

**CERTIFICATIONS**

**CERTIFICATION OF SURVEY ACCURACY**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, 20

**CERTIFICATION OF PLAN ACCURACY**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, 20

**STORMWATER MANAGEMENT PLAN CERTIFICATION**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT, 20

**UTILITY DESIGN CERTIFICATION**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PUBLIC SEWER AND WATER SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RULES, REGULATIONS AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR WASTE WATER COLLECTION SYSTEM EXTENSIONS AND THE GENERAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION OF MOUNT JOY TOWNSHIP AUTHORITY AND THE WATER SUPPLY WILL MEET THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 20

**CARBONATE GEOLOGY CERTIFICATE**

I, \_\_\_\_\_, CERTIFY THAT THE PROPOSED STORMWATER/BMP FACILITY (CIRCLE ONE) IS/IS NOT UNDERLAIN BY CARBONATE GEOLOGY. 20

**DESIGN REVIEW CERTIFICATE - SEWER**

THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY PRESENTLY HAS ADEQUATE CAPACITY IN THE EXISTING PUBLIC SANITARY SEWER SYSTEM TO CONVEY THE ESTIMATED 46,880 GALLONS PER DAY SANITARY SEWAGE FLOW FROM THIS PROPOSED DEVELOPMENT. THE FACILITIES TO BE CONSTRUCTED MUST MEET WITH THE APPROVAL OF THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY ENGINEER AND SOLICITOR AND COMPLY WITH THE AUTHORITY'S RULES, REGULATIONS AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR WASTE WATER COLLECTION SYSTEM EXTENSIONS. 20

**DESIGN REVIEW CERTIFICATE - WATER**

THE ELIZABETHTOWN AREA WATER AUTHORITY HEREBY CERTIFIES THAT: (A) THIS PLAN HAS BEEN APPROVED FOR, OR RESERVED CAPACITY FOR; (B) EQUIVALENT DWELLING UNITS; (C) A WATER ENGINEER HAS APPROVED THE PROPOSED DESIGN AND CONSTRUCTION; (D) A WATER EXTENSION/DEVELOPMENT AGREEMENT HAS BEEN EXECUTED; AND (E) SUFFICIENT FINANCIAL SECURITY HAS BEEN PROVIDED BY THE AUTHORITY TO FULLY COVER THE COSTS FOR CAPACITY AND INSTALLATION OF THE PLANNED IMPROVEMENTS. 20

BOARD CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

ALTERNATE AUTHORIZED OFFICIAL: \_\_\_\_\_ DATE: \_\_\_\_\_

**PLANNING COMMISSION - FINAL PLAN APPROVAL CERTIFICATE**

AT A MEETING ON \_\_\_\_\_, 20\_\_\_\_, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION GRANTED FINAL PLAN APPROVAL OF THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS MARKED SHEET(S) \_\_\_\_\_ THROUGH \_\_\_\_\_ WHICH FORM A PART OF THE APPLICATION DATED \_\_\_\_\_ AND BEARING MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. \_\_\_\_\_. THIS PLAN MAY NOT BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR LANCASTER COUNTY NOR MAY ANY CONSTRUCTION BE INITIATED. 20

**LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE**

THIS PLAN, BEARING LOPC FILE NO. \_\_\_\_\_, REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON \_\_\_\_\_ AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT. 20

\_\_\_\_\_  
SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

**OWNER'S STORMWATER MANAGEMENT CERTIFICATE (KGH DEVELOPMENT)**

I, \_\_\_\_\_, HEREBY ACKNOWLEDGE THAT THE SWM FACILITIES ARE TO BE PERMANENT FIXTURE THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE TOWNSHIP. 20

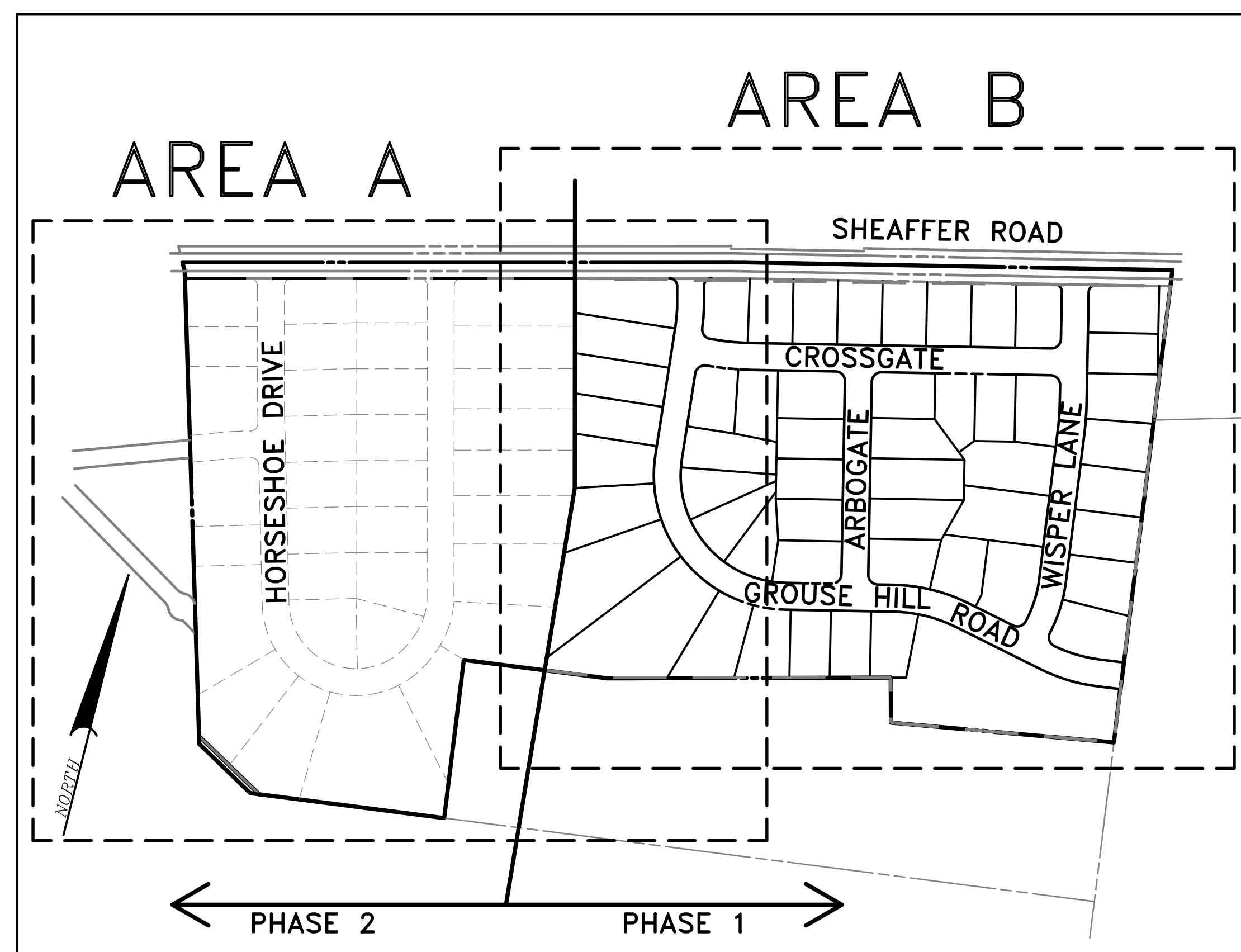
OWNER'S SIGNATURE \_\_\_\_\_

**PRIOR RECORDED PLANS:**

SUBJECT TRACT: 2019-0492-J SUBDIVISION PLAN TRACT #: J-032-022

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PRIOR RECORDED PLAN TABLE IS COMPLETE AND CORRECT. 20

# FINAL LAND DEVELOPMENT, SUBDIVISION, AND LOT ADD-ON PLAN FOR RAFFENSPERGER-PHASE 1 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PA



OVERALL SITE PLAN

SCALE: 1"=200'

**WAIVERS AND DEFERRAL REQUEST**

DEFERRALS FROM THE FOLLOWING SECTIONS OF THE MOUNT JOY SUBDIVISION AND LAND DEVELOPMENT ORDINANCES WERE GRANTED AT THE SEPTEMBER 25, 2023 PLANNING COMMISSION MEETING:  
1. SECTION 119-52.J - THE FRONTAGE ALONG SOUTH MARKET STREET, JONLYN DRIVE, AND SHEAFFER ROAD SHALL BE IMPROVED IN ACCORDANCE WITH 119-52.J OR AS INDICATED ON THE TOWNSHIP OFFICIAL MAP, WHICHEVER IS GREATER.  
CONDITION: A DEFERRAL AGREEMENT SHALL BE EXECUTED IN A FORM ACCEPTABLE TO THE TOWNSHIP SOLICITOR.

WAIVERS/MODIFICATIONS FROM THE FOLLOWING SECTIONS OF THE MOUNT JOY STORMWATER MANAGEMENT ORDINANCE WERE GRANTED AT THE SEPTEMBER 25, 2023 PLANNING COMMISSION MEETING:  
1. SECTION 113-31.L(1) - LIMITING ZONE SEPARATION  
2. SECTION 113-31.L - INFILTRATION TESTING

**PHASE SCHEDULE**

PHASE 1: 53 UNITS - CONSTRUCTION COMMENCEMENT SUMMER OF 2024

**PROTECTED TREE CALCULATIONS**

SUBJECT TRACT: 9.9 AC OF WOODED AREAS EXIST ON THE SUBJECT TRACT. 3.25 AC OF WOODED AREAS (32%) PRESERVED DURING CONSTRUCTION.

**SUPPLEMENTAL PLANS**

PLAN SHEET NO. EROSION & SEDIMENT CONTROL PLAN POST CONSTRUCTION STORMWATER MANAGEMENT PLAN LAST REVISED 11/30/23 11/30/23

**SOURCE OF TITLE**

SUBJECT TRACT: KGH DEVELOPMENT TRACT #: 460-63546-0-0000 RICHARD A. & GRACE M. ERB  
ACCOUNT # 460-63546-0-0000 ADDRESS: 2325 SHEAFFER RD.  
INSTRUMENT NO. 6499585 ACCOUNT # 460-19682-0-0000 INSTRUMENT NO. 1-750369

**PHASE 1 SITE DATA**

	SUBJECT TRACT:	TRACT #:
TOTAL AREA	33.97 AC. (32,669 AC. NET)	0.70 AC.
EXISTING USE	AGRICULTURAL	RESIDENTIAL
PROPOSED USE	RESIDENTIAL	RESIDENTIAL
TOTAL NUMBER OF LOTS	53	1
TOTAL NUMBER OF DWELLING UNITS	53	1
TOTAL NUMBER OF OPEN SPACE LOTS	0	N/A
PROPOSED WATER SUPPLY	PUBLIC	PUBLIC
SANITARY SEWER SERVICE	PUBLIC	PUBLIC

\* PRIOR TO SUBDIVISION

**PHASE 1 ZONING DATA**

	REQUIRED(R-2)	PROVIDED(R-2)	TRACT #:
MINIMUM LOT AREA	8,500 SF.	8,500 SF.	31,972 SF.
MINIMUM LOT WIDTH	70 FT.	70 FT.	121 FT.
MINIMUM LOT DEPTH	100 FT.	100 FT.	256 FT.
FRONT SETBACK	20 FT.	20 FT.	20 FT.
SIDE SETBACK	8 FT.	8 FT.	8 FT.
REAR SETBACK	20 FT.	20 FT.	20 FT.
MAXIMUM BUILDING COVERAGE	30%	20.28% (288,658 SF.)	13.3% (4,353 SF.)
MAXIMUM BUILDING HEIGHT	35 FT.	< 35 FT.	< 35 FT.
MAXIMUM IMPERVIOUS COVERAGE	35%	30.71% *	21.6%
MAXIMUM DENSITY	3.5 UNITS/AC.	1.62 UNITS/AC.	1 UNITS/AC.
OFF-STREET PARKING **	106 SPACES	212 SPACES	4 SPACES

\*\* AFTER SUBDIVISION

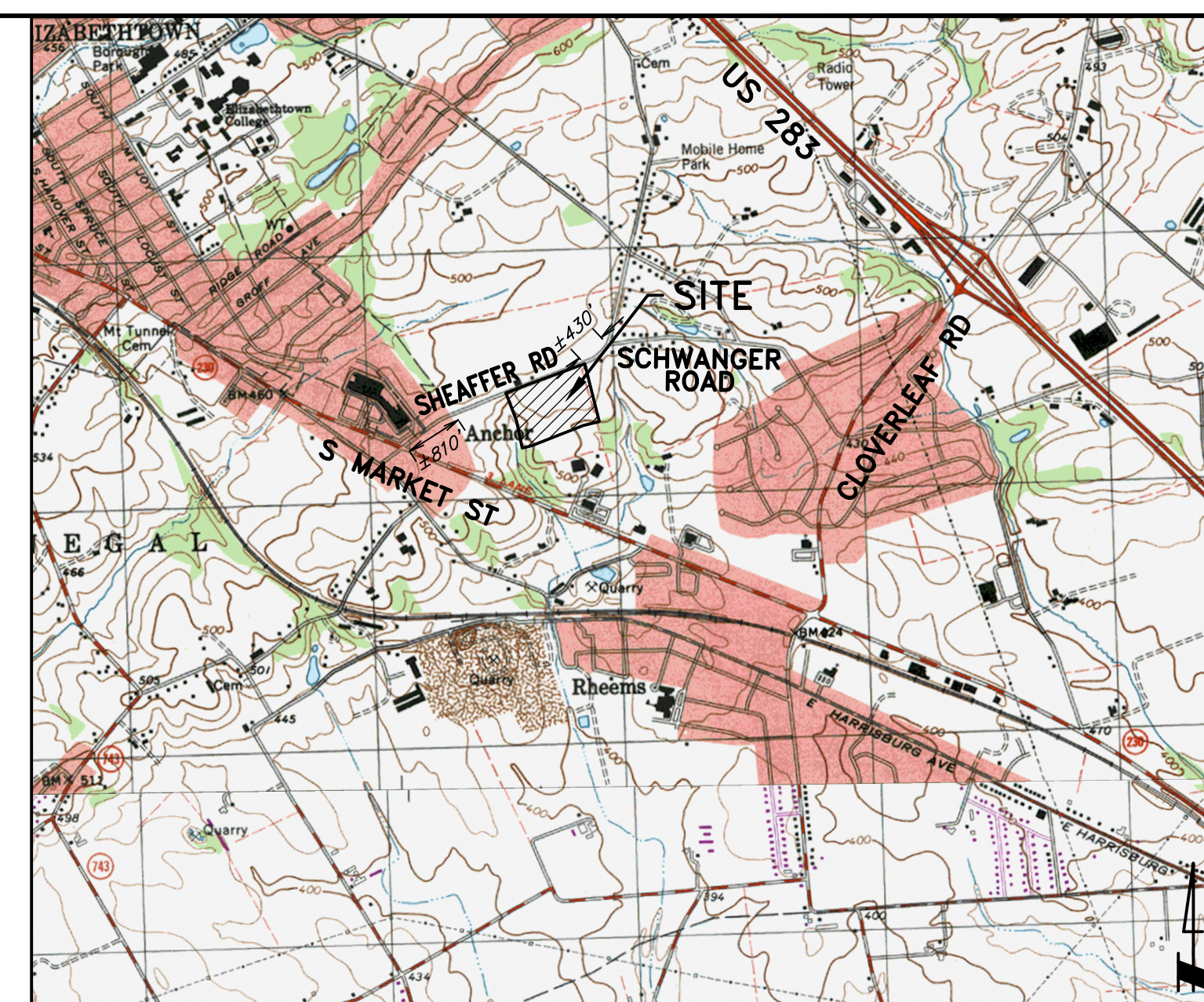
\*IMPERVIOUS COVERAGE TABULATION PHASE 1  
BUILDINGS = 20 LF. X 18' X 53' = 288,658 SF.  
DRIVEWAYS = 1,364 LF. X 40.33' = 50,010 SF.  
GROUSE HILL DR. = 674 LF. X 40.33' = 27,182 SF.  
CROSSGATE = 395 LF. X 40.33' = 15,930 SF.  
ARBORGATE = 663 LF. X 40.33' = 26,739 SF.  
WISPER LANE = 938 LF. X 4.70' = 4,409 SF.  
TOTAL IMPERVIOUS = 432,008 SF.

(ROAD IMPERVIOUS = 28' CARTWAY + (2) 14" CURBS + (2) 5' SIDEWALK = 40.33')

\*\*PARKING TABULATION PHASE 1  
2 SPACES PER UNIT REQUIRED: 53 X 2 = 106 SPACES  
4 SPACES (2 GARAGE AND 2 DRIVEWAY SPACES) PROVIDED PER UNIT: 53 X 4 = 212 SPACES

**LIST OF DRAWINGS**

PLAN SHEET NO.	TITLE
1 OF 33	COVER SHEET
2 OF 33	NOTES
3 OF 33	OVERALL TRACT LAYOUT
4 OF 33	OVERALL EXISTING CONDITIONS PLAN
5 OF 33	EXISTING CONDITIONS/DEMOLITION PLAN AREA A
6 OF 33	EXISTING CONDITIONS/DEMOLITION PLAN AREA B
7 OF 33	OVERALL SUBDIVISION PLAN
8 OF 33	SUBDIVISION PLAN AREA A
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10 OF 33	LAYOUT PLAN AREA A
11 OF 33	LAYOUT PLAN AREA B
12 OF 33	GRADING PLAN AREA A
13 OF 33	GRADING PLAN AREA B
14 OF 33	UTILITY PLAN AREA A
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18 OF 33	LANDSCAPE & LIGHTING PLAN AREA A
19 OF 33	LANDSCAPE & LIGHTING PLAN AREA B
20-24 OF 33	PROFILES
25-33 OF 33	DETAILS



USGS QUADRANGLE: ELIZABETHTOWN, PA  
SITE LOCATION MAP  
SCALE: 1"=2000'

FOR RETNEW ASSOCIATES BY:

MANAGER: KIM M. FASNACHT  
DESIGN BY: CHKD BY: KMF  
SURV. CHIEF: JAR  
DRAWN BY: AJM  
CHECKED BY: AJM

CLIENT: KGH DEVELOPMENT, 120 NORTH POINTE BLVD., LANCASTER, PA 17601 (717) 560-9095

RETNEW Associates, Inc. Lancaster, PA 17603  
Phone: (800) 738-8395  
Email: ratten@retnew.com  
Website: www.retnew.com

COVER SHEET  
FINAL LAND DEVELOPMENT, SUBDIVISION, AND LOT ADD-ON PLAN FOR RAFFENSPERGER - PHASE 1 MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

DATE: 4/12/24  
SHEET NO. 1 OF 33  
DWG. NO. 019792000

**GENERAL NOTES**

- 1. THE PURPOSE OF THIS PLAN IS TO PROPOSE A PHASE 1 OF 2 RESIDENTIAL DEVELOPMENT FEATURING SINGLE-FAMILY DETACHED DWELLINGS, CONSISTENT WITH THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE.
- 2. HORIZONTAL DATUM IS BASED ON PREVIOUS RETIEW SURVEYS.
- 3. VERTICAL DATUM IS NGVD 29.
- 4. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, PA ONE CALL UTILITY RESPONSE AND/OR BEST AVAILABLE PLAN INFORMATION, PA ONE CALL NOTIFICATION SERIAL NUMBER IS 20191353817-000, DATED 5-31-19. (REVIEW CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES, AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONSTRUCTION CONTRACT.)
- 5. RIGHT-OF-WAY LINES SHOWN ARE BASED ON PRELIMINARY/FINAL MINOR SUBDIVISION PLAN FOR DANIEL H. RAFFENSPERGER, DRAWING NUMBER LC-11, PREPARED BY BURCH ASSOCIATES, DATED JUNE 3, 2019, REVISED NOVEMBER 6, 2019, RECORDED IN INSTRUMENT NO. 2019-0492-J.
- 6. TOPOGRAPHIC SURVEY PERFORMED BY RETIEW ASSOCIATES, INC. IN JUNE 2019.
- 7. TOPOGRAPHY WITHIN THE OBSCURE SURVEY LIMIT LINE MAY HAVE REDUCED ACCURACIES DUE TO DENSE TREE CANOPY COVERAGE AND SHOULD BE FIELD VERIFIED BEFORE FINAL DESIGN.
- 8. RIGHT-OF-WAY LINES FOR LARKSPUR LANE AND SAGER ROAD SHOWN PER DEED BOOK P-84 PAGE 421. AGREEMENT PROVIDING FOR GRANT OF PUBLIC RIGHT-OF-WAY AND PLAN SHOWING RIGHT-OF-WAY ACQUISITION FOR SAGER LANE AND SAGER ROAD PREPARED BY D.C. GOHN ASSOCIATES, INC., DRAWING NUMBER CG-709, DATED NOVEMBER 20, 1981.
- 9. BENCHMARK - REBAR WITH CAP ON SOUTHER RIGHT-OF-WAY LINE OF SHEAFFER ROAD. ELEVATION: 524.94, MOUNT JOY AUTHORITY DATUM (NGVD 29).
- 10. SITE TO BE ENTIRELY SERVED BY BOTH PUBLIC WATER AND SEWER.
- 11. ALL PROPOSED UTILITY LINES SHALL BE LOCATED UNDERGROUND AND WITHIN PUBLIC STREETS, ALLEYS, OR OTHER PUBLIC RIGHTS-OF-WAY. ANY REQUIRED UTILITY STRUCTURES, BUILDINGS, BUMP STATIONS, OR OTHER SIMILAR DEVICES SHALL BE SCREENED FROM ADJOINING PROPERTIES AND ROADS.
- 12. STREET TREES ARE TO BE PROVIDED PER THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- 13. EACH UNIT WILL PROVIDE AT LEAST TWO (2) OFF-STREET PARKING SPACES IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE. STREET WIDTHS WERE DETERMINED BY AVAILABLE PARKING ON EACH STREET.
- 14. A FEE-IN-LIEU OF PARK AND OPEN SPACE DEDICATION WILL BE OFFERED TO MOUNT JOY TOWNSHIP. THE COMMON OPEN SPACE WILL BE DEDICATED TO THE HOMEOWNERS ASSOCIATION.
- 15. ANY MODIFICATION TO THE EXISTING ROADWAY INLET/DRAINAGE STRUCTURES WILL REQUIRE CONCRETE GRADE ADJUSTMENT RINGS. IN ADDITION, ALL PROPOSED PIPE CONNECTIONS TO EXISTING DRAINAGE STRUCTURES SHALL UTILIZE CONCRETE OR MORTAR. BRICK IS NOT PERMITTED FOR EITHER SITUATION.
- 16. ALL STREETS SHOWN ON THIS PLAN SHALL BE OFFERED FOR DEDICATION TO MOUNT JOY TOWNSHIP.
- 17. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT. THIS NOTE SHALL ALSO BE INCLUDED IN ALL DEEDS FOR LOTS WHICH CONTAIN AN EASEMENT.
- 18. NO STRUCTURES, LANDSCAPING OR GRADING MAY BE CONSTRUCTED, INSTALLED OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF MOTORISTS.
- 19. UPON RECORDED OF THE PLAN, AND UPON FINAL GRADING, IF APPLICABLE, A REGISTERED LAND SURVEYOR SHALL PLACE ALL PERMANENT CONCRETE MONUMENTS AND GRADING CORNER MARKERS, WHERE REQUIRED. MONUMENTS SHALL BE OF CONCRETE OR STONE, WITH A FLAT TOP HAVING A MINIMUM WIDTH OR DIAMETER OF FOUR (4) INCHES AND A MINIMUM LENGTH OF THIRTY (30) INCHES. CONCRETE MONUMENTS SHALL BE MARKED WITH A THREE-QUARTER (3/4) INCH COPPER OR BRASS DOWEL; STONE OR PRECAST MONUMENT SHALL BE MARKED ON THE TOP WITH A PROPER INSCRIPTION AND A DRILL HOLE. MARKERS SHALL CONSIST OF IRON PIPES, OR STEEL BARS, AT LEAST 30 INCHES LONG, AND NOT LESS THAN THREE-QUARTERS (3/4) OF AN INCH IN DIAMETER IN ACCORDANCE SECTION 119-57 OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- 20. PRIOR TO THE USE AND OCCUPANCY OF A LOT, THE STREET NUMBER FOR THE LOT SHALL BE REQUIRED TO BE DISPLAYED IN A LOCATION CLEARLY VISIBLE AND READABLE, FROM ALL ADJACENT STREETS.
- 21. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND THE PLANNING COMMISSION'S APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH A PERMIT CAN BE ACQUIRED.
- 22. A WETLANDS INVESTIGATION WAS PERFORMED BY RETIEW ASSOCIATES.
- 23. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE START OF CONSTRUCTION.
- 24. ACCESS TO ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING INLETS, MANHOLES, STORM PIPES, ENDWALLS, HEADWALLS, SWALES AND DETENTION BASIN SHALL BE PROVIDED TO REPRESENTATIVES OF MOUNT JOY TOWNSHIP FOR THE PURPOSE OF INSPECTING ALL STORMWATER FACILITIES.
- 25. MOUNT JOY TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR PUBLIC USE.
- 26. FLOOR ELEVATIONS AND PROPOSED GRADING ARE SHOWN AS GUIDELINES. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER(S) TO INSURE THAT PROPER DRAINAGE AND GRADING PATTERNS ARE ESTABLISHED IN ACCORDANCE WITH THE GUIDELINES SHOWN.
- 27. ALL INLETS SHALL HAVE FLOW LINES INSTALLED AND INLET GRATES SHALL BE DEPOSED TWO (2) INCHES BELOW THE GRADE OF THE GUTTER.
- 28. WATER AND SEWER LINES MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10', OTHERWISE A VERTICAL SEPARATION OF 18" SHALL BE PROVIDED. IF NEITHER IS POSSIBLE, THEN A MINIMUM 20 FEET OF CONCRETE ENCASEMENT SHALL BE INSTALLED AROUND THE SANITARY SEWER PIPE CENTERED ON THE UTILITY CROSSING. IN NO CASE SHALL THE MINIMUM VERTICAL CLEARANCE BE LESS THAN 6 INCHES.
- 29. EXISTING UTILITIES HAVE BEEN SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ALLOW FOR THEIR LOCATION.
- 30. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DURING TO HIS NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AND COMPLETELY AT HIS EXPENSE.
- 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
- 32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING AND COVERING, AND SHEETING AND SHORING.
- 33. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- 34. STORMWATER MANAGEMENT FACILITIES (DETENTION FACILITIES, STORM DRAINAGE PIPES, AND ENDWALLS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE AND THE LANCASTER COUNTY CONSERVATION DISTRICT.
- 35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPING.
- 36. 72 HOURS PRIOR TO DIGGING, CONTRACTOR SHALL CALL PENNSYLVANIA ONE-CALL SYSTEM AT 1-800-242-1776.
- 37. PROVIDE 95% MODIFIED PROCTOR DENSITY FILL COMPACTION IN AREAS WHERE PROPOSED UTILITIES AND FILL ARE LOCATED. CONTRACTOR SHALL PROVIDE ALL COMPACTION TEST RESULTS TO THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY.
- 38. THE EMBANKMENT FILL MATERIAL SHALL BE FREE OF ROOTS, STUMPS, RUBBISH, STONES GREATER THAN 6 INCHES, FROZEN OR OTHER OBJECTIONABLE MATERIALS.
- 39. EMBANKMENTS SHALL BE COMPACTED BY SHEEPPOOT OR PAD ROLLER. THE LOOSE LIFT THICKNESS SHALL BE NINE INCHES OR LESS, DEPENDING ON ROLLER SIZE, AND THE MAXIMUM PARTICLE SIZE IS SIX INCHES OR LESS. 2/3 OF THE LIFT THICKNESS OF THE FIVE PHASES OF THE COMPACTION EQUIPMENT OVER THE ENTIRE SURFACE OF EACH LIFT IS REQUIRED. EMBANKMENT COMPACTION TO VISIBLE MOVEMENT IS ALSO REQUIRED.
- 40. ALL STORM STRUCTURES (I.E. - INLETS, STORM MANHOLES, ENDWALLS, ETC.) PROPOSED FOR DEDICATION OR LOCATED WITHIN A STREET SECTION SHALL BE CAPABLE OF HANDLING AN H5-25 LOADING.
- 41. ALL STORM SEWER PIPES, CULVERTS, MANHOLES, INLETS, ENDWALLS, AN END SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT FORM 408 SPECIFICATIONS, AS AMENDED, AND SHALL CONFORM TO THE REQUIREMENTS OF THE PENNDOT, BUREAU OF DESIGN, STANDARDS OF ROADWAY CONSTRUCTION (RC), PUBLICATION NO. 72, IN EFFECT AT THE TIME THE DESIGN IS SUBMITTED.
- 42. AN AS-BUILT PLAN MEETING ALL OF THE REQUIREMENTS OF SECTION 119-29 OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND SECTION 113-58 OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE SUBMITTED PRIOR TO FINAL APPROVAL OF THE INSTALLED IMPROVEMENTS, AND PRIOR TO DEDICATION OF ANY IMPROVEMENTS, INCLUDING STREETS. ALONG WITH THE REQUIRED AS-BUILTS, DETENTION BASIN ROUTINGS THAT COMPARE THE AS-BUILT OUTFLOWS TO THE DESIGN OUTFLOWS MUST BE PROVIDED PRIOR TO THE FINAL RELEASE OF THE FINANCIAL SECURITY FOR ALL STORM WATER MANAGEMENT AND CONVEYANCE FACILITIES. TO ENABLE THE COMPIATION OF ACCURATE AS-BUILT DRAWINGS, THE SITE CONTRACTORS MUST KEEP ACCURATE RECORDS OF THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL IMPROVEMENTS. THIS INFORMATION, ALONG WITH SUPPLEMENTAL FIELD SURVEYED INFORMATION, MUST THEN BE CONVERTED INTO AS-BUILT DRAWINGS THAT COMPLY WITH THE TOWNSHIP'S AS-BUILT REQUIREMENTS. FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER, THE APPLICANT SHALL SUBMIT THE AS-BUILT PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS.
- 43. STORMWATER MANAGEMENT FACILITIES LOCATED WITHIN EASEMENTS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (BASIN 3 THROUGH 6. THE ASSOCIATION SHALL HAVE THE RESPONSIBILITY OF MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES LOCATED WITHIN EASEMENTS ON INDIVIDUAL LOTS. THE TOWNSHIP SHALL HAVE THE RIGHT TO ENTER AND INSPECT THE FACILITY AT ANY TIME. THE TOWNSHIP SHALL MAINTAIN THE RIGHT TO AUTHORIZE CORRECTIVE MEASURES BE PERFORMED WHEN WARRANTED AND LIEN THE HOA.
- 44. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF THE PROPOSED OPEN SPACE AREAS SERVING THE DEVELOPMENT. AN AGREEMENT SHALL BE RECORDED WITH THE FINAL PLAN THAT ESTABLISHES THE CONDITIONS UNDER WHICH OPEN SPACE AREAS WILL BE MAINTAINED.
- 45. THE DEVELOPER/OWNER INTENDS TO DEDICATE THE PROPOSED SANITARY SEWER EASEMENTS TO THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY, AND SAID SANITARY SEWER EASEMENTS MUST BE EXCEPTED FROM ANY DEED CONVEYING THE LOTS ON WHICH THE SEWER EASEMENTS ARE LOCATED TO A THIRD PARTY ESPECIALLY WHEN THE LOTS ARE CONVEYED BEFORE THE EASEMENT IS FORMALLY DEDICATED AND ACCEPTED BY THE AUTHORITY.
- 46. ELBOWS SHALL BE PROVIDED WHERE THE WATER LINE WHERE DEFLECTIONS EXCEED MANUFACTURER'S RECOMMENDATIONS.THE WATER MAIN PIPE SHALL BE DEFLECTED IN ACCORDANCE WITH THE PIPE MANUFACTURERS SPECIFICATIONS OR AS ALLOWED BY THE AWWA, OTHERWISE JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE EAWA SPECIFICATIONS.
- 47. ALL SPEED LIMIT SIGNS AND STOP SIGNS SHALL ADHERE TO PENNDOT STANDARDS.
- 48. STREET NAME SIGNS SHALL BE INSTALLED AT ALL NEW STREET INTERSECTIONS.
- 49. ALL SANITARY SEWER WORK SHALL BE PERFORMED IN ACCORDANCE WITH ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS.
- 50. ANY CONNECTION TO THE WATER MAIN UNDER THE BUILDING ELEVATION OF 475' SHALL REQUIRE A PRESSURE REDUCING VALVE ON THE LATERAL GOING TO THE RESIDENCE.
- 51. WATERTIGHT JOINTS SHALL BE PROVIDED AT ALL PIPE JOINTS.
- 52. THERE ARE NO FEMA FLOODPLAINS MAPPED ON THE SITE PER FEMA MAP PANEL 114 ON MAP NUMBER 42071C0114F FOR LANCASTER COUNTY.
- 53. NEW MANHOLES WITH DROP CONNECTIONS AND THE 2 NEW MANHOLES LOCATED IMMEDIATELY DOWNSTREAM OF A DROP MANHOLE SHALL BE PROVIDED WITH A PVC OR HDPE LINER OR A SPRAY-APPLIED POLYURETHANE COATING PER ERSA SPECIFICATIONS.
- 54. THE TOTAL LOT AREAS FOR EACH LOT ARE SHOWN ON THIS SHEET.
- 55. ANY EQUIPMENT WITHIN THE PIPE RIGHT-OF-WAY SHALL NOT EXCEED 10 FEET IN HEIGHT.
- 56. ALL METALLIC PARTS WITHIN THE PP&L RIGHT-OF-WAY SHALL BE ADEQUATELY GROUNDED TO INDUSTRY STANDARD.
- 57. AREAS PROPOSED FOR INFILTRATION BMP'S SHALL BE PROTECTED FROM SEDIMENTATION AND COMPACTION DURING THE CONSTRUCTION PHASE TO MAINTAIN MAXIMUM INFILTRATION CAPACITY. STAGING OF EARTHMOVING ACTIVITIES AND SELECTION OF CONSTRUCTION EQUIPMENT SHALL INCORPORATE THESE REQUIREMENTS. FUTURE EROSION AND SEDIMENTATION CONTROL PLANS SHALL INCORPORATE THE PROVISIONS FOR PROTECTING INFILTRATION BMP'S DURING CONSTRUCTION.
- 58. INFILTRATION BMP'S SHALL NOT BE CONSTRUCTED NOR RECEIVE RUNOFF FROM DISTURBED AREAS UNTIL THE ENTIRE CONTRIBUTORY DRAINAGE AREA TO THE INFILTRATION BMP'S HAS ACHIEVED FINAL STABILIZATION AND IS NO LONGER CONTRIBUTING SEDIMENT LADEN RUNOFF. FUTURE EROSION AND SEDIMENTATION CONTROL PLANS SHALL INCORPORATE THE THESE PROVISIONS FOR PROTECTING INFILTRATION BMP'S DURING CONSTRUCTION.
- 59. AN 0&M AGREEMENT SHALL BE RECORDED TO INDICATE THE LOCATION AND RESPONSIBILITY FOR MAINTENANCE OF OFF-SITE FACILITIES LOCATED ON LEON RUTT AND GRH LLC PROPERTIES. THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL FACILITIES. THE HOA WILL BE RESPONSIBILITY FOR MAINTAINING THE LANDSCAPING CONTAINED WITHIN THE LANDSCAPE EASEMENT ON LEON RUTTS PROPERTY. THIS WILL BE ADDRESSED IN A LANDSCAPE MAINTENANCE AGREEMENT AND HOA DOCUMENTATION.
- 60. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING WRITTEN PERMISSION AND AGREEMENTS FOR ALL OFFSITE IMPROVEMENTS EXTENDING PAST THE SUBJECT TRACT BOUNDARY SUCH AS GRADING, DRAINAGE IMPROVEMENTS, ETC. SUBJECT TO THE APPROVAL OF THE TOWNSHIP/TOWNSHIP SOLICITOR.
- 61. STORM WATER MANAGEMENT IMPROVEMENTS ARE NOT PERMITTED TO BE CONSTRUCTED FROM THE APPROVED PRELIMINARY PLAN. IMPROVEMENTS FOR FUTURE PHASES ARE ONLY PERMITTED TO BE CONSTRUCTED AFTER A FINAL DESIGN IS PROVIDED AND APPROVED WITH THE FINAL PLANS. THE FINAL PLAN WILL REQUIRE FINALIZATION AND APPROVAL OF STORMWATER COLLECTION, CONVEYANCE, AND MANAGEMENT FACILITIES.
- 62. ALL UTILITY EASEMENTS SHALL BE MAINTAINED AS SHOWN ON THE PLANS AND NO BUILDINGS SHALL BE PLACED WITHIN THE BOUNDARIES OF AN EASEMENT.
- 63. LIGHTING DESIGN SHALL BE SUBMITTED WITH THE FINAL PLAN.
- 64. WALL DESIGN SHALL BE SUBMITTED WITH BUILDING PERMITS.
- 65. ALL WATER MAIN CONSTRUCTION SHALL CONFORM TO THE EAWA DESIGN AND CONSTRUCTION MANUAL, UNLESS AN EXEMPTION OR WAIVER HAS BEEN FORMALLY APPROVED AND CITED ON THIS PLAN.
- 66. FOR LANDS WITHIN ANY WATER FACILITY EASEMENT, EAWA SHALL HAVE THE RIGHT TO TRIM, CUT, OR REMOVE ANY TREE, SHRUBBERY, FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT COULD REASONABLY INTERFERE WITH THE EFFICIENT, PROPER, AND SAFE ACCESS AND MAINTENANCE TO THE EASEMENT AND/OR THE FACILITIES THAT IT CONTAINS. THIS SHALL INCLUDE ANY OF THE NOTED OBJECTS OR STRUCTURES THAT EXIST AT THE TIME OF THIS PLAN / AGREEMENT APPROVAL, AND EAWA SHALL HAVE NO OBLIGATION TO CORRECT, REPLACE, REPLANT, RESTORE SUCH MATERIAL, OR BE FINANCIALLY RESPONSIBLE FOR SAME.
- 67. NO RECORDED STORMWATER MANAGEMENT AGREEMENTS CURRENTLY EXISTING THAT AFFECT THE SUBJECT PROPERTY.
- 68. THE APPLICANT SHALL ENTER INTO A RECORDABLE AGREEMENT WITH THE TOWNSHIP PROVIDING FOR THE PERMANENT MAINTENANCE OF THE WETLAND AREA.
- 69. THE ADDITIONAL RIGHT-OF-WAY FOR SHEAFFER ROAD AND SOUTH MARKET STREET THAT WAS DEFERRED AS PART OF THE 2019 SUBDIVISION PLAN (RECORDED AS INSTRUMENT NO. 2019-0492-J) SHALL BE DEDICATED AND ACCEPTED AS PART OF FINAL PLAN APPROVAL.
- 70. ALL NEW STREET NAMES SHALL BE APPROVED BY THE ADDRESS MANAGER FOR THE POST OFFICE AND ALSO THE LANCASTER COUNTY-WIDE COMMUNICATIONS OFFICE.
- 71. WATERPROOFING SHALL BE APPLIED TO BASEMENT FOUNDATION WALLS.
- 72. ALL SEWER PIPES SHALL BE INSTALLED WITH GREEN MAGNETIC WARNING TAPE.
- 73. EXISTING MANHOLE RECEIVING THE NEW LPSS FORCE MAIN CONNECTION AND THE TWO MANHOLES IMMEDIATELY DOWNSTREAM SHALL RECEIVE AN INTERIOR COATING FOR CORROSION PREVENTION. INTERIOR COATING MUST MEET ERSA REQUIREMENTS AS DESCRIBED IN SECTION 7.B.6.b OF THE ERSA SPECIFICATIONS FOR SANITARY SEWER SYSTEM CONSTRUCTION.
- 74. SEWER THRUST RESTRAINT CONTRACTOR SHALL PROVIDE CONCRETE THRUST BLOCKING IN ACCORDANCE WITH ERSA STANDARD DETAILS OR RESTRAINED JOINT WITH MEGALUG AS MANUFACTURED BY EBAA IRON. A MINIMUM OF 20' OF CONTINUOUS RESTRAINED PIPE SHALL BE PROVIDED AT EACH LOCATION WITH UNBALANCED FORCES FOR ALL PIPES 4" AND LESS.

**GENERAL NOTES CONTINUED**

- 75. ALL STORMWATER MANAGEMENT FACILITIES WITHIN THE DRAINAGE EASEMENTS, INCLUDING INFILTRATION BASINS, RAIN GARDENS HEADWALLS, ENDWALLS, PIPING, SWALES, AND/OR RIPRAP SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE TOWNSHIP SHALL HAVE THE RIGHT TO ENTER AND INSPECT THE FACILITY AT ANY TIME. THE TOWNSHIP SHALL MAINTAIN THE RIGHT TO AUTHORIZE CORRECTIVE MEASURES BE PERFORMED WHEN WARRANTED AND LIEN THE HOA.
- 76. ALL RETAINING WALLS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ACCESS EASEMENTS ARE PROVIDED TO RETAINING WALLS TO ALLOW ACCESS FOR MAINTENANCE.

Raffensburger Maximum Lot Impervious Coverage				
Project Side	Lot #	Lot Area (SF)	35% Allowable Imp. Coverage	Assumed Imp. Coverage (SF) for SWM
	36	14,980	5,243	4,000
	37	13,544	4,740	4,000
East	38	12,699	4,445	4,000
East	39	11,854	4,149	4,000
East	40	12,773	4,471	4,000
East	41	15,206	5,322	4,000
East	42	28,582	10,004	4,000
East	43	38,083	13,329	4,000
East	44	14,874	5,206	4,000
East	45	11,312	3,959	3,500
East	46	9,457	3,310	3,000
East	47	9,339	3,269	3,000
East	48	9,545	3,341	3,000
East	49	9,927	3,474	3,000
East	50	9,809	3,433	3,000
East	51	12,142	4,250	4,000
East	52	9,886	3,460	3,000
East	53	9,925	3,474	3,000
East	54	8,653	3,029	3,000
East	55	9,776	3,422	3,000
East	56	10,396	3,639	3,500
East	57	9,766	3,418	3,000
East	58	9,882	3,459	3,000
East	59	9,957	3,485	3,000
East	60	9,962	3,487	3,000
East	61	9,963	3,487	3,000
East	62	9,965	3,488	3,000
East	63	9,962	3,487	3,000
East	64	10,113	3,540	3,500
East	65	9,743	3,410	3,000
East	66	11,083	3,879	3,500
East	67	10,047	3,516	3,500
East	68	9,260	3,241	3,000
East	69	9,375	3,281	3,000
East	70	10,508	3,678	3,500
East	71	9,375	3,281	3,000
East	72	9,375	3,281	3,000
East	73	9,465	3,313	3,000
East	74	11,007	3,852	3,500
East	75	13,163	4,607	4,000
East	76	11,632	4,071	4,000
East	77	10,830	3,791	3,500
East	78	14,791	5,177	4,000
East	79	16,085	5,630	4,000
East	80	14,507	5,077	4,000
East	81	11,622	4,068	4,000
East	82	9,943	3,480	3,000
East	83	11,535	4,037	4,000
East	84	11,057	3,870	3,500
East	85	10,666	3,733	3,500
East	86	10,672	3,735	3,500
East	87	11,669	4,084	4,000
East	88	12,513	4,380	4,000

**LOT AREA TABLE**

LOT #	AREA (S.F.)
36	14,980
37	13,544
38	12,699
39	11,854
40	12,773
41	15,206
42	28,582
43	38,083
44	14,874
45	11,312
46	9,457
47	9,339
48	9,545
49	19,194
50	10,186
51	12,135
52	9,886
53	9,925
54	8,685
55	10,234
56	10,275
57	9,766
58	9,882
59	9,957
60	9,962
61	9,963
62	9,962
63	9,962
64	10,113
65	9,372
66	11,083
67	10,047
68	9,260
69	9,375
70	10,508
71	9,375
72	9,375
73	8,976
74	11,007
75	13,163
76	11,632
77	10,830
78	14,791
79	16,085
81	11,622
82	9,943
83	11,535
84	11,057
85	10,666
86	10,672
87	11,669
88	12,513

**NOTE**

- 1. LOT LAYOUTS AS SHOWN FOR DEMONSTRATION PURPOSES. IF IMPERVIOUS IS ABOVE CALCULATED, THEN ON-LOT BMP'S SHALL BE REQUIRED.

**PA ONE CALL UNDERGROUND UTILITY PROTECTION ACT**

PURSUANT TO THE PROVISIONS OF ACT NO. 287 OF 1974, AS AMENDED BY ACT 187 OF 1996, ACT 181 OF 2006, ACT 160 OF 2016 AND ACT 50 OF 2018 OF THE PENNSYLVANIA STATE LEGISLATURE, RETIEW ASSOCIATES, INC. HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THE DRAWINGS:

- 1. PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETIEW ASSOCIATES, INC. REQUESTED FROM EACH FACILITY OWNER DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN TEN (10) NOR MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- 2. PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, RETIEW ASSOCIATES, INC. HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM SERVING THE LOCATION WHERE THE WORK IS TO BE PERFORMED, AND SHOWING THE ASSOCIATED SERIAL NUMBER(S) ON THIS/THESE DRAWING(S).
- 3. PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, RETIEW ASSOCIATES, INC. HAS SHOWN UPON THIS/THESE DRAWING(S) THE POSITION AND TYPE OF EACH FACILITY, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2).
- 4. PURSUANT TO SECTION 4, CLAUSE (6) OF SAID ACT, RETIEW ASSOCIATES, INC. HAS SHOWN UPON THIS/THESE DRAWING(S) THE TOLL-FREE NUMBER FOR THE ONE CALL SYSTEM AND THE SERIAL NUMBER(S) FOR THE ASSOCIATED ONE CALL SYSTEM NOTIFICATION(S).

ADDITIONALLY, RETIEW ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST, AND AS REFLECTED ON THIS/THESE DRAWING(S), IS CORRECT OR ACCURATE. INFORMATION REFLECTED ON THIS/THESE DRAWING(S) IS SHOWN AS REQUIRED BY SAID ACT NO. 160 OF 2016, AND AS PROVIDED BY THE FACILITY OWNER PURSUANT TO SECTION 2, CLAUSE (4) OF SAID ACT.  
DATE: 5/15/2019

ONE CALL SYSTEM SERIAL NUMBER: 20191353817

**PA1**  
**SYSTEM, INC.**  
**1-800-242-1776**

**CALL BEFORE YOU DIG!**  
**PENNSYLVANIA LAW REQUIRES**  
**(3) WORKING DAYS NOTICE FOR**  
**CONSTRUCTION PHASE AND (10) WORKING**  
**DAYS IN DESIGN STAGE - STOP CALL**

**UTILITIES**

- CENTURY LINK  
122 BALTIMORE ST.  
HANOVER, PA 17331  
1-800-242-1776
- PPL ELECTRIC UTILITIES CORP.  
THE TEX PARK  
651 DELP ROAD  
LANCASTER, PA 17601-3034  
1-800-242-1776
- MOUNT JOY TOWNSHIP  
8863 ELIZABETHTOWN ROAD  
ELIZABETHTOWN, PA 17022  
1-800-242-1776
- ELIZABETHTOWN AREA WATER AUTHORITY  
211 WEST HUMELSTOWN STREET  
ELIZABETHTOWN, PA 17022  
1-800-242-1776
- UGI UTILITIES, INC.  
1301 AIP DRIVE  
MIDDLETOWN, PA 170587-5987  
1-800-242-1776
- ELIZABETHTOWN REGIONAL SEWER AUTHORITY  
235 ERSER DRIVE  
ELIZABETHTOWN, PA 17022  
1-800-242-1776
- MOUNT JOY BOROUGH/MOUNT JOY BOROUGH AUTHORITY  
21 EAST MAIN STREET  
MOUNT JOY, PA 17552  
1-800-242-1776

**FOR RETIEW ASSOCIATES BY:**

**MANAGER:** ARIAN M. FASNACHT  
**DESIGN BY:** CHOD BY: KMF  
**SURV. CHIEF:** RETIEWBOOK NO. DATA COLLECTOR:  
**DRAWN BY:** CHOD BY: ARIAN  
**DRAWING REFERENCE:** C:\CAD\Systems\Software\AutoCAD\Temp\DWG\Plan\_71540\019792000-Final\_Plan\_Phone

**DATES:** 019792000-SV-BASE THESED 019792000-LD-BASE THESED 019792000-LD-ORAD THESED 019792000-SV-UGES THESED 019792000-SV-TOPD THESED 019792000-LD-LAY THESED 019792000-LD-PRASE THESED

**CLIENT**  
**KGH DEVELOPMENT,**  
**120 NORTH PONTE BLVD.,**  
**LANCASTER, PA 17601**  
**(717) 560-9095**

**NOTES:**

**REVIEW**  
RETIEW Associates, Inc. • Lancaster, PA 17603  
Phone (610) 738-8395  
Email: retiew@retiew.com  
Website: www.retiew.com

**NOTES**  
FINAL LAND DEVELOPMENT,  
SUBDIVISION, AND LOT ADD-ON PLAN  
FOR  
**RAFFENSPERGER - PHASE 1**  
MOUNT JOY TOWNSHIP  
LANCASTER COUNTY, PA

Engineers • Planners • Surveyors • Landscape Architects  
Construction Management

DATE: 4/12/24  
SHEET NO. 2 of 33  
DWG. NO. 019792000

**NOT FOR CONSTRUCTION/NOT FOR BIDDING**





### LEGEND

EXISTING BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING VEGETATION	---
EXISTING TREE LINE	---
EXISTING FENCE	---
EXISTING SIGN	---
EXISTING ELECTRIC METER	---
EXISTING UTILITY POLE	---
EXISTING UNDERGROUND ELECTRIC LINE	---
EXISTING UNDERGROUND TELEPHONE LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING OVERHEAD CABLE LINE	---
EXISTING OVERHEAD TELEPHONE LINE	---
EXISTING WELL	---
EXISTING FIRE HYDRANT	---
EXISTING WATER LINE	---
EXISTING WATER VALVE	---
EXISTING WATER METER	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER LINE	---
EXISTING SANITARY SEWER FORCEMAIN	---
EXISTING TELEPHONE BOX	---
EXISTING GAS LINE	---
EXISTING GAS METER	---
EXISTING GAS VALVE	---
EXISTING STORM MANHOLE	---
EXISTING STORM INLET	---
EXISTING STORM HEADWALL/ENDWALL	---
EXISTING STORM PIPE	---
EXISTING CONTOUR LINE	---
EXISTING STREAM	---
EXISTING FLOODPLAIN	---
EXISTING WETLAND	---
SOIL TYPE BOUNDARY LINE	---
SOIL TYPE DESIGNATION	---
ZONING BOUNDARY LINE	---
PHASE 1 BOUNDARY LINE	---

### STEEP SLOPE LEGEND

SLOPES 15% - 25%	---
SLOPES < 25%	---

### SOILS CLASSIFICATION

LaB: LANDSDALE LOAM, 3% TO 8% SLOPES  
 LaC: LANDSDALE LOAM, 8% TO 15% SLOPES  
 LaD: LANDSDALE LOAM, 15% TO 25% SLOPES

### LINE TABLE

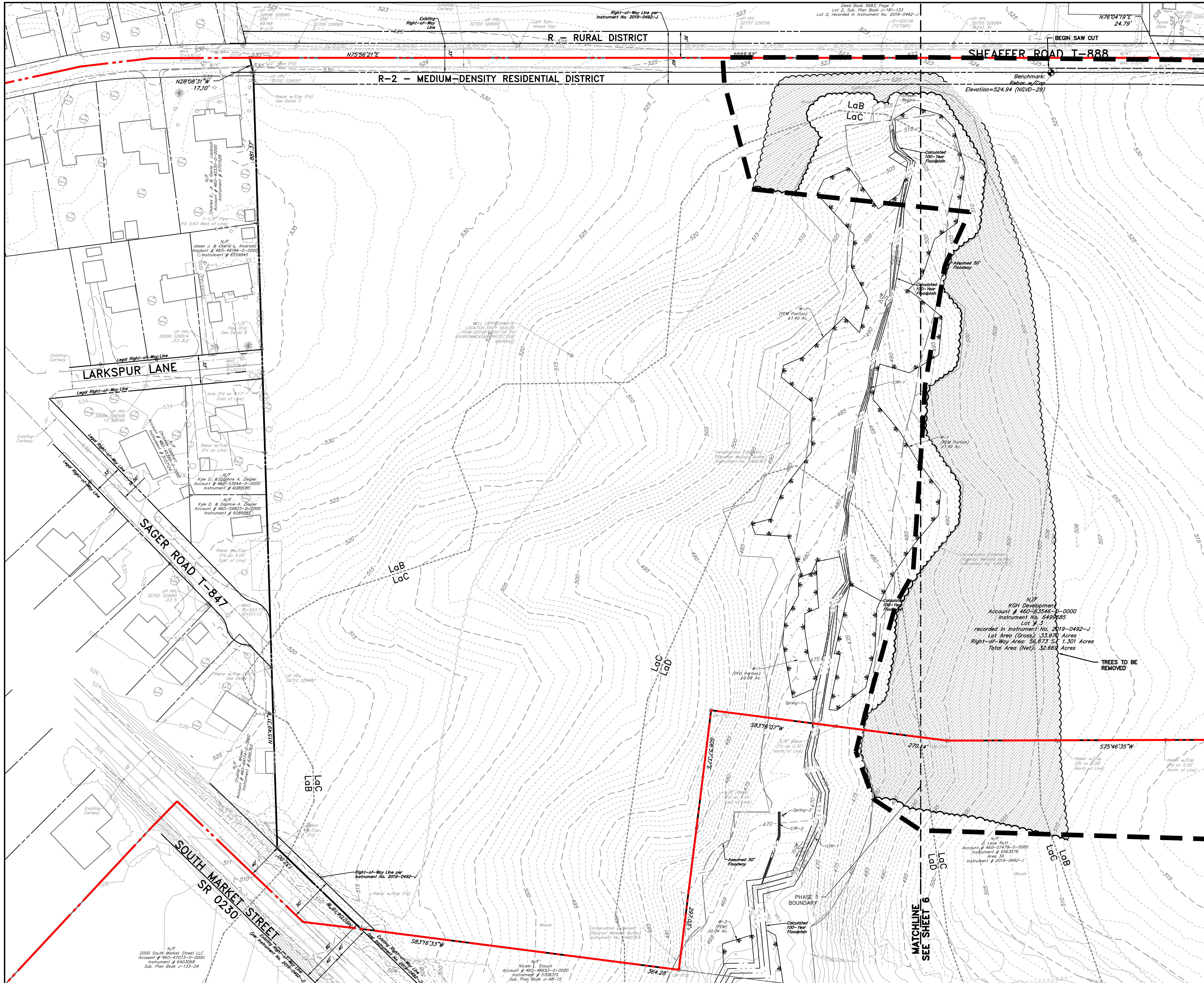
LINE #	BEARING	DISTANCE
L1	N75°31'18"E	100.29'
L2	S07°03'28"E	14.65'

### CURVE TABLE

CURVE #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C1	740.25'	109.88'	N68°28'02"E	109.78'

<p>FOR RETTEW ASSOCIATES BY:</p> <p>MANAGER: KIM M. FASNAUGHT          DESIGN BY: JAR          SURV. CHIEF: JAR          DRAWN BY: JAR</p>	<p>CLIENT:</p> <p>KGH DEVELOPMENT          120 NORTH POINTE BLVD.          LANCASTER, PA 17601          (717) 560-9095</p>	<p>DATE: 4/12/24</p> <p>SHEET NO. 4 OF 33</p> <p>DWG. NO. 019792000</p>	<p>DRAWING REFERENCE:</p> <p>DATE: _____</p> <p>NO. _____</p> <p>REVISION _____</p>	<p>OVERALL EXISTING CONDITIONS PLAN</p> <p>FINAL LAND DEVELOPMENT, SUBDIVISION, AND LOT ADD-ON PLAN FOR RAFFENSPERGER - PHASE 1</p> <p>MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA</p>	<p>RETTEW ASSOCIATES, INC.</p> <p>Engineers • Planners • Surveyors • Landscape Architects</p> <p>1000 South Market Street, Lancaster, PA 17603          Phone: (717) 560-9095          Email: ratten@rettew.com          Website: www.ratten.com</p>
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NOT FOR CONSTRUCTION/NOT FOR BIDDING

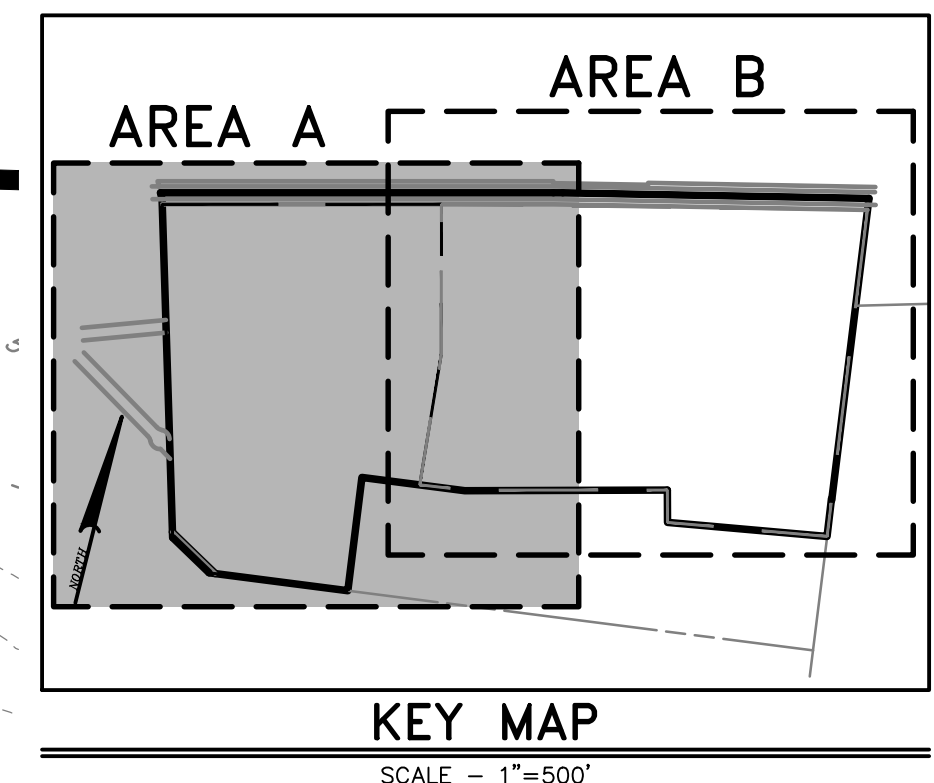
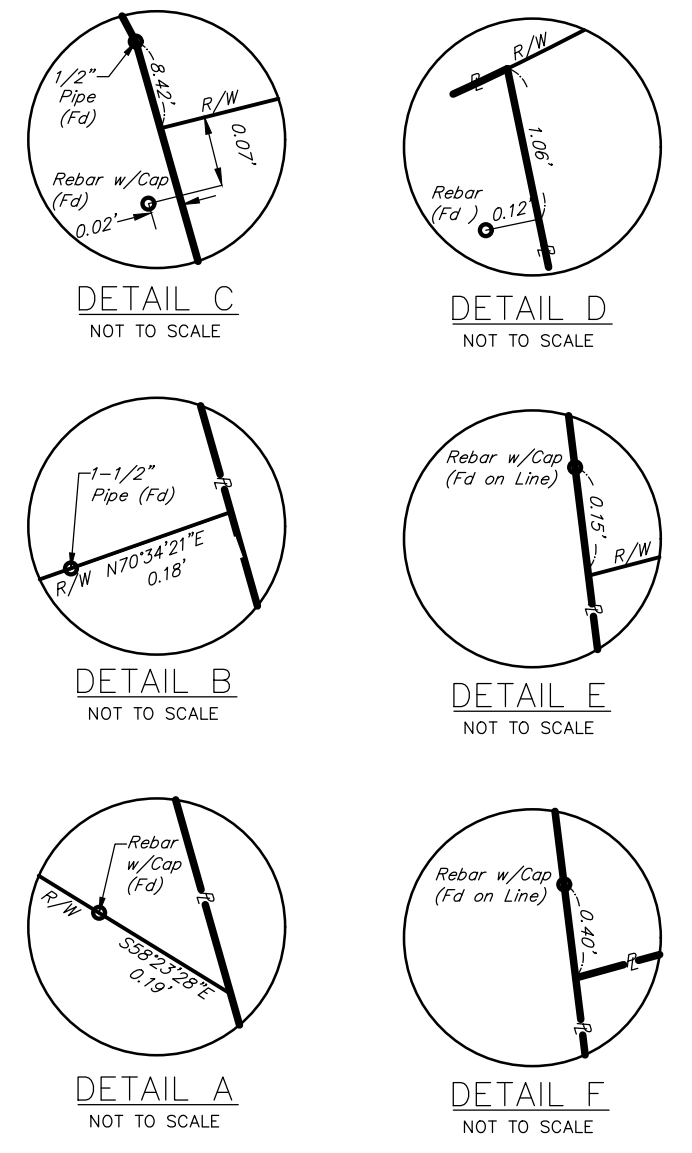


### LEGEND

EXISTING BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING VEGETATION	---
DECIDUOUS TREE	(Symbol)
EVERGREEN TREE	(Symbol)
EXISTING TREELINE	---
EXISTING FENCE	---
EXISTING SIGN	---
EXISTING ELECTRIC METER	(Symbol)
EXISTING UTILITY POLE	(Symbol)
EXISTING UNDERGROUND ELECTRIC LINE	---
EXISTING UNDERGROUND TELEPHONE LINE	---
EXISTING UNDERGROUND CABLE LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING OVERHEAD CABLE LINE	---
EXISTING OVERHEAD TELEPHONE LINE	---
EXISTING WELL	(Symbol)
EXISTING FIRE HYDRANT	(Symbol)
EXISTING WATER LINE	---
EXISTING WATER VALVE	(Symbol)
EXISTING WATER METER	(Symbol)
EXISTING SANITARY SEWER MANHOLE	(Symbol)
EXISTING SANITARY SEWER LINE	---
EXISTING SANITARY SEWER FORCEMAIN	---
EXISTING TELEPHONE BOX	(Symbol)
EXISTING GAS LINE	---
EXISTING GAS METER	(Symbol)
EXISTING GAS VALVE	(Symbol)
EXISTING STORM MANHOLE	(Symbol)
EXISTING STORM INLET	(Symbol)
EXISTING STORM HEADWALL/ENDWALL	(Symbol)
EXISTING STORM PIPE	---
EXISTING CONTOUR LINE	---
SOIL TYPE BOUNDARY LINE	---
SOIL TYPE DESIGNATION	---
EXISTING STREAM	---
EXISTING FLOODPLAIN	---
EXISTING WETLAND	---
EXISTING VEGETATION REMOVAL	---
TO BE REMOVED & RELOCATED	---
ZONING BOUNDARY	---
PHASE 1 BOUNDARY	---

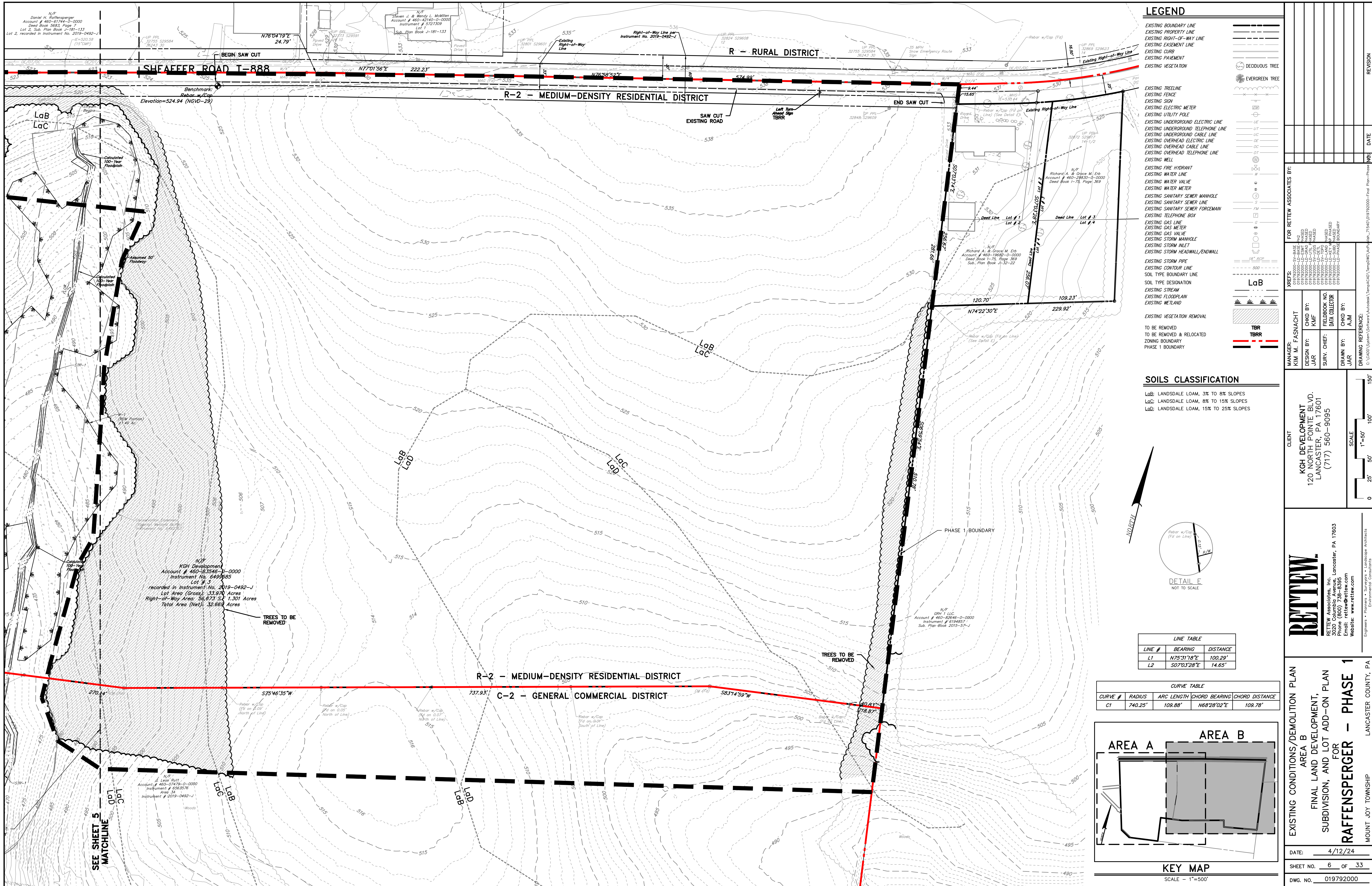
### SOILS CLASSIFICATION

LaB: LANDSDALE LOAM, 3% TO 8% SLOPES
LaC: LANDSDALE LOAM, 8% TO 15% SLOPES
LaD: LANDSDALE LOAM, 15% TO 25% SLOPES



<b>CLIENT</b> KGH DEVELOPMENT 120 NORTH POINTE BLVD. LANCASTER, PA 17601 (717) 560-9095		FOR RETTEW ASSOCIATES BY: PROJECT NO. 019792000-01 SHEET NO. 5 OF 33 DATE: 4/12/24
<b>MANAGER:</b> KIM M. FASNACHT	<b>DESIGN BY:</b> JAR	<b>FOR RETTEW ASSOCIATES BY:</b> PROJECT NO. 019792000-01 SHEET NO. 5 OF 33 DATE: 4/12/24
<b>CLIENT</b> KGH DEVELOPMENT 120 NORTH POINTE BLVD. LANCASTER, PA 17601 (717) 560-9095	<b>DESIGN BY:</b> KMF <b>FILED BY:</b> JAR	<b>FOR RETTEW ASSOCIATES BY:</b> PROJECT NO. 019792000-01 SHEET NO. 5 OF 33 DATE: 4/12/24
<b>CLIENT</b> KGH DEVELOPMENT 120 NORTH POINTE BLVD. LANCASTER, PA 17601 (717) 560-9095	<b>DESIGN BY:</b> KMF <b>FILED BY:</b> JAR	<b>FOR RETTEW ASSOCIATES BY:</b> PROJECT NO. 019792000-01 SHEET NO. 5 OF 33 DATE: 4/12/24
<b>EXISTING CONDITIONS/DEMOLITION PLAN</b> AREA A FINAL LAND DEVELOPMENT, SUBDIVISION, AND LOT ADD-ON PLAN FOR <b>RAFFENSPERGER - PHASE 1</b> MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA	<b>DATE:</b> 4/12/24 <b>SHEET NO.:</b> 5 OF 33 <b>DWG. NO.:</b> 019792000	<b>FOR RETTEW ASSOCIATES BY:</b> PROJECT NO. 019792000-01 SHEET NO. 5 OF 33 DATE: 4/12/24

NOT FOR CONSTRUCTION/NOT FOR BIDDING



### LEGEND

---	EXISTING BOUNDARY LINE
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING EASEMENT LINE
---	EXISTING CURB
---	EXISTING PAVEMENT
---	EXISTING VEGETATION
○	DECIDUOUS TREE
●	EVERGREEN TREE
---	EXISTING TRENCH
---	EXISTING SLOPE
---	EXISTING TRAIL
---	EXISTING ELECTRIC METER
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING OVERHEAD CABLE LINE
---	EXISTING OVERHEAD TELEPHONE LINE
---	EXISTING WELL
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING WATER METER
---	EXISTING SANITARY SEWER MANHOLE
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---	EXISTING TELEPHONE BOX
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---	EXISTING STORM PIPE
---	EXISTING CONTOUR LINE
---	SOIL TYPE BOUNDARY LINE
---	SOIL TYPE DESIGNATION
---	EXISTING STREAM
---	EXISTING FLOODPLAIN
---	EXISTING WETLAND
---	EXISTING VEGETATION REMOVAL
---	TO BE REMOVED & RELOCATED
---	ZONING BOUNDARY
---	PHASE 1 BOUNDARY

### SOILS CLASSIFICATION

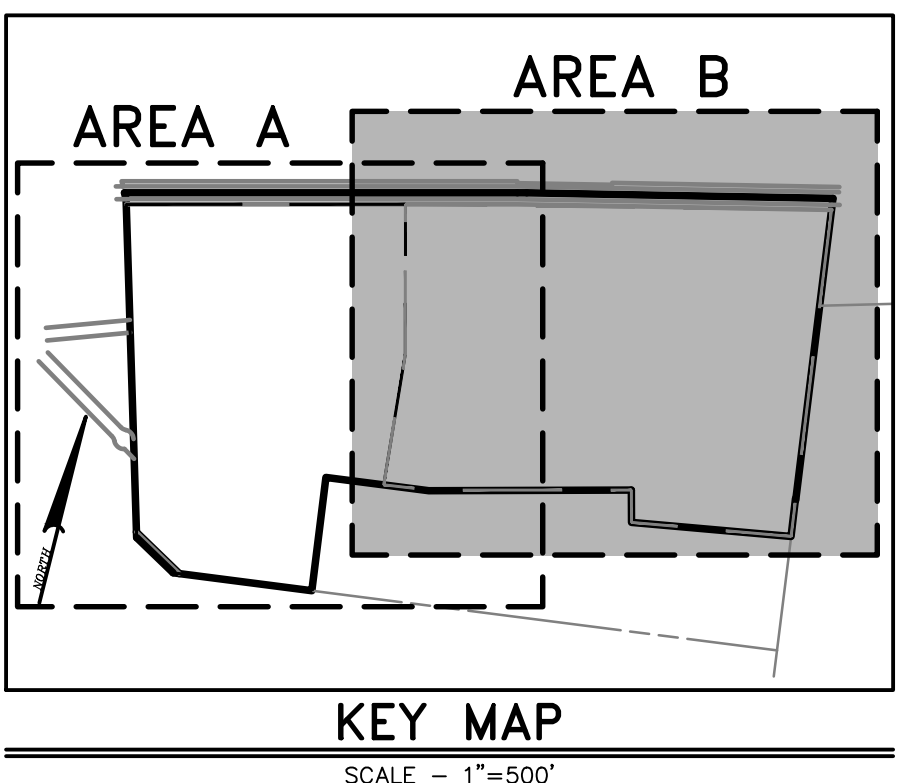
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**MANAGER:** KIM M. FASNAUGHT  
**DESIGN BY:** JAR  
**SURV. CHIEF:** JAR  
**DRAWN BY:** JAR

**CLIENT:** KGH DEVELOPMENT  
 120 NORTH POINTE BLVD.  
 LANCASTER, PA 17601  
 (717) 560-9095

**RETTEW ASSOCIATES, INC.**  
 17603 Lancaster, PA 17603  
 Phone: (800) 738-8995  
 Email: ratten@rettew.com  
 Website: www.rettek.com

**EXISTING CONDITIONS/DEMOLITION PLAN**  
 AREA B  
 FINAL LAND DEVELOPMENT,  
 SUBDIVISION, AND LOT ADD-ON PLAN  
 FOR  
**RAFFENSPERGER - PHASE 1**  
 MOUNT JOY TOWNSHIP  
 LANCASTER COUNTY, PA

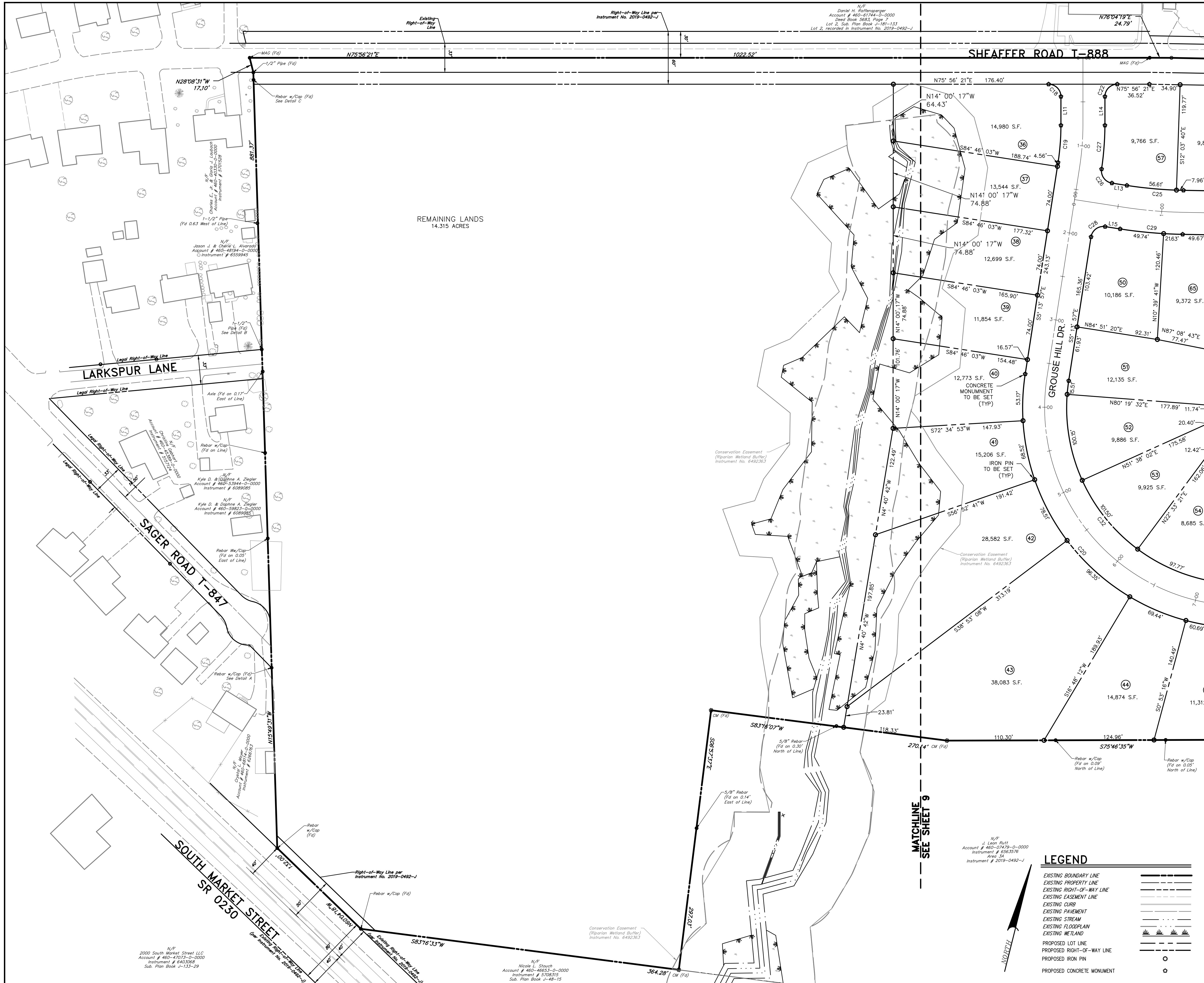
**DATE:** 4/12/24  
**SHEET NO.:** 6 OF 33  
**DWG. NO.:** 019792000

**FOR RETTEW ASSOCIATES BY:**

PHASE	PHASED	DATE
019792000-01-BASE	PHASED	
019792000-02-ROAD	PHASED	
019792000-03-UTILS	PHASED	
019792000-04-UTILS	PHASED	
019792000-05-UTILS	PHASED	
019792000-06-UTILS	PHASED	
019792000-07-UTILS	PHASED	
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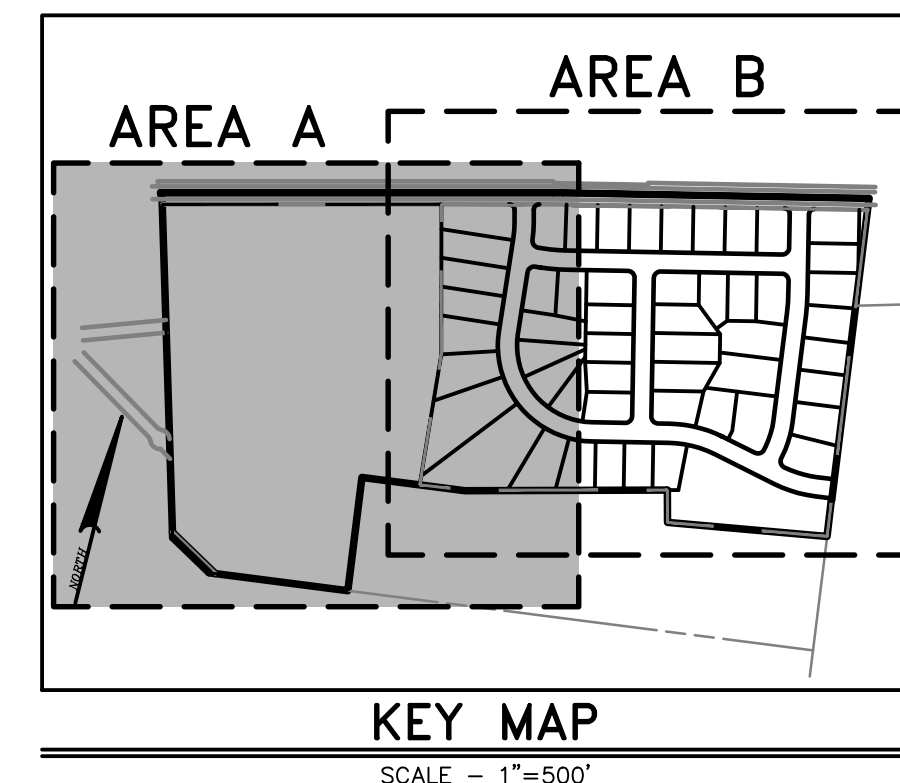




CURVE TABLE							
C18	14.00'	90° 00' 06"	21.99'	N14° 03' 30"W	19.80'		
C19	275.00'	8° 49' 36"	42.37'	N5° 14' 00"W	42.32'		
C20	250.00'	97° 47' 20"	426.68'	S5° 14' 00"E	376.75'		
C22	14.00'	89° 59' 54"	21.99'	S75° 56' 20"W	19.80'		
C23	14.00'	89° 59' 51"	21.99'	N13° 01' 20"W	19.80'		
C24	14.00'	90° 00' 00"	21.99'	N76° 58' 40"E	19.80'		
C25	475.00'	7° 47' 20"	64.57'	N84° 46' 00"E	64.52'		
C26	14.08'	89° 17' 39"	21.95'	S5° 36' 20"E	19.79'		
C27	351.67'	8° 07' 15"	49.84'	N5° 36' 20"W	49.80'		
C28	14.00'	90° 00' 00"	21.99'	S84° 46' 00"W	19.80'		
C29	525.00'	7° 47' 20"	71.37'	N84° 46' 00"E	71.31'		
C30	14.00'	90° 00' 00"	21.99'	N13° 01' 20"W	19.80'		
C31	14.00'	90° 00' 00"	21.99'	N76° 58' 40"E	19.80'		
C32	200.00'	97° 47' 20"	341.35'	S5° 14' 00"E	301.40'		
C33	14.00'	90° 00' 00"	21.99'	S76° 58' 40"W	19.80'		
C34	14.00'	90° 00' 00"	21.99'	N13° 01' 20"W	19.80'		
C35	475.00'	6° 04' 14"	50.33'	N6° 57' 00"W	50.30'		
C36	225.00'	19° 23' 29"	76.15'	N12° 26' 30"E	75.79'		
C37	14.00'	90° 00' 00"	21.99'	S77° 33' 30"E	19.80'		
C38	325.00'	25° 27' 43"	144.43'	N77° 33' 30"W	143.24'		
C39	14.00'	90° 00' 00"	21.99'	S13° 01' 20"E	19.80'		
C40	287.97'	18° 41' 15"	93.92'	S77° 52' 00"E	93.51'		
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C43	525.00'	6° 04' 14"	55.62'	N6° 57' 00"W	55.60'		
C44	14.00'	90° 00' 09"	21.99'	S76° 58' 50"W	19.80'		

LINE TABLE		
L11	S14° 03' 33"E	32.69
L12	N83° 00' 06"E	44.30
L13	S84° 46' 03"W	17.24
L14	N14° 03' 33"W	32.69
L15	S84° 46' 03"W	17.24
L16	N13° 01' 17"W	36.14
L17	N12° 26' 26"E	10.75
L18	N76° 58' 43"E	33.27
L19	N39° 30' 14"E	35.49
L20	N83° 00' 06"E	44.30
L21	S12° 26' 26"W	10.75

LEGEND	
EXISTING BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING STREAM	---
EXISTING FLOODPLAIN	---
EXISTING WETLAND	---
PROPOSED LOT LINE	---
PROPOSED RIGHT-OF-WAY LINE	---
PROPOSED IRON PIN	○
PROPOSED CONCRETE MONUMENT	○



**FOR RETTEW ASSOCIATES BY:**

**MANAGER:** KIM M. FASNACHT  
**DESIGN BY:** JAR  
**SURV. CHIEF:** JAR  
**FIELDBOOK NO. DATA COLLECTOR:** JAR  
**DRAWN BY:** JAR  
**CHKD BY:** KMF

**DRAWING REFERENCE:** C:\CAD\System\Software\Autodesk\Temp\AutoCAD\_Visualize\MapInfo\71540\019792000-Final-Plan-Phase 1.dwg

**CLIENT:** KGH DEVELOPMENT  
 120 NORTH PONTE BLVD.  
 LANCASTER, PA 17601  
 (717) 560-9095

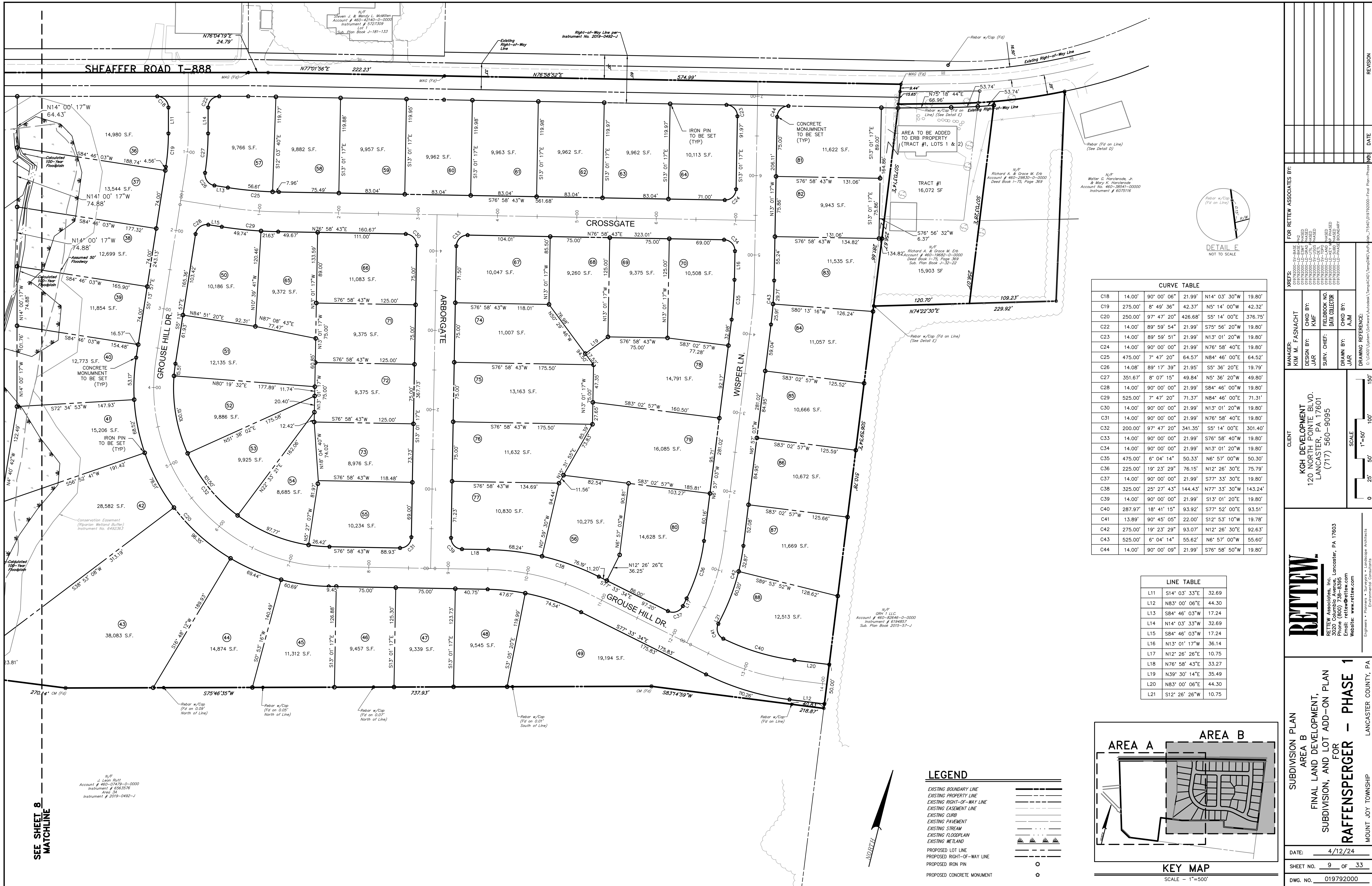
**RETTW ASSOCIATES, INC.**  
 RETTEW Associates, Inc. Lancaster, PA 17603  
 Phone (800) 738-8995  
 Email: rettetw@rettetw.com  
 Website: www.rettetw.com

**SUBDIVISION PLAN**  
 AREA A  
 FINAL LAND DEVELOPMENT,  
 AND LOT ADD-ON PLAN  
 FOR  
**RAFFENSPERGER - PHASE 1**  
 MOUNT JOY TOWNSHIP  
 LANCASTER COUNTY, PA

**DATE:** 4/12/24  
**SHEET NO.** 8 of 33  
**DWG. NO.** 019792000

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**CURVE TABLE**

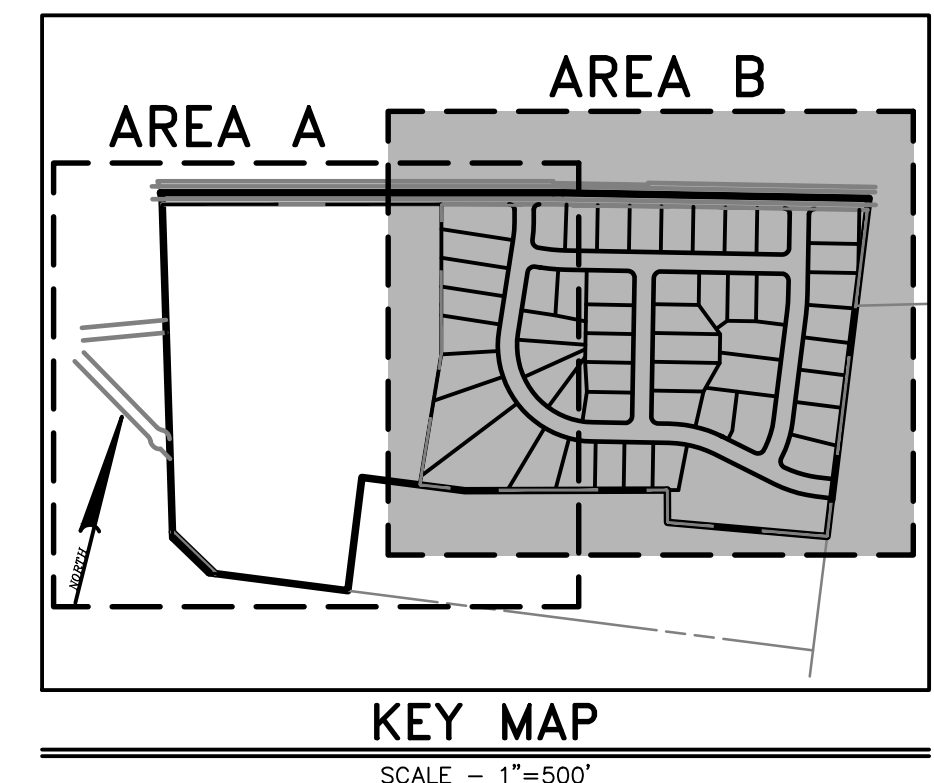
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**LEGEND**

- EXISTING BOUNDARY LINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE
- EXISTING CURB
- EXISTING PAVEMENT
- EXISTING STREAM
- EXISTING FLOODPLAIN
- EXISTING WETLAND
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED IRON PIN
- PROPOSED CONCRETE MONUMENT



**FOR RETTEW ASSOCIATES BY:**

**MANAGER:** KIM M. FASNAUGHT  
**DESIGN BY:** JAR  
**SURV. CHIEF:** JAR  
**DRAWN BY:** JAR

**CLIENT:** KGH DEVELOPMENT  
 120 NORTH PONTE BLVD.  
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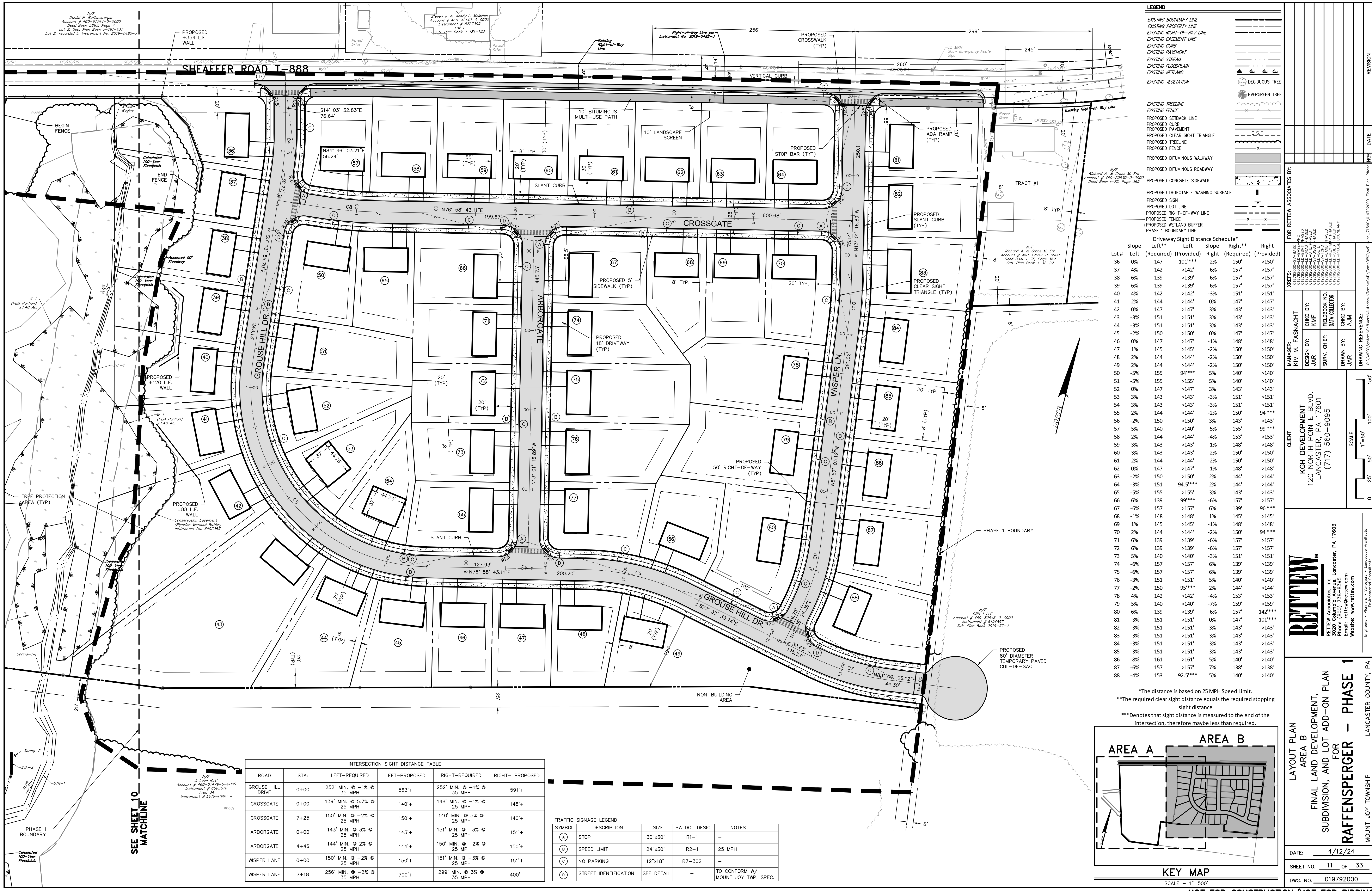
**DATE:** 4/12/24  
**SHEET NO.:** 9 OF 33  
**DWG. NO.:** 019792000

**REVISION**

**SCALE:** 1"=50'

**NOT FOR CONSTRUCTION/NOT FOR BIDDING**





**LEGEND**

- EXISTING BOUNDARY LINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE
- EXISTING CURB
- EXISTING PAVEMENT
- EXISTING STREAM
- EXISTING FLOODPLAIN
- EXISTING WETLAND
- EXISTING VEGETATION
- EXISTING TREELINE
- EXISTING FENCE
- PROPOSED SETBACK LINE
- PROPOSED CURB
- PROPOSED PAVEMENT
- PROPOSED CLEAR SIGHT TRIANGLE
- PROPOSED TRELINE
- PROPOSED FENCE
- PROPOSED BITUMINOUS WALKWAY
- PROPOSED BITUMINOUS ROADWAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DETECTABLE WARNING SURFACE
- PROPOSED SIGN
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED FENCE
- PROPOSED WETLAND BUFFER
- PHASE 1 BOUNDARY LINE

**Driveway Sight Distance Schedule\***

Slope	Lot #	Left		Right	
		Left (Required)	Right (Provided)	Left (Required)	Right (Provided)
36	0%	147'	>101'	-2%	150'
37	4%	142'	>142'	-6%	157'
38	6%	139'	>139'	-6%	157'
39	6%	139'	>139'	-6%	157'
40	4%	142'	>142'	-3%	151'
41	2%	144'	>144'	0%	147'
42	0%	147'	>147'	3%	143'
43	-3%	151'	>151'	3%	143'
44	-3%	151'	>151'	3%	143'
45	-2%	150'	>150'	0%	147'
46	0%	147'	>147'	-1%	148'
47	1%	145'	>145'	-2%	150'
48	2%	144'	>144'	-2%	150'
49	2%	144'	>144'	-2%	150'
50	-5%	155'	94'	5%	140'
51	-5%	155'	>155'	5%	140'
52	0%	147'	>147'	3%	143'
53	3%	143'	>143'	-3%	151'
54	3%	143'	>143'	-3%	151'
55	2%	144'	>144'	-2%	150'
56	-2%	150'	>150'	3%	143'
57	5%	140'	>140'	-5%	155'
58	2%	144'	>144'	-4%	153'
59	3%	143'	>143'	-1%	148'
60	3%	143'	>143'	-2%	150'
61	2%	144'	>144'	-2%	150'
62	0%	147'	>147'	-1%	148'
63	-2%	150'	>150'	2%	144'
64	-3%	151'	94.5'	2%	144'
65	-5%	155'	>155'	3%	143'
66	6%	139'	99'	-6%	157'
67	-6%	157'	>157'	6%	139'
68	-1%	148'	>148'	1%	145'
69	1%	145'	>145'	-1%	148'
70	2%	144'	>144'	-2%	150'
71	6%	139'	>139'	-6%	157'
72	6%	139'	>139'	-6%	157'
73	5%	140'	>140'	-3%	151'
74	-6%	157'	>157'	6%	139'
75	-6%	157'	>157'	6%	139'
76	-3%	151'	>151'	5%	140'
77	-2%	150'	95'	2%	144'
78	4%	142'	>142'	-4%	153'
79	5%	140'	>140'	-7%	159'
80	6%	139'	>139'	-6%	157'
81	-3%	151'	>151'	0%	147'
82	-3%	151'	>151'	3%	143'
83	-3%	151'	>151'	3%	143'
84	-3%	151'	>151'	3%	143'
85	-3%	151'	>151'	3%	143'
86	-8%	161'	>161'	5%	140'
87	-6%	157'	>157'	7%	138'
88	-4%	153'	92.5'	5%	140'

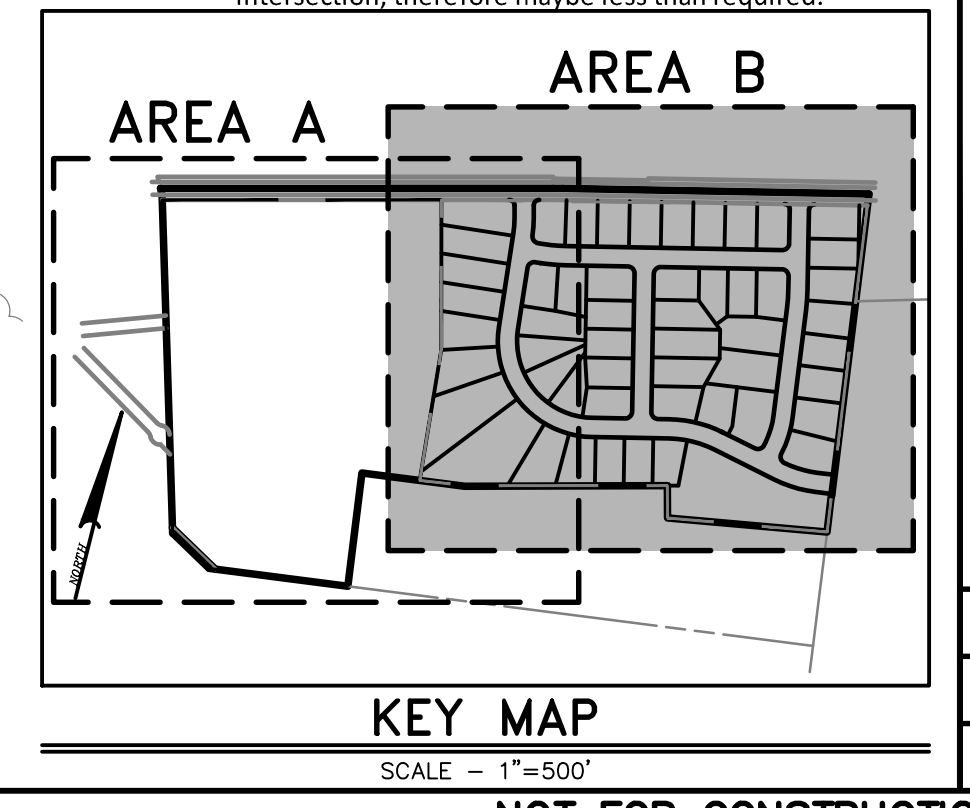
\*The distance is based on 25 MPH Speed Limit.  
 \*\*The required clear sight distance equals the required stopping sight distance  
 \*\*\*Denotes that sight distance is measured to the end of the intersection, therefore maybe less than required.

**INTERSECTION SIGHT DISTANCE TABLE**

ROAD	STA:	LEFT-REQUIRED	LEFT-PROPOSED	RIGHT-REQUIRED	RIGHT- PROPOSED
GROUSE HILL DRIVE	0+00	252' MIN. @ -1% @ 35 MPH	563'+	252' MIN. @ -1% @ 35 MPH	591'+
CROSSGATE	0+00	139' MIN. @ 5.7% @ 25 MPH	140'+	148' MIN. @ -1% @ 25 MPH	148'+
CROSSGATE	7+25	150' MIN. @ -2% @ 25 MPH	150'+	140' MIN. @ 5% @ 25 MPH	140'+
ARBORGATE	0+00	143' MIN. @ 3% @ 25 MPH	143'+	151' MIN. @ -3% @ 25 MPH	151'+
ARBORGATE	4+46	144' MIN. @ 2% @ 25 MPH	144'+	150' MIN. @ -2% @ 25 MPH	150'+
WISPER LANE	0+00	150' MIN. @ -2% @ 25 MPH	150'+	151' MIN. @ -3% @ 25 MPH	151'+
WISPER LANE	7+18	256' MIN. @ -2% @ 35 MPH	700'+	299' MIN. @ 3% @ 35 MPH	400'+

**TRAFFIC SIGNAGE LEGEND**

SYMBOL	DESCRIPTION	SIZE	PA DOT DESIG.	NOTES
(A)	STOP	30"x30"	R1-1	-
(B)	SPEED LIMIT	24"x30"	R2-1	25 MPH
(C)	NO PARKING	12"x18"	R7-302	-
(D)	STREET IDENTIFICATION	SEE DETAIL	-	TO CONFORM W/ MOUNT JOY TWP. SPEC.



**FOR RETNEW ASSOCIATES BY:**

**MANAGER:** KIM M. FASNACHT  
**DESIGN BY:** JAR  
**SURV. CHIEF:** JAR  
**DRAWN BY:** JAR

**CLIENT:** KGH DEVELOPMENT  
 120 NORTH PONTE BLVD.  
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**DATE:** 4/12/24  
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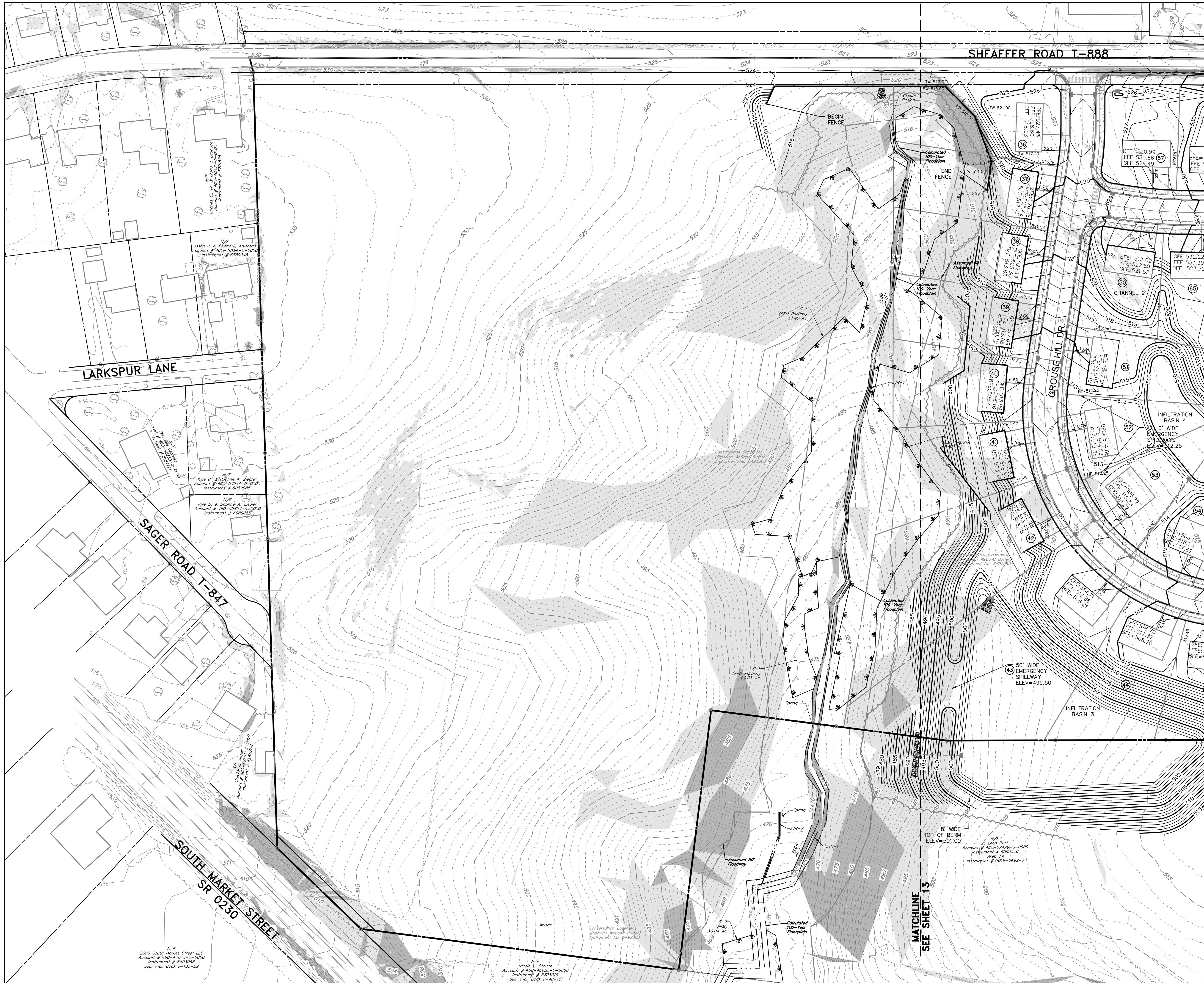
**LAYOUT PLAN**  
**AREA B**  
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**FOR**  
**RAFFENSPERGER - PHASE 1**  
 MOUNT JOY TOWNSHIP  
 LANCASTER COUNTY, PA

**REVISION**

**REVISION**

**RETNEW**  
 RETNEW Associates, Inc.  
 17603 Lancaster, PA 17603  
 Phone (800) 738-8995  
 Email: [retnew@retnew.com](mailto:retnew@retnew.com)  
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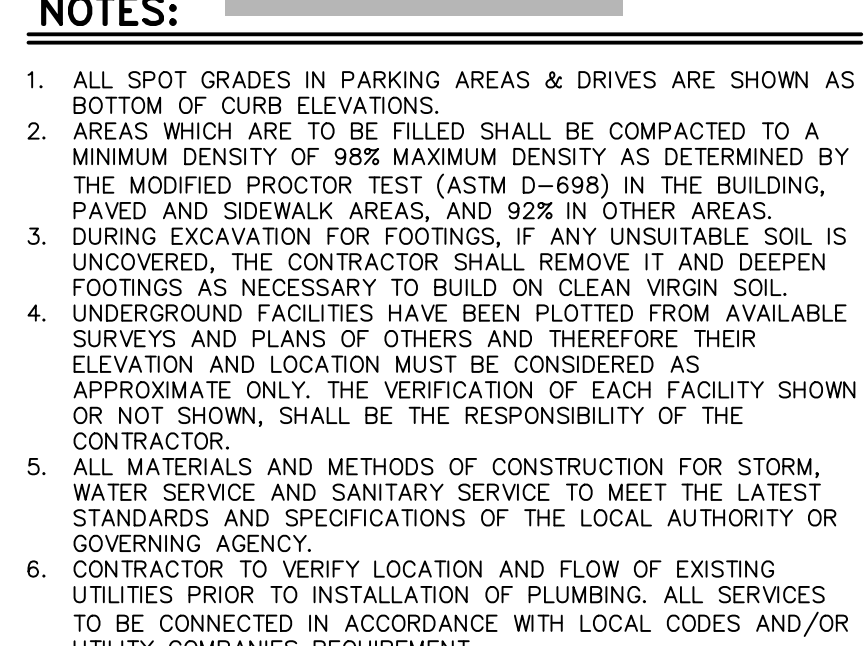
**LEGEND**

EXISTING BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING STREAM	---
EXISTING FLOODPLAIN	---
EXISTING WETLAND	---
EXISTING VEGETATION	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
EXISTING TREELINE	---
EXISTING FENCE	---
EXISTING UTILITY POLE	---
EXISTING OVERHEAD TELEPHONE LINE	---
EXISTING UNDERGROUND TELEPHONE LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING WELL	---
EXISTING WATER VALVE	---
EXISTING FIRE HYDRANT	---
EXISTING WATER LINE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER LINE	---
EXISTING SANITARY SEWER FORECRAIN	---
EXISTING TELEPHONE BOX	---
EXISTING GAS LINE	---
EXISTING GAS VALVE	---
EXISTING STORM MANHOLE	---
EXISTING STORM INLET	---
EXISTING STORM HEADWALL/ENDWALL	---
EXISTING STORM PIPE	---
EXISTING CONTOUR LINE	---
PROPOSED CURB	---
PROPOSED PAVEMENT	---
PROPOSED TREELINE	---
PROPOSED LOT LINE	---
PROPOSED RIGHT-OF-WAY LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED SPOT ELEVATION	---
PROPOSED FINISHED FLOOR ELEVATION	---
PROPOSED PIPE OUTLET PROTECTION	---
PROPOSED STORM PIPE	---

**STEEP SLOPE LEGEND**

SLOPES 15% - 25%	---
SLOPES < 25%	---

- NOTES:**
- ALL SPOT GRADES IN PARKING AREAS & DRIVES ARE SHOWN AS BOTTOM OF CURB ELEVATIONS.
  - AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 98% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-698) IN THE BUILDING, PAVED AND SIDEWALK AREAS, AND 92% IN OTHER AREAS.
  - DURING EXCAVATION FOR FOOTINGS, IF ANY UNSUITABLE SOIL IS UNCOVERED, THE CONTRACTOR SHALL REMOVE IT AND DEEPEN FOOTINGS AS NECESSARY TO BUILD ON CLEAN VIRGIN SOIL.
  - UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS OF OTHERS AND THEREFORE THEIR ELEVATION AND LOCATION MUST BE CONSIDERED AS APPROXIMATE ONLY. THE VERIFICATION OF EACH FACILITY SHOWN OR NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION FOR STORM, WATER SERVICE AND SANITARY SERVICE TO MEET THE LATEST STANDARDS AND SPECIFICATIONS OF THE LOCAL AUTHORITY OR GOVERNING AGENCY.
  - CONTRACTOR TO VERIFY LOCATION AND FLOW OF EXISTING UTILITIES PRIOR TO INSTALLATION OF PLUMBING. ALL SERVICES TO BE CONNECTED IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENT.
  - THE CONTRACTOR SHALL OBTAIN CONSTRUCTION MATERIALS FROM PENNDOT APPROVED SUPPLIERS AS LISTED IN PENNDOT BULLETIN 15. THE CONTRACTOR SHALL PROVIDE PENNDOT APPROVED MIX DESIGNS AND CERTIFICATES OF COMPLIANCE, FORM CS-4171, FOR ALL MATERIALS PROVIDED FOR THE WORK. DELIVERY TICKETS SHALL BE PROVIDED FOR ALL MATERIALS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCY.
  - CONTRACTOR TO NOTIFY ENGINEER AS SOON AS POSSIBLE IF CONDITIONS ON GROUND DIFFER FROM THOSE SHOWN ON THE PLAN.
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  - ALL AREAS OTHER THAN PAVED AREAS SHALL HAVE A MINIMUM DEPTH OF SIX INCHES (6") OF TOPSOIL PRIOR TO SEEDING. THE SURFACE SHALL BE SCARIFIED AND CLEARED OF ALL TRASH, DEBRIS, ROOTS AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
  - SEEDING AND MULCHING SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
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  - FOUNDATION DRAIN AROUND THE BUILDING PERIMETER TO BE COORDINATED BETWEEN THE ARCHITECT AND CONTRACTOR.
  - FOR DRIVEWAYS, THE PROPOSED GRADING SHALL BE 2% MAX CROSS SLOPE ACROSS THE APRON AND SIDEWALK TO RIGHT-OF-WAY LINE.
  - BASEMENTS SHALL BE WATERPROOFED IN ACCORDANCE WITH ALL ACCEPTABLE BUILDING CODES AND STANDARDS. WATERPROOFING SUBMITTAL SHALL BE REVIEWED BY THE TOWNSHIP DURING THE BUILDING PERMIT APPLICATION SUBMISSION.
  - IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION OF THE VEGETATED CHANNEL 2 (VSC 2-1 THROUGH 2-3), AN UNDERDRAIN WITHIN A STONE TRENCH AND IMPERMEABLE LINER SHALL BE INSTALLED AND CONNECTED TO THE RAIN GARDEN OUTLET STRUCTURE.



FOR RETTEW ASSOCIATES BY:

DATE	
NO.	
REVISION	

FOR RETTEW ASSOCIATES BY:

MANAGER:	AIM M. FASNACHT
DESIGN BY:	CHKD BY: KMF
SURV. CHIEF:	DATA COLLECTOR: JAR
DRAWN BY:	CHKD BY: AJM

CLIENT: KGH DEVELOPMENT  
120 NORTH PONTE BLVD.  
LANCASTER, PA 17601  
(717) 560-9095

**RETTEW**  
RETTEW Associates, Inc. Lancaster, PA 17603  
Phone: (800) 738-8395  
Email: ratten@rettew.com  
Website: www.rettew.com

GRADING PLAN  
AREA A  
FINAL LAND DEVELOPMENT,  
SUBDIVISION, AND LOT ADD-ON PLAN  
FOR  
**RAFFENSPERGER - PHASE 1**  
MOUNT JOY TOWNSHIP  
LANCASTER COUNTY, PA

DATE: 4/12/24  
SHEET NO. 12 OF 33  
DWG. NO. 019792000

N/P  
2000 South Market Street LLC  
Account # 460-47073-0-0000  
Instrument # 6403064  
Sub. Plan Book U-133-29

N/P  
Nicole L. Stouch  
Account # 460-49653-0-0000  
Instrument # 5708315  
Sub. Plan Book U-446-15

N/P  
A. Leco, Pult  
Account # 460-07479-0-0000  
Instrument # 6263276  
Sub. Plan Book U-2019-0492-J

N/P  
Kyle D. & Daphne A. Ziegler  
Account # 460-53944-0-0000  
Instrument # 6089285

N/P  
Kyle D. & Daphne A. Ziegler  
Account # 460-59823-0-0000  
Instrument # 6089365

N/P  
D. J. Miller, Engineer  
Instrument # 6167670

Conservation Easement  
(Portion Western Easement)  
Instrument # 6452363

Conservation Easement  
(Portion Western Easement)  
Instrument # 6452363

N/P  
A. Leco, Pult  
Account # 460-07479-0-0000  
Instrument # 6263276  
Sub. Plan Book U-2019-0492-J

N/P  
Daniel H. Raffensperger  
Account # 460-61744-0-0000  
Sheet Book 2021, Page 1  
Lot 2, Sub. Plan Book J-181-133  
Lot 2, recorded in instrument No. 2019-0492-J

N/P  
Steven J. & Wendy L. McMillan  
Account # 460-42160-0-0000  
Instrument # 5273509  
Lot 1  
Sub. Plan Book J-181-133

N/P  
GRH 1 LLC  
Account # 460-82646-0-0000  
Instrument # 6194857  
Sub. Plan Book 2015-57-J

SHEAFFER ROAD T-888

CROSSGATE

GROUSE HILL DR.

ARBORGATE

WISPER LN.

GROUSE HILL DR.

SEE SHEET 12  
MATCHLINE

THE FUTURE DEVELOPER OF THE GRH 1 LLC PROPERTY WILL NEED TO OBTAIN A CONSTRUCTION EASEMENT TO GRADE OUTSIDE OF THE RIGHT-OF-WAY FOR THE FUTURE ROADWAY CONNECTION.

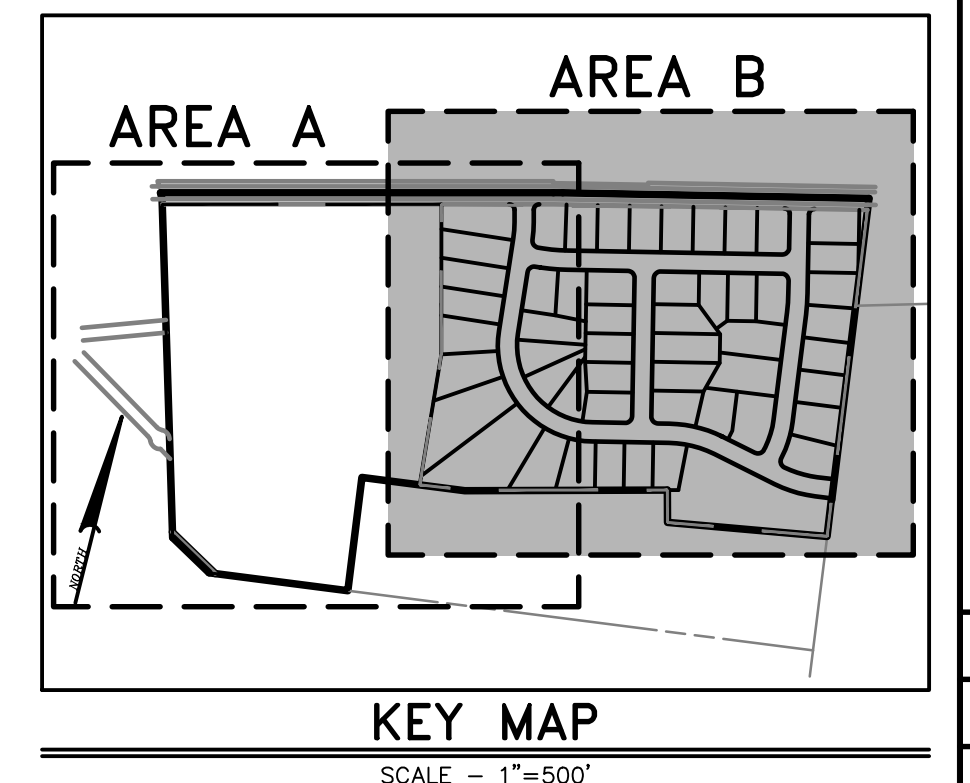
LEGEND	
EXISTING BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING STREAM	---
EXISTING FLOODPLAIN	---
EXISTING WETLAND	---
EXISTING VEGETATION	---
EXISTING TREE LINE	---
EXISTING FENCE	---
EXISTING UTILITY POLE	---
EXISTING OVERHEAD TELEPHONE LINE	---
EXISTING UNDERGROUND TELEPHONE LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING WELL	---
EXISTING WATER VALVE	---
EXISTING FIRE HYDRANT	---
EXISTING WATER LINE	---
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EXISTING SANITARY SEWER LINE	---
EXISTING SANITARY SEWER FORECRAIN	---
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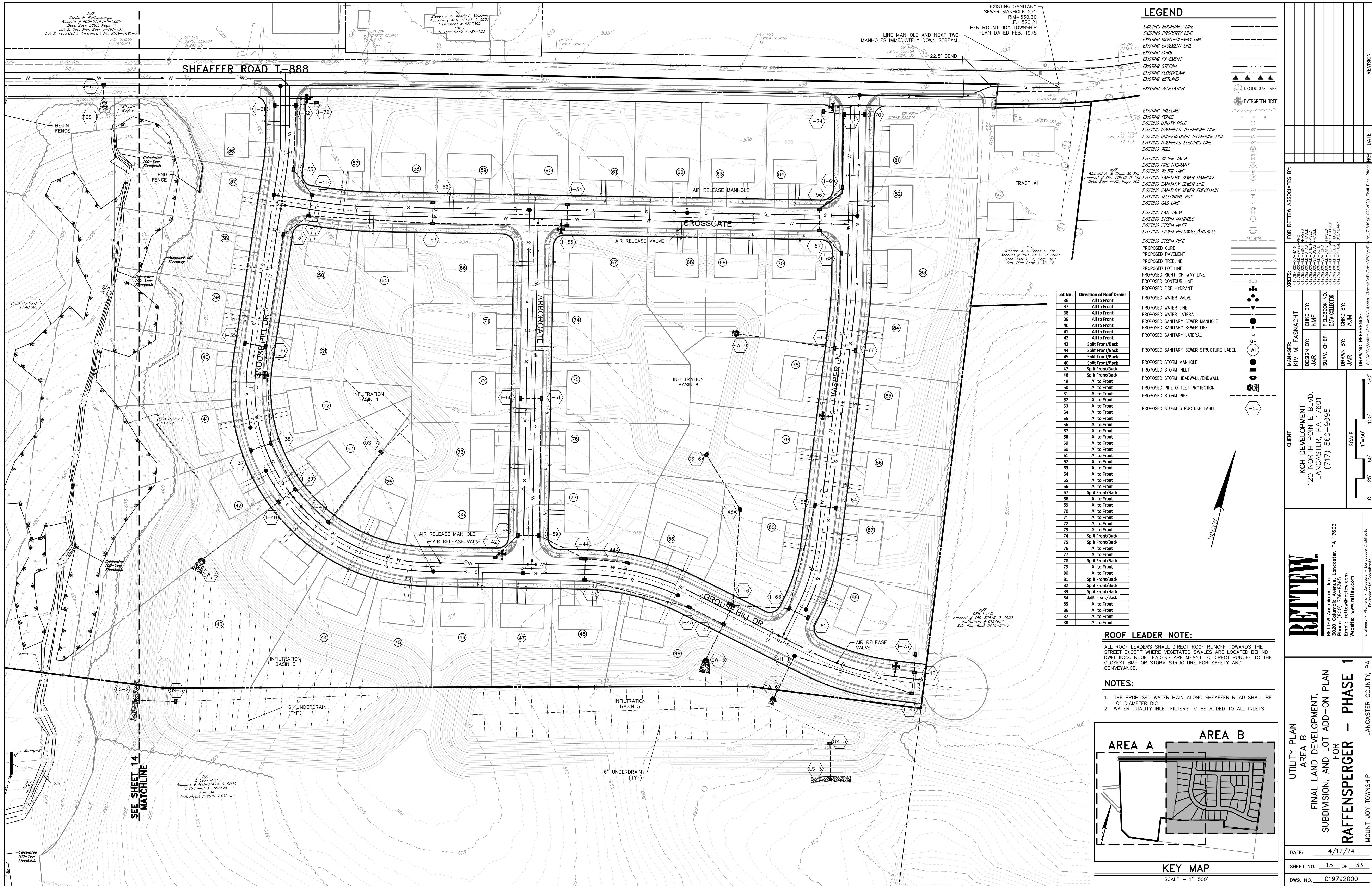
STEEP SLOPE LEGEND

█	SLOPES 15% - 25%
█	SLOPES < 25%



FOR RETTEW ASSOCIATES BY:		DATE
MANAGER: A.M. FASNAUGHT	CHKD BY: JAR	
DESIGN BY: KMF	FILED BY: JAR	
SURV. CHIEF: JAR	DATE PLOTTED: 11/12/24	
SCALE: 1"=60'	SCALE: 1"=50'	
CLIENT: KGH DEVELOPMENT 120 NORTH PONTE BLVD. LANCASTER, PA 17601 (717) 560-9095	CLIENT: RETTEW ASSOCIATES, INC. LANCASTER, PA 17603 Phone: (717) 738-8395 Email: raltew@rettew.com Website: www.rrettew.com	CLIENT: MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA
GRADING PLAN AREA B FINAL LAND DEVELOPMENT, SUBDIVISION, AND LOT ADD-ON PLAN FOR RAFFENSBERGER - PHASE 1		DATE: 4/12/24
DWG. NO. 019792000		SHEET NO. 13 OF 33
NOT FOR CONSTRUCTION/NOT FOR BIDDING		





**LEGEND**

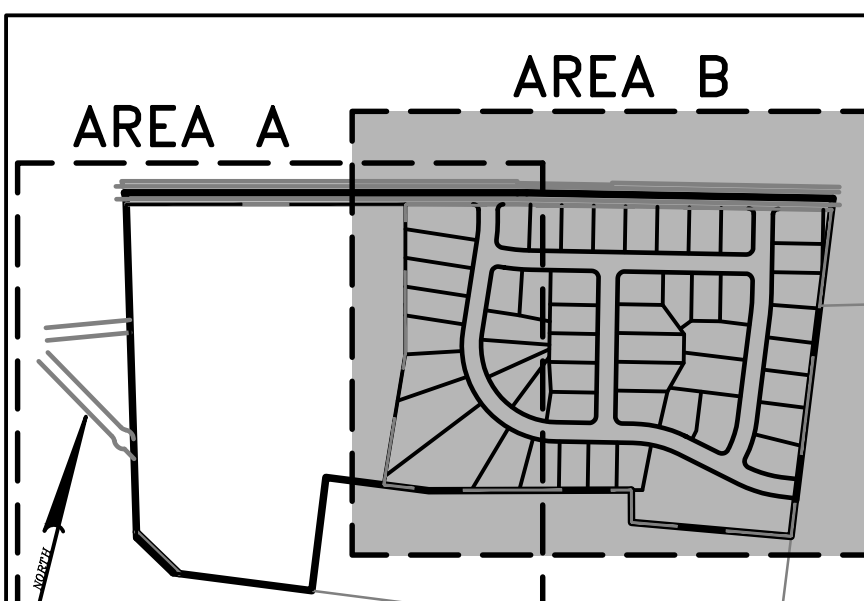
EXISTING BOUNDARY LINE	[Symbol]
EXISTING PROPERTY LINE	[Symbol]
EXISTING RIGHT-OF-WAY LINE	[Symbol]
EXISTING EASEMENT LINE	[Symbol]
EXISTING CURB	[Symbol]
EXISTING PAVEMENT	[Symbol]
EXISTING STREAM	[Symbol]
EXISTING FLOODPLAIN	[Symbol]
EXISTING WETLAND	[Symbol]
EXISTING VEGETATION	[Symbol]
EXISTING TREELINE	[Symbol]
EXISTING FENCE	[Symbol]
EXISTING UTILITY POLE	[Symbol]
EXISTING OVERHEAD TELEPHONE LINE	[Symbol]
EXISTING UNDERGROUND TELEPHONE LINE	[Symbol]
EXISTING OVERHEAD ELECTRIC LINE	[Symbol]
EXISTING WELL	[Symbol]
EXISTING WATER VALVE	[Symbol]
EXISTING FIRE HYDRANT	[Symbol]
EXISTING WATER LINE	[Symbol]
EXISTING SANITARY SEWER MANHOLE	[Symbol]
EXISTING SANITARY SEWER LINE	[Symbol]
EXISTING SANITARY SEWER FORCEMAIN	[Symbol]
EXISTING TELEPHONE BOX	[Symbol]
EXISTING GAS LINE	[Symbol]
EXISTING GAS VALVE	[Symbol]
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PROPOSED CURB	[Symbol]
PROPOSED PAVEMENT	[Symbol]
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PROPOSED LOT LINE	[Symbol]
PROPOSED RIGHT-OF-WAY LINE	[Symbol]
PROPOSED CONTOUR LINE	[Symbol]
PROPOSED FIRE HYDRANT	[Symbol]
PROPOSED WATER VALVE	[Symbol]
PROPOSED WATER LINE	[Symbol]
PROPOSED WATER LATERAL	[Symbol]
PROPOSED SANITARY SEWER MANHOLE	[Symbol]
PROPOSED SANITARY SEWER LINE	[Symbol]
PROPOSED SANITARY LATERAL	[Symbol]
PROPOSED SANITARY SEWER STRUCTURE LABEL	[Symbol]
PROPOSED STORM MANHOLE	[Symbol]
PROPOSED STORM INLET	[Symbol]
PROPOSED STORM HEADWALL/ENDWALL	[Symbol]
PROPOSED PIPE OUTLET PROTECTION	[Symbol]
PROPOSED STORM PIPE	[Symbol]
PROPOSED STORM STRUCTURE LABEL	[Symbol]

**Roof Leader Note:**  
ALL ROOF LEADERS SHALL DIRECT ROOF RUNOFF TOWARDS THE STREET EXCEPT WHERE VEGETATED SWALES ARE LOCATED BEHIND DWELLINGS. ROOF LEADERS ARE MEANT TO DIRECT RUNOFF TO THE CLOSEST BMP OR STORM STRUCTURE FOR SAFETY AND CONVEYANCE.

Lot No.	Direction of Roof Drains
36	All to Front
37	All to Front
38	All to Front
39	All to Front
40	All to Front
41	All to Front
42	All to Front
43	Split Front/Back
44	Split Front/Back
45	Split Front/Back
46	Split Front/Back
47	Split Front/Back
48	Split Front/Back
49	All to Front
50	All to Front
51	All to Front
52	All to Front
53	All to Front
54	All to Front
55	All to Front
56	All to Front
57	All to Front
58	All to Front
59	All to Front
60	All to Front
61	All to Front
62	All to Front
63	All to Front
64	All to Front
65	All to Front
66	All to Front
67	Split Front/Back
68	All to Front
69	All to Front
70	All to Front
71	All to Front
72	All to Front
73	All to Front
74	Split Front/Back
75	Split Front/Back
76	All to Front
77	All to Front
78	Split Front/Back
79	All to Front
80	All to Front
81	Split Front/Back
82	Split Front/Back
83	Split Front/Back
84	Split Front/Back
85	All to Front
86	All to Front
87	All to Front
88	All to Front

**NOTES:**

- THE PROPOSED WATER MAIN ALONG SHEAFFER ROAD SHALL BE 10" DIAMETER DCL.
- WATER QUALITY INLET FILTERS TO BE ADDED TO ALL INLETS.



**KEY MAP**  
SCALE - 1"=500'

<p><b>MANAGER:</b> KIM M. FASNAUGHT</p> <p><b>DESIGN BY:</b> JAR</p> <p><b>SURV. CHIEF:</b> JAR</p> <p><b>DRAWN BY:</b> JAR</p>	<p><b>CLIENT:</b> KGH DEVELOPMENT 120 NORTH PONTE BLVD. LANCASTER, PA 17601 (717) 560-9095</p>	<p><b>UTILITY PLAN</b> AREA B FINAL LAND DEVELOPMENT, SUBDIVISION, AND LOT ADD-ON PLAN FOR <b>RAFFENSPERGER - PHASE 1</b> MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA</p>	<p><b>DATE:</b> 4/12/24</p>						
			<p><b>SHEET NO.:</b> 15 OF 33</p>						
<p><b>FOR RETEW ASSOCIATES BY:</b></p> <p><b>REVISED:</b></p> <p>01/19/2000 - SV-BASE PHASED</p> <p>01/19/2000 - LD-BASE PHASED</p> <p>01/19/2000 - LD-ROAD PHASED</p> <p>01/19/2000 - SV-UTS PHASED</p> <p>01/19/2000 - SV-TPO PHASED</p> <p>01/19/2000 - LD-KEY PHASED</p> <p>01/19/2000 - LD-KEY PHASED</p> <p>01/19/2000 - LD-BOUNDARY PHASED</p>	<p><b>DRAWING REFERENCE:</b></p> <p>C:\CAD\System\Software\Autodesk\Temp\AutoCAD_V17140\019792000-Final Plan-Phase 1</p>	<p><b>SCALE:</b> 1"=80'</p> <p>0 25' 50' 100' 150'</p>	<p><b>REVISION:</b></p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>REVISION</th></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	REVISION			
NO.	DATE	REVISION							
<p><b>RETTEW ASSOCIATES, INC.</b> 1000 N. MARKET STREET, SUITE 200 LANCASTER, PA 17602 PHONE: (717) 738-8395 FAX: (717) 738-8395 WWW.RETTEW.COM</p>									

