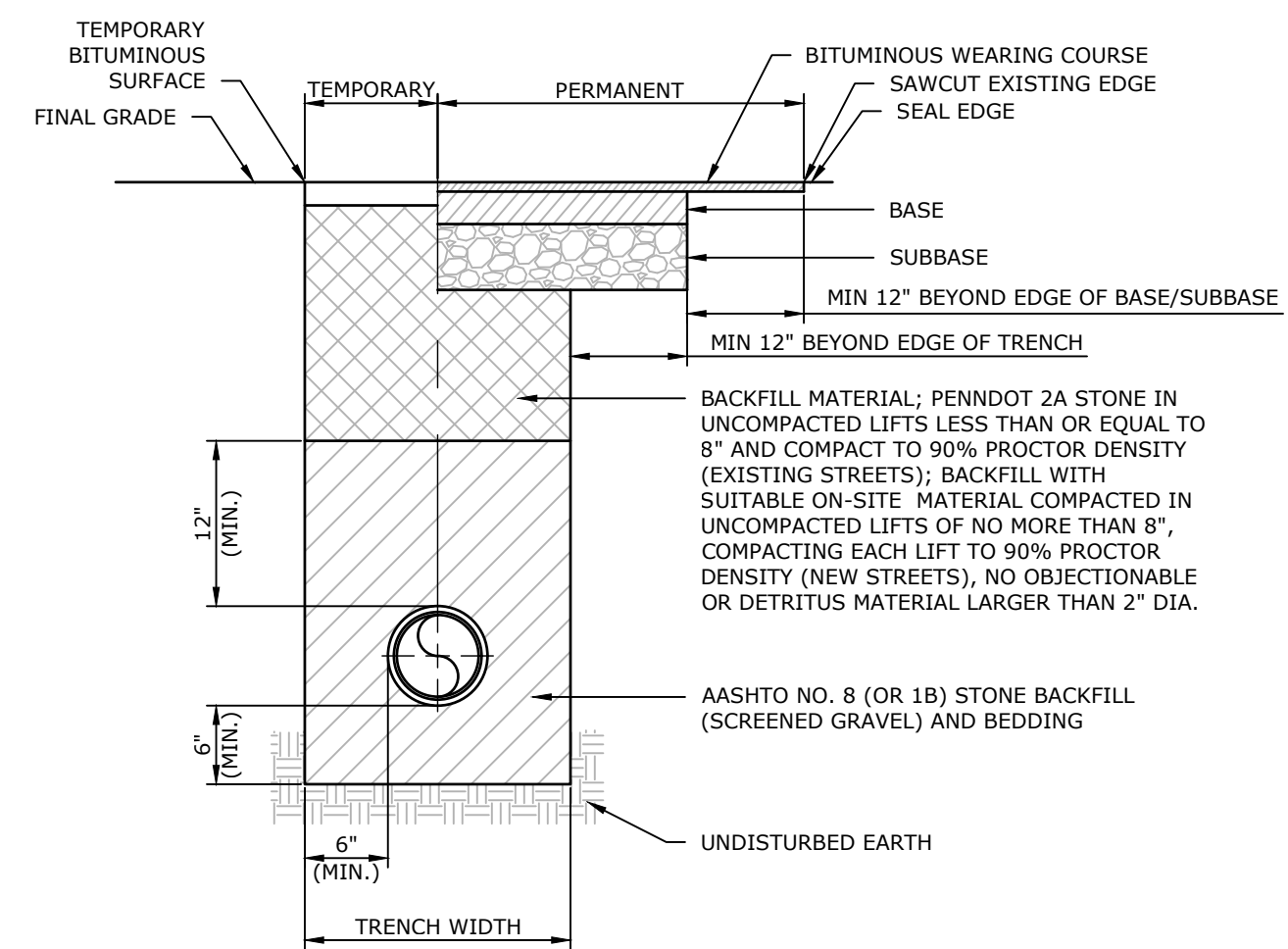
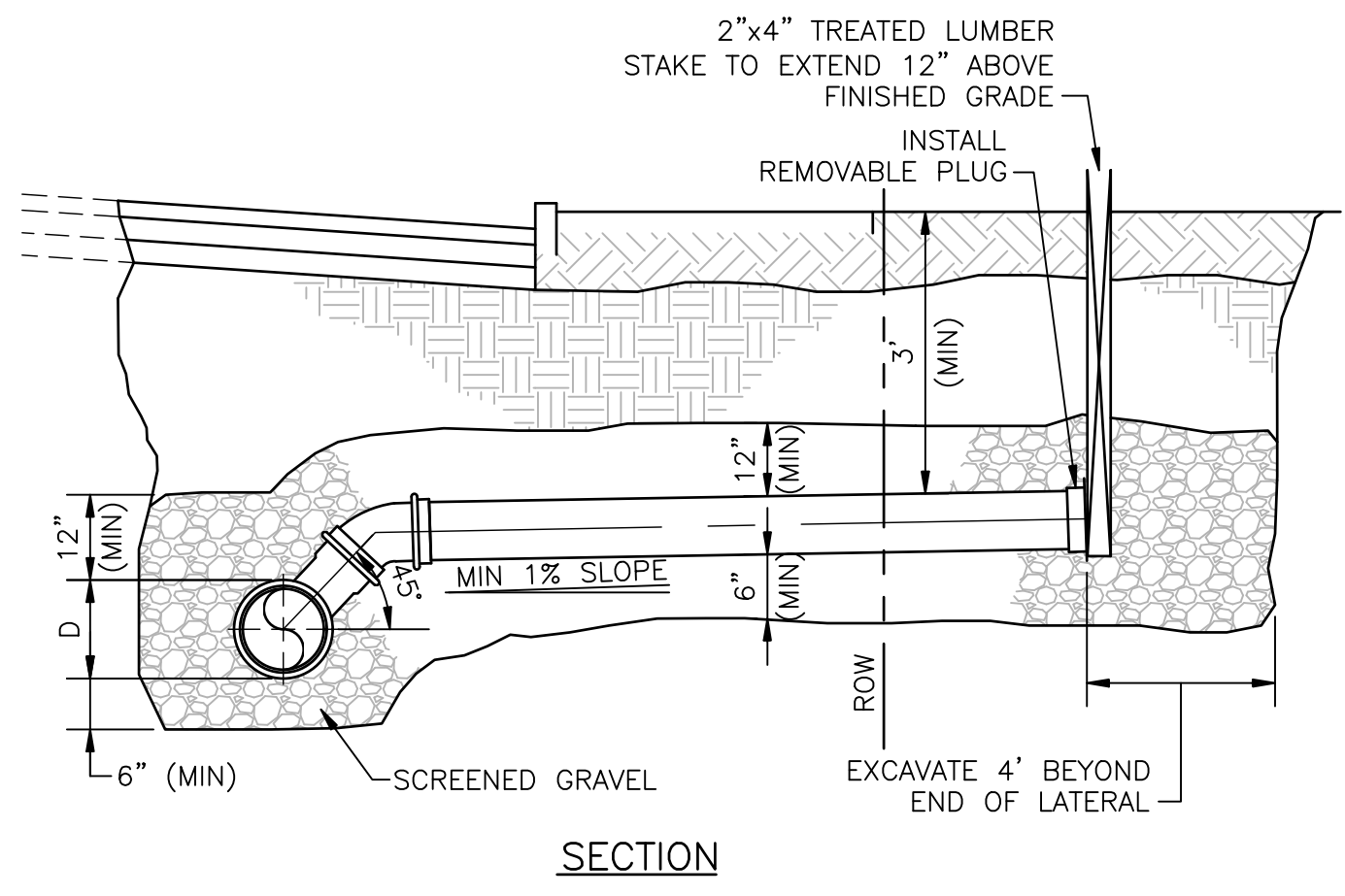


1 TYPICAL SERVICE LINE - PROFILE
NOT TO SCALE

NOTE:
PROVIDE 6" OF AASHTO NO. 8 (OR PennDOT NO. 1B) STONE BELOW PIPE AND 12" ABOVE ENTIRE LENGTH OF PIPE

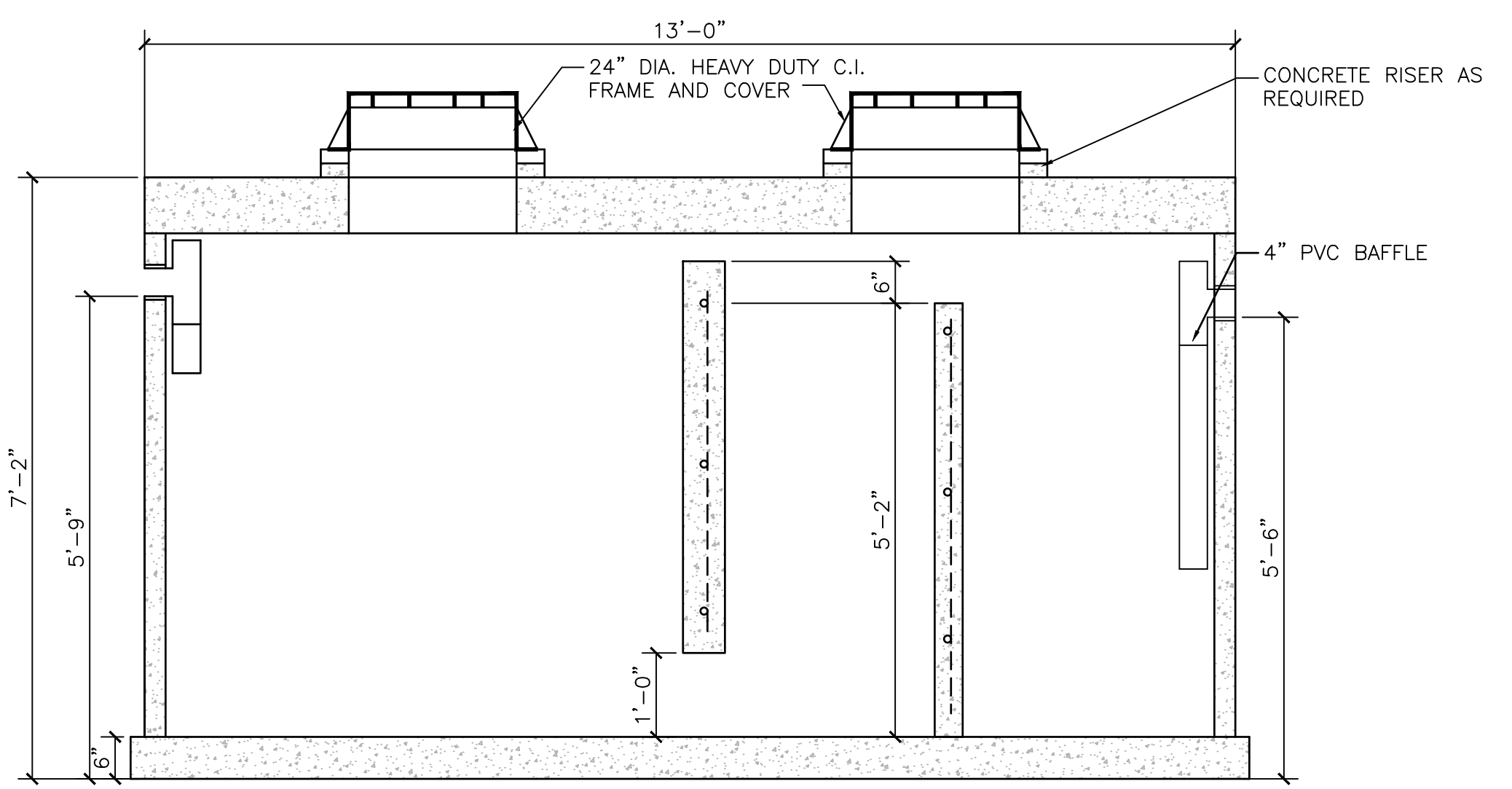
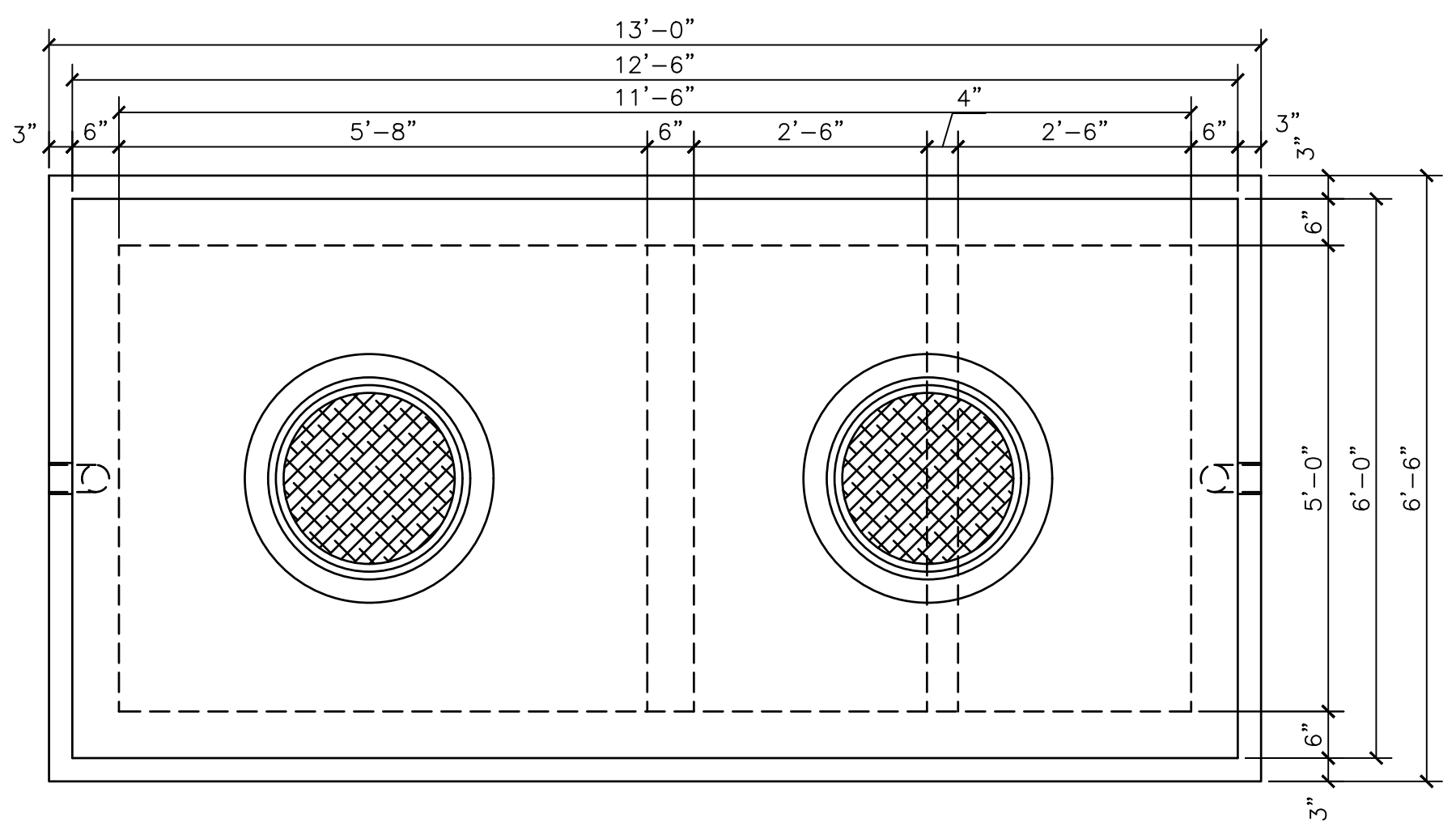


2 SEWER LATERAL
NOT TO SCALE



NOTES:
1. BACKFILL & PAVEMENT RESTORATION IN STATE ROADS SHALL BE AS SPECIFIED BY PENNDOT.
2. BACKFILL & PAVEMENT RESTORATION IN TOWNSHIP ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED IN THE GOVERNING MUNICIPAL SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
3. SEE PAVING CROSS-SECTION DETAILS FOR SPECIFIC PAVEMENT MATERIALS AND DEPTHS.

3 PAVEMENT RESTORATION FOR SANITARY SEWER
NOT TO SCALE



4 PRECAST CONCRETE 2,000 GALLON GREASE TRAP
NOT TO SCALE

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(VETERANS DRIVE)
FINAL LAND DEVELOPMENT PLAN**

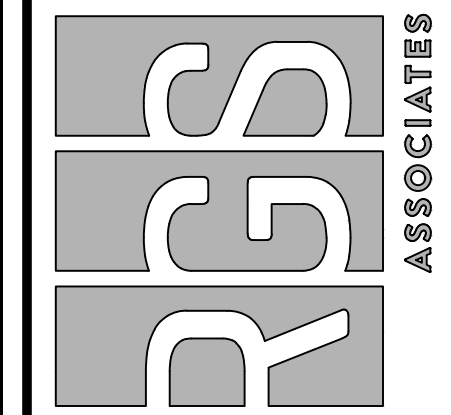
LANCASTER COUNTY, PA
MOUNT JOY TOWNSHIP

SEWER DETAILS

Land Planning
Landscape Architecture
Civil Engineering

Corporate Office:
53 West James Street
PA, 17603
Phone: (717) 745-1386
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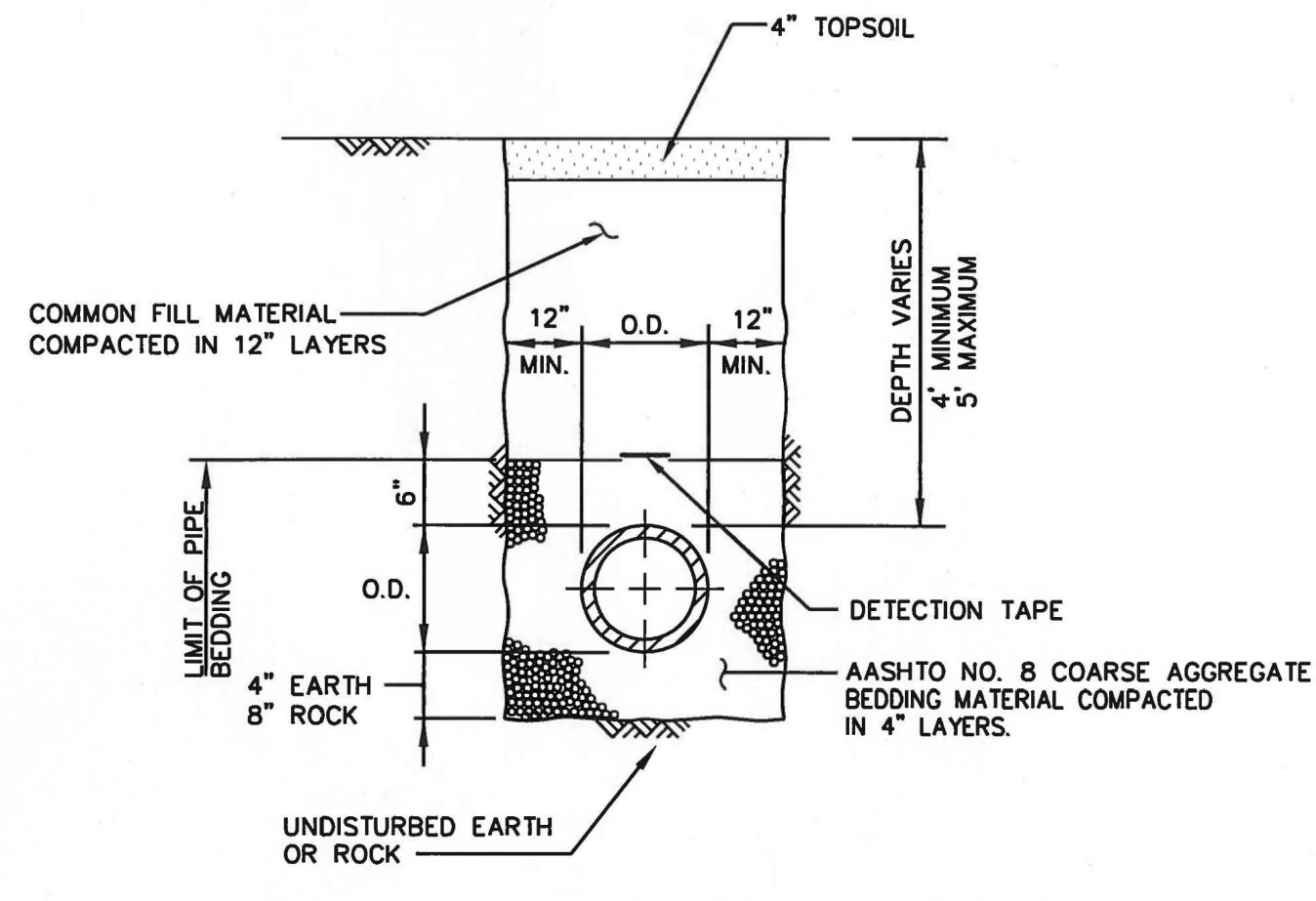
Regional Offices:
York, Harrisburg, and Pottsville



DATE: NOVEMBER 22, 2024
PROJECT NO.: 2024A84-019
MANAGER: CHRIS VENARCHICK
SHEET NO.: LD-16 OF 32

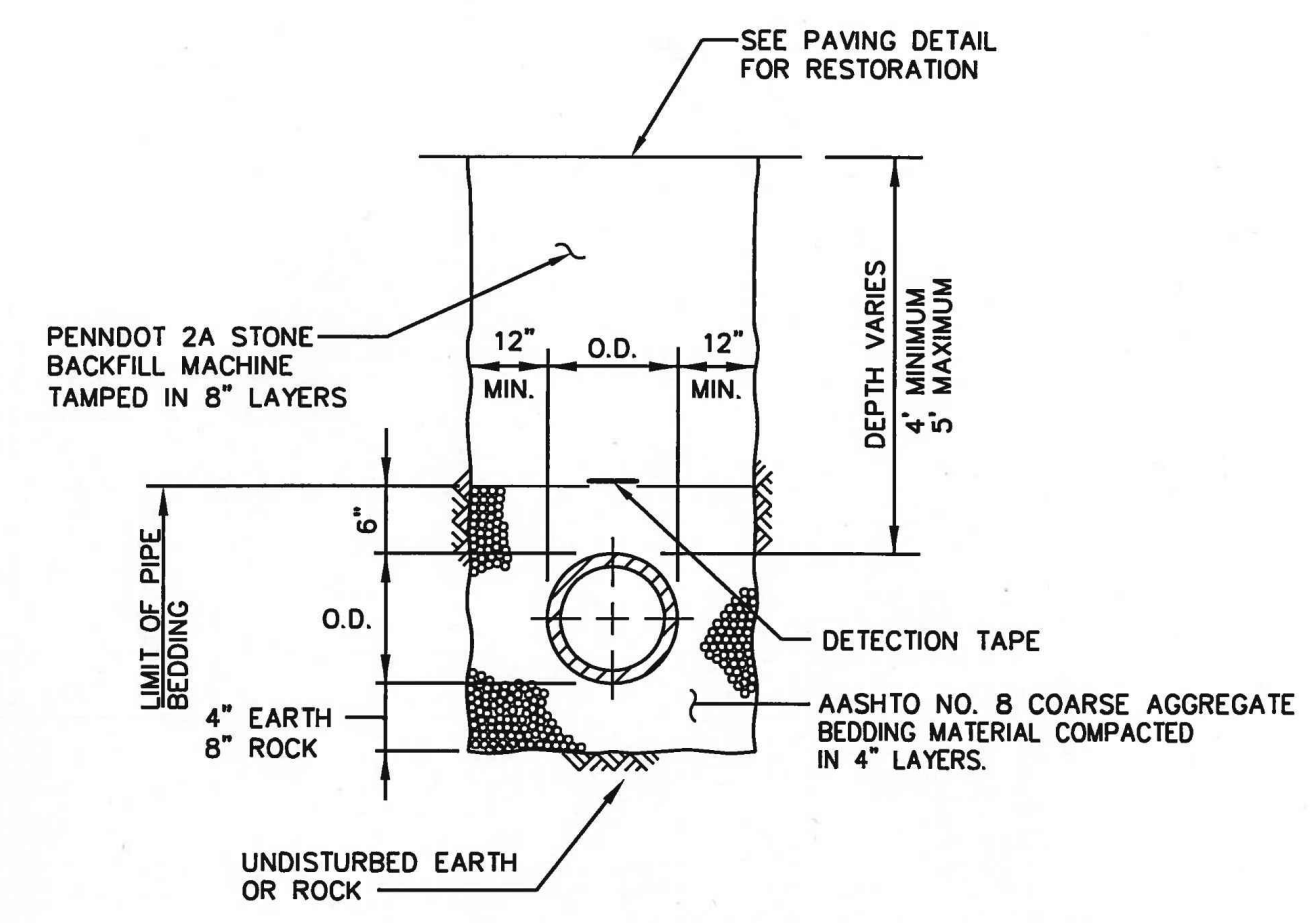
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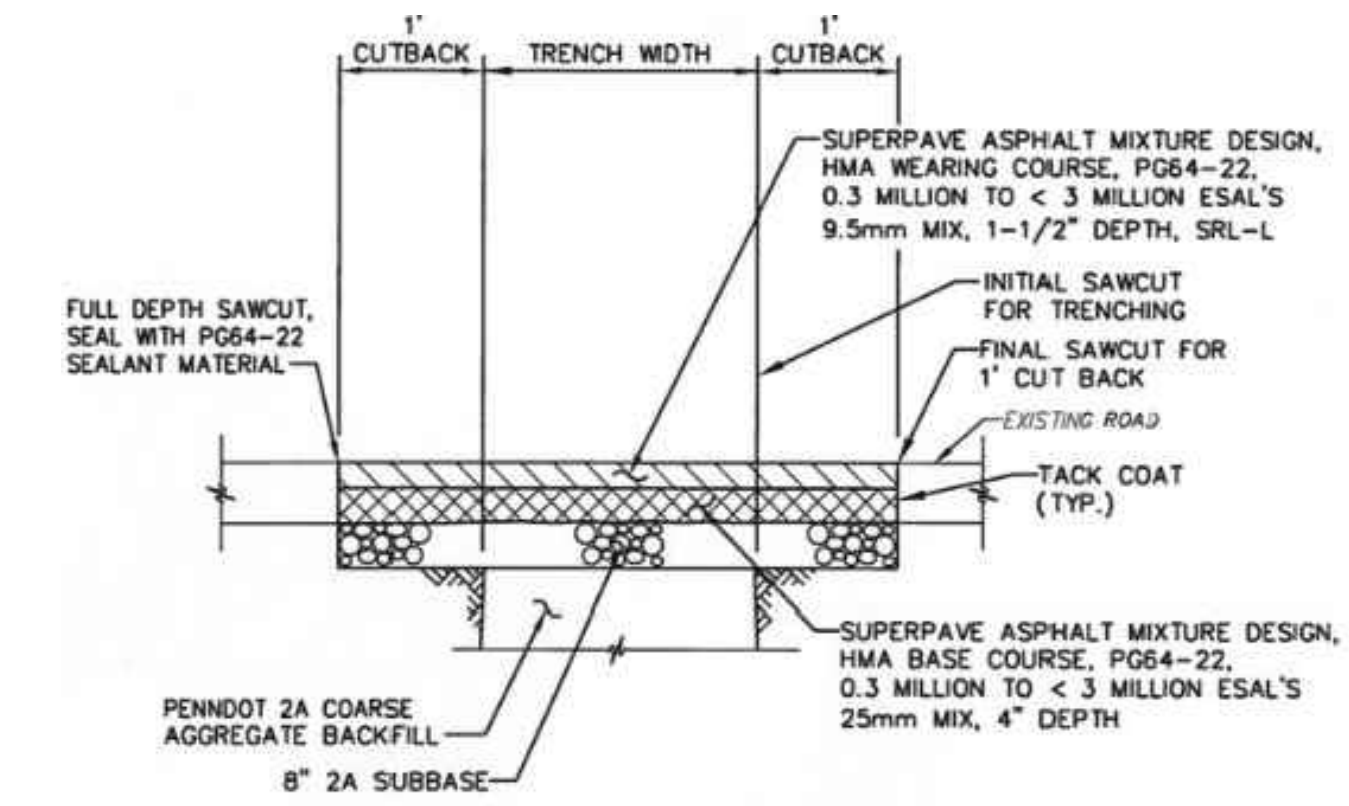
1 WATERLINE TRENCH - UNPAVED AREAS

NOT TO SCALE



2 WATERLINE TRENCH - PAVED AREAS

NOT TO SCALE



3 PAVING RESTORATION

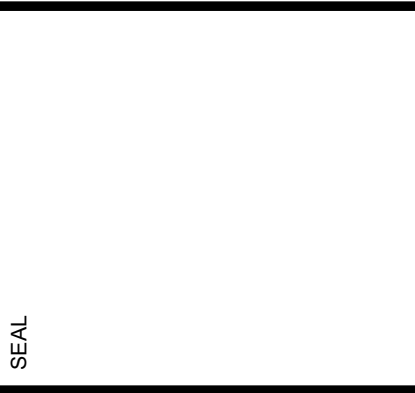
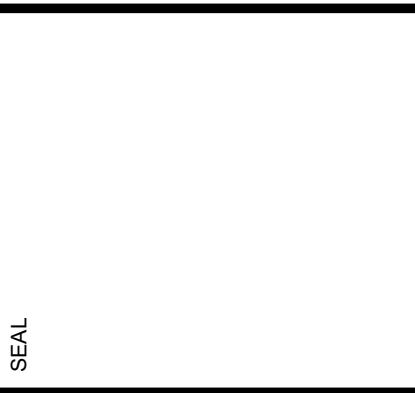
NOT TO SCALE

SANITARY SEWER			
GRAVITY SEWER PIPE	PVC	SDR-35 (PS46) ASTM D3034 (PRODUCT STANDARD) ASTM F477 (GASKET) ASTM D3212 (INTEGRAL BELL JOINT)	REFER TO PROFILE
WATER			
WATER LATERAL	WHC	HDPE (LATERAL) SCHEDULE 40 PVC (CASING)	REFER TO DETAIL
SITE FEATURES AND LANDSCAPING			
TOPSOIL		ASTM D5268 - STANDARD SPECIFICATION FOR TOPSOIL ASTM D4972 - TEST METHOD OF pH FOR SOILS	SEE GRADATION OF ASTM STANDARD
HARDWOOD MULCH		N/A	DOUBLE SHREDDED HARDWOOD COLOR: BLACK OR BROWN FREE OF TRASH, DEBRIS AND OTHER NON-ORGANIC MATERIALS

4 MATERIAL SPECIFICATIONS

NOT TO SCALE

NO.	DATE	REVISION



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CLAYSBURG, PA 16625
(814) 239-8013

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(VETERANS DRIVE)
FINAL LAND DEVELOPMENT PLAN

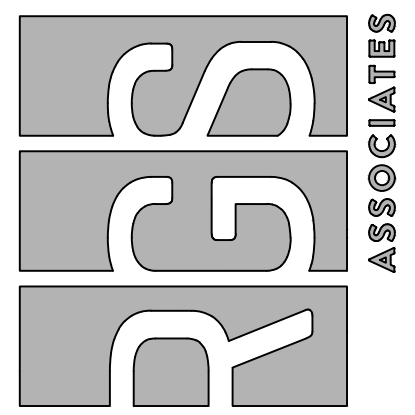
MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

WATER DETAILS

Land Planning
Landscape Architecture
Civil Engineering

Corporate Office:
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York, PA 17403
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