

MINOR LAND DEVELOPMENT PLAN PROPOSED BUILDING

SITE ADDRESS:

1267 RISSEY MILL ROAD
MOUNT JOY, PA 17552
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

Owner/Developer:
JAY GARMAN

REQUESTED MODIFICATIONS/WAIVERS

The following waivers/modifications have been requested:

Mount Joy Township SALD Ordinance:

- Section 119-31.A.1 - Plan Scale
- Section 119-32.A - Water and Sewer Feasibility Report
- Section 119-52.J(3) - Improvements of existing streets
- Section 119-57.A, B, D & H Showing and setting monuments/markers

DATE

ACTION

ZONING TABLE - AGRICULTURAL (FARM-RELATED BUSINESS)

	Required	Existing	Proposed
Minimum lot size (Area)	10 ac	62.53	n/a
Minimum yard dimensions:			
Front yard, from ROW	50 ft	n/a	374 Ft
Side yard	20 ft	n/a	24 Ft
Rear yard	50 ft	n/a	179 Ft
Minimum lot width	100 ft	2600 ft	2600 ft
Minimum lot depth	150 ft	510 ft	510 ft
Maximum Height, Ag Use	n/a	n/a	30 Ft
Maximum Building Coverage	20%	0.6% (15,307 sf)	0.9% (24907 sf)
Maximum Impervious Coverage	25%	1.0% (28,324 SF)	2.6% (70,894 SF)
Units of Occupancy	1 unit	1 unit	1 unit
Density	0.016 unit/acre	0.016 unit/acre	0.016 unit/acre
Required # off-street parking spaces:			
(1 space per nonresident employee x 3 employees = 3			
plus 2 spaces per 3 bedroom dwelling x 1 dwelling = 2			
Total required parking = 3+2 = 5 spaces			
Proposed 5 parking spaces (2 existing + 3 proposed)			

- Agricultural Nuisance Disclaimer - Land within the Agricultural District are located within area where land is used for agricultural production. Owners, residents, and other users of this property may be subjected to inconvenience, discomfort, and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations including but not limited to noise, odors, dust, and the operation of machinery of any kind including aircraft, the storage and disposal of manure, the application of fertilizers and soil amendments. Owners, occupants, and users of this property should be prepared to accept such inconveniences, discomfort, and the possibility of injury from normal agricultural operations, and are hereby put on official notice that section 4 of the Pennsylvania act 133 of 1982, "the right to farm law" may bar them from obtaining a legal judgement against such normal agricultural operations used in a prudent manner.
- Construction of improvements upon or disturbance of the replacement septic field location is prohibited. Said replacement location shall not be excavated, graded, filled, or otherwise disturbed in any manner which would prevent its use as a future on-lot sewage disposal system during development of the lot. No permanent or temporary improvements of any character other than the planting of trees, shrubs, or other plant matter shall be constructed upon the replacement location unless the person who desires to construct such improvements shall demonstrate to the satisfaction of the Sewage Enforcement Officer that an alternative replacement location which complies with all applicable township ordinances exists upon the lot. If such an alternate replacement location shall be identified, the alternate replacement location may be considered to be the replacement location, and the plans shall be accordingly revised and submitted to the planning commission. The newly designated replacement location shall thereafter be considered the replacement location for the purposes of this Chapter. (per section 119-34.c.4 of the subdivision/land development ordinance).
- Off-street parking will be provided at a minimum of two (2) spaces per lot.
- A highway occupancy permit is required pursuant to section 420 of the act of June 1, 1945 (p.l 1242, no. 428), known as the "State Highway Law, before access to a state highway is permitted. Access to the state highway shall be as authorized by a highway occupancy permit and the planning commission's approval of this plan. In no way implies that such a permit can be acquired.

NOTICE

According to County records, the subject property is subject to the Pennsylvania Farmland and Forest Land Assessment Act of 1974 (A.k.a. The Clean and Green Act), Act 319 of 1974, P.L. 973; 72 P.S. 5490.1, as amended, and as further amended by Act 156 of 1998, as amended. These Acts provide for preferential property tax assessment and treatment. It is the property owner's responsibility to be aware of the laws, rules and regulations applicable to his or her property, including the following provisions: (a) preferential property tax assessment and treatment will remain in effect continuously until the land owner changes the agricultural use from the approved category (b) If a transfer, split-off or separation of the subject land occurs, the property owner is responsible for submitting 30 days' notice to the County Assessor of a proposed change in use of the land, a change in ownership of any portion of the land, or any type of division or conveyance of the land. (c) the payment of roll-back tax, plus interest, for the period of enrollment, or a period not to exceed 7-years, whichever is less, may be required; (d) if the property owner fails to provide 30 days' notice to the County, the property owner may be subject to a \$100.00 civil penalty; (e) if the property owner fails to pay the roll-back tax, a municipal lien could be placed on the property under existing delinquent tax law.

SHEET INDEX

- TS-1 - TITLE SHEET*
- EX-1 - EXISTING CONDITIONS PLAN
- SP-1 - OVERALL SITE PLAN*
- ES-1 - EROSION CONTROL PLAN
- ES-2 - EROSION CONTROL PLAN
- ES-3 - EROSION CONTROL DETAILS
- PC-1 - OVERALL PCSM PLAN*
- PC-2 - PCSM PLAN*
- PC-3 - PCSM DETAILS & PROFILES*

*TO BE RECORDED

GENERAL NOTES

- Existing Site Data
 - Total Area: 61.272 Acres North of PA Rt 283, 0.897 Ac. South of Rt 283 (Deed)
 - Source of Title: Deed Instrument #6744451
Parcel ID #461-10741-0-0000
S.P.B. #J-230-143
 - Owners: Jay Wendell Garman and Emily Rose Garman
1267 Risser Mill Road
Mount Joy, PA 17552
 - Developer: Jay Garman
- Property boundary information for subject property on this plan was obtained from the recorded deed for the property (Instrument #: 6744451) and a recorded subdivision plan J-230-143, Document #5624021, Final Subdivision Plan for William Longenecker prepared by D.C. Gohn Associates, Inc., recorded June 1, 2007. A boundary survey was not completed by TeamAg, Inc. in conjunction with this plan. The property is subject to all requirements of the prior subdivision plan J-230-143.
- Topographical information within the limits of disturbance for this plan was obtained from a GPS survey (Trimble RTK-Engineering Precision) conducted on July 17, 2023 by TeamAg. The horizontal datum is WGS-1984, PA South and the vertical datum is NAVD88. Topography shown outside the limits of disturbance is taken from PASDA LIDAR.
- No changes shall be made to these plans without the written permission of the client, owner, Mount Joy Township, and TeamAg. TeamAg will not be responsible for unauthorized revisions to the plan.
- The building will be serviced by on-lot water and sewer.
- All accessible parking spaces, sidewalks, and ramps shall be in conformance with the most recent A.D.A. accessibility guidelines.
- No FEMA floodplains are located on the subject property per FEMA Flood Insurance Rate Map Panel 42071C0119F, effective on 4/5/2016.
- Property has a Deed of Agricultural Conservation Easement to the Commonwealth of Pennsylvania in perpetuity (Deed Reference #5685464).
- No changes shall be made to these plans without the written permission of the client, owner, Mount Joy Township, and TeamAg. TeamAg will not be responsible for unauthorized revisions to the plan.
- A Wetland Determination Report by Vortex Environmental, Inc. dated January 13, 2024 indicates that no wetlands exist on the subject project site.
- Lancaster Geology has prepared a geology investigation of the project site dated January 16, 2024. The site is mapped by PA DCNR as being underlain with Hershey and Myerstown Formations which consists of Ordovician Argillaceous Limestone and conglomerate of dolomite (Carbonate Geology). If any potential sink holes are encountered during construction, the owner/contractor shall contact the project geologist to assist in repair/remediation of any karst feature.
- A well is located on the property. The proposed building will utilize the existing septic facilities on the property. Sewage flows generated by the project are anticipated at less than 400 GPD.
- Nothing shall be placed, planted, set or put within the area of an easement that would adversely affect the function of the easement or conflict with the easement agreement. This requirement shall be noted on the final plan and shall be included in all deeds for lots which contain an easement.
- All federal, state, and local laws, rules and regulations covering the construction of this facility shall be strictly followed.
- No structures, trees, landscaping walls, fences, grading or other visual obstructions may be constructed, installed or performed within the area of the clear sight triangle which would obscure the vision of motorists. Clear sight triangles shall be formed by the center lines of the intersecting street and driveway and the stopping sight distance as measured along the centerline of the driveway 15 feet from the white line/edge of paving and along the street centerline in both directions from the driveway centerline for the required safe stopping sight distance as indicated on the plans. Lot(s) which contain a clear sight triangle shall include the above restrictions within the lot's deed.
- Act 187: It is the duty of the contractors to comply with the provisions of the 'PA One-Call' utility check before performing any excavation work. The toll-free number of the One-Call system is 1-800-242-1776.
- The wastewater in the wastewater collection tank shown shall be either recycled or transported and disposed of by a licensed wastewater hauler in conformance to PA DEP regulations. Sewage in the holding tank shall be disposed of by a licensed wastewater hauler in conformance to PA DEP regulations and in accordance with the Township holding tank agreement requirements.

ZONING NOTES

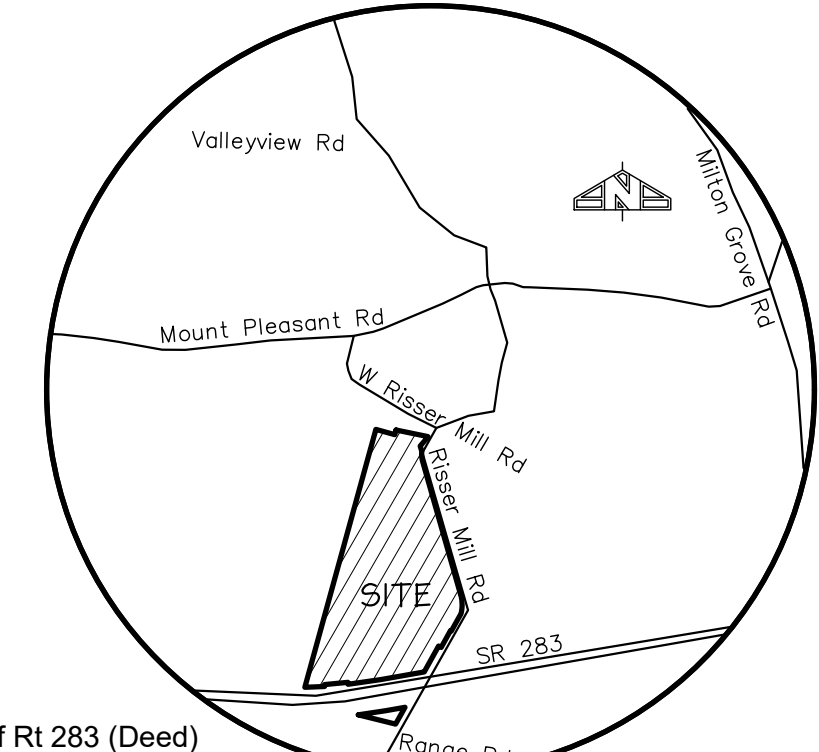
- Existing and Continued Use of Land : Residential/Agricultural
- The proposed use of a Farm-Related Business the property is a Special Exception Use.
- The Property is located within the A - Agricultural District and consists of approximately 62.53 acres. The purpose of this plan is to secure the required approvals for the applicant proposed construction an 80' x 120' barn, of which approximately 49% will be used as a shop for the farm-related business of Garman Ag, Inc. Garman Ag, Inc. conducts off-site mobile shelling at other farms where it grinds and processes such farms' hay, straw and corn fodder. The Applicant proposes to utilize a portion of the proposed structure to store equipment for Garman Ag, Inc. and the occasional service and repair of such equipment. The farm-related business will have three employees. A tractor trailer used for the business may be occasionally parked overnight on-site on weekends only. Applicant demonstrated compliance with the criteria in Section 135-227 of the Ordinance for farm-related businesses, as well as the general criteria for special exceptions.
- A Special Exception pursuant to Section 135-83.G in accordance with Section 135-227 was granted by the Mount Joy Township Zoning Hearing Board on September 6, 2023 subject to the following conditions:
 - The Applicant and/or the owner(s) of the Property shall comply with all other provisions contained in the Ordinance for which relief has not been requested or granted;
 - The Applicant shall file and obtain approval of a land development plan, or waiver thereof, from the Mount Joy Township Planning Commission;
 - The Applicant shall submit and gain approval of a stormwater management site plan through the Mount Joy Township Planning Commission or Township Engineer, as applicable.
 - The Applicant and any representative of the Applicant shall comply with and adhere to the testimony and any evidence presented to the Board at the hearing held on September 6, 2023 except to the extent modified by conditions imposed by the Board herein.

STORMWATER NOTES

- The stormwater management plan is designed for an increase in impervious area of 42,570 square feet.
- No excavation, the placement of fill or structures, and any alterations that may adversely affect the flow of stormwater is prohibited within any portion of the drainage easements.
- It is the responsibility of the contractor/developer to schedule a pre-construction meeting with the Township and design engineer prior to the start of construction. The scope of the inspections shall be determined at the pre-construction meeting. The Township shall be provided a minimum of 24 hours in advance of the required inspections.
- A blanket drainage easement with a minimum width of 30 feet encompassing all proposed stormwater management facilities on the subject tract and extending to the right-of-way of Risser Mill Road is hereby established by this plan to allow Mount Joy Township officials, employees or agents to have the right of entry for the purposes of inspecting all stormwater conveyance, treatment, or storage facilities. Mount Joy Township officials and their agents or employees have the right of access and in cases of construction default, construction of the stormwater management facilities via the nearest public right-of-way. Also see General Note 13 above.
- At the completion of the project, and as prerequisite for the release of financial security, the applicant shall submit an as-built plan certified by a licensed professional, and meeting all of the requirements of Section 113-58 of the Mount Joy Township Stormwater Management Ordinance. Following approval of the as-built plan by the Township Engineer, the applicant shall submit the stormwater site plan for recordation in the office of the recorder of deeds.
- There are no prior recorded stormwater management agreements affecting the subject property.

PROJECT TIME SCHEDULE

Begin earthwork and construction - Spring 2024
Anticipated completion date - Spring 2025



Site Location Map
Scale: 1" = 2000'

CARBONATE GEOLOGY CERTIFICATION

I, _____ hereby certify that the stormwater management facilities are underlain by carbonate geology.

_____, 20____
Date Sam Baughman, P.G.

STORM DRAINAGE PLAN CERTIFICATION

I hereby certify that, to the best of my knowledge, the stormwater management facilities shown and described hereon are designed in conformance with Chapter 119, Subdivision and Land Development, and Chapter 113, Stormwater Management.

_____, 20____
Date Mark D. Myers

STATEMENT OF ACCURACY (PLAN)

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Chapter 119, Subdivision and Land Development. I hereby certify that this plan identifies all applicable prior plans, including all notes or restrictions, and is complete and correct.

_____, 20____
Date Mark D. Myers

STATEMENT OF ACCURACY (SURVEY)

I hereby certify that, to the best of my knowledge, the property boundary survey shown and described hereon is true and correct to the accuracy required by the Chapter 119, Subdivision and Land Development.

_____, 20____
Date

STORMWATER FACILITY PERMANENCE STATEMENT

I, the undersigned, hereby represent that the SWM facilities to be permanent fixtures that cannot be altered or removed unless a revised plan is approved by the Township. The operation and maintenance agreement is part of the stormwater management site plan.

_____, 20____
Date Jay Wendell Garman

_____, 20____
Date Emily Rose Garman

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN

Commonwealth of Pennsylvania
County of Lancaster

On this, the _____ day of _____, 20____, before me, the undersigned, personally appeared Jay Wendell Garman and Emily Rose Garman, who being duly sworn according to law, depose and say that they are the owners of the property shown on this plan, that the plan thereof was made at their direction, that they acknowledge the same to be their act and plan, that they desire the same to be recorded, and that all streets and other property identified as proposed public property (excepting those areas labeled "Not for Dedication") are hereby dedicated to the public use.

Jay Wendell Garman Emily Rose Garman

Notary Public

My commission expires _____, 20____

LANCASTER COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATE

This plan, bearing LCPC File No. _____, was reviewed by the staff of the Lancaster County Planning Department on _____, 20____ as required by the Pennsylvania Municipalities Planning Code, Act 247, of 1968, as amended. This certificate does not represent nor guarantee that this plan complies with the various ordinances, rules, regulations, or laws of the local municipality, the Commonwealth, or the Federal Government.

* Signature of the Chairperson or their designee

MOUNT JOY TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATE

At a meeting on _____, 20____ the Mount Joy Township Planning Commission approved this project including the complete set of plans which are filed in Mount Joy Township Planning Commission File No. _____ based upon its conformity with the standards of Chapter 119, Subdivision and Land Development and Chapter 113, Stormwater Management.

Date

REVISION	BY	DATE	PROJECT MANAGER	DESIGN BY	DRAWN BY	DATE	PROJECT NO.
PER LCDD ADMIN. REVIEW LETTER DATED FEBRUARY 5, 2024	MDM	FEB. 6, 2024	CATHERON L. REUBEN	MDM	MDM/JD	JANUARY 19, 2024	5947-23-01
PER TWP ENGR FEB 20, 2024 LTR # LCDD MAR 22, 2024 LTR	MDM	APR. 5, 2024					
SEAL							
PROJECT TITLE	PROPOSED BUILDING MOUNT JOY TOWNSHIP CLIENT: JAY GARMAN 1267 RISSEY MILL ROAD MOUNT JOY, PA 17552 717-868-8875						
TITLE SHEET	DRAWING : TS-1 (1 OF 9)						





Douglas J. & Sharilynn D. Wolgemuth
PID: 461-9995-0-0000

Darrel S. & Kelly AM Martin
DR: 5921369
PID: 461-27978-0-0000

Kenneth R. & Sarah S. Shearer
DR: 3744212
PID: 461-38647-0-0000

Jay Wendell & Emily Rose Garman
PID: 461-10741-0-0000
Desd: 674451
Plan: J-230-143

Caleb M. & Sara E. Reed
DR: 6709119
PID: 461-10264-0-0000

Kenneth R. & Sarah S. Shearer
DR: 3744212
PID: 461-38647-0-0000

Kenneth R. Shearer
& Virginia A. Pickell
DR: 5098634
PID: 461-12387-0-0000
Plan: 2012-0138-J

Jonathan D. Pickell
DR: 6474172
PID: 461-88362-0-0000

Existing Features Legend

	Contour
	Contour Index
	LIDAR / GIS Contour
	Building
	Concrete
	Edge of Pavement
	Edge of Gravel
	Centerline
	Fence
	Property Boundary
	Property Adjoiner
	Right-of-Way
	Stormwater Pipe
	Edge of Water
	Trelline
	Soil Boundary
	15% or Greater Slopes

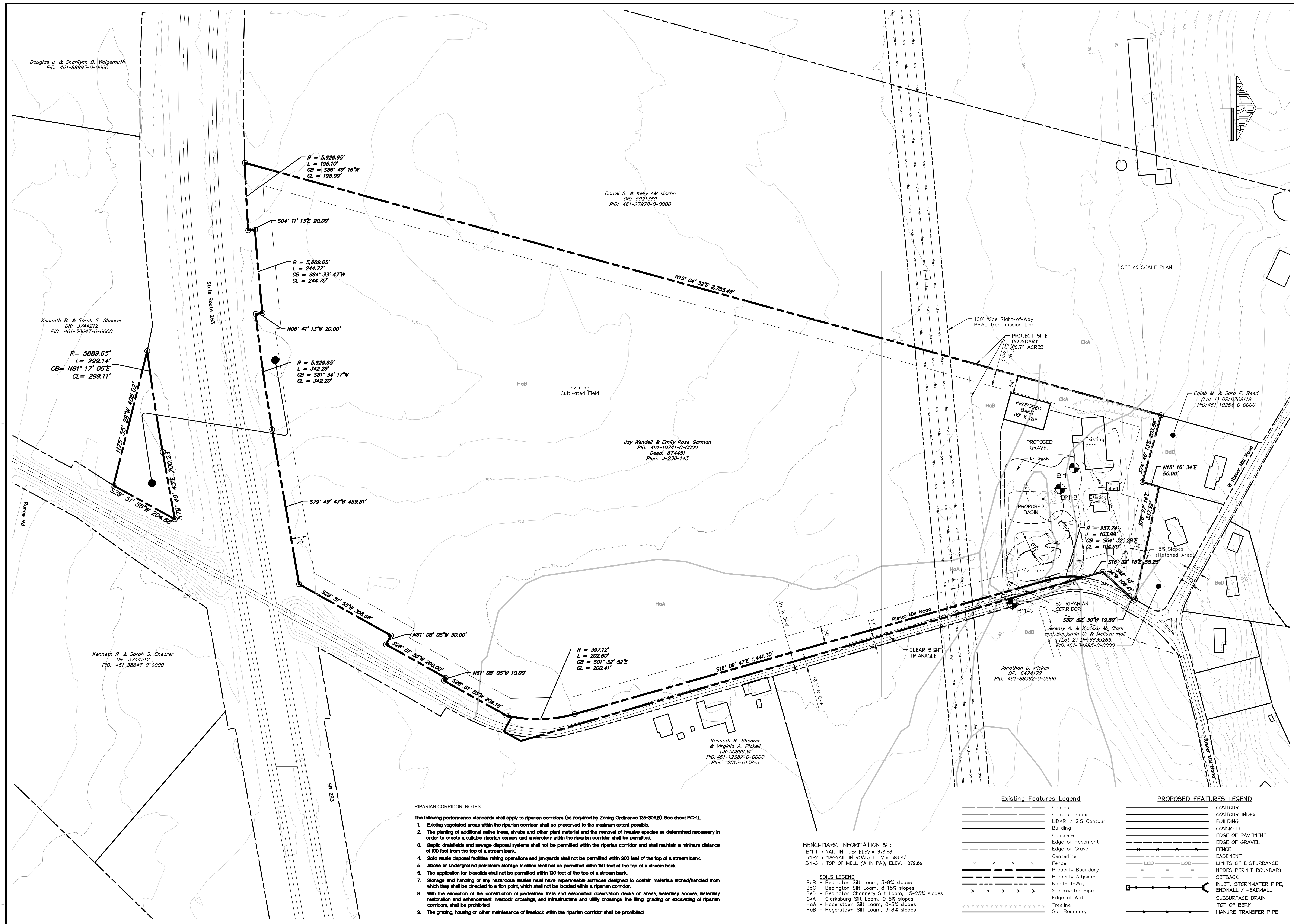
BENCHMARK INFORMATION :

BM-1 : NAIL IN HUB; ELEV. = 378.58
 BM-2 : MAGNAIL IN ROAD; ELEV. = 368.97
 BM-3 : TOP OF WELL (A IN PA); ELEV. = 376.86

SOILS LEGEND

BdB - Bedington Silt Loam, 3-8% slopes
 BcC - Bedington Silt Loam, 8-15% slopes
 BdB - Bedington Chanery Silt Loam, 15-25% slopes
 CkA - Clarkburg Silt Loam, 0-5% slopes
 HaA - Hagerstown Silt Loam, 0-3% slopes
 HaB - Hagerstown Silt Loam, 3-8% slopes

 120 LAKE STREET EPHRATA, PA 17522 PHONE: 717-721-6795 FAX: 717-721-9275 www.TeamAgInc.com TeamAg@TeamAgInc.com	PROJECT TITLE PROPOSED BUILDING MOUNT JOY TOWNSHIP LANCASTER COUNTY	CLIENT JAY GARMAN 1267 RISSER MILL ROAD MOUNT JOY, PA 17552 717-868-8875	PROJECT NO.: 5947-23-01
	PROJECT MANAGER CATHERON L. REUBEN	DESIGN BY: MDM	DRAWN BY: MDM/JD
SCALE 1" = 120' 1" = 360'	REVISION FEB. 8, 2024 APR. 5, 2024	BY MDM MDM	DATE FEB. 8, 2024 APR. 5, 2024
SEAL	PER LCCD ADMIN. REVIEW LETTER DATED FEBRUARY 5, 2024 PER LCCD MAR 22, 2024 LTR	PER LCCD MAR 22, 2024 LTR	PER LCCD MAR 22, 2024 LTR
EXISTING CONDITIONS PLAN	DRAWING EX-1 (2 OF 9)		



- RIPIARIAN CORRIDOR NOTES**
- The following performance standards shall apply to riparian corridors (as required by Zoning Ordinance 195-306B). See sheet PC-11.
 - Existing vegetated areas within the riparian corridor shall be preserved to the maximum extent possible.
 - The planting of additional native trees, shrubs and other plant material and the removal of invasive species as determined necessary in order to create a suitable riparian canopy and understorey within the riparian corridor shall be permitted.
 - Septic drainfields and sewage disposal systems shall not be permitted within the riparian corridor and shall maintain a minimum distance of 100 feet from the top of a stream bank.
 - Solid waste disposal facilities, mining operations and junkyards shall not be permitted within 300 feet of the top of a stream bank.
 - Above or underground petroleum storage facilities shall not be permitted within 150 feet of the top of a stream bank.
 - The application for biosolids shall not be permitted within 100 feet of the top of a stream bank.
 - Storage and handling of any hazardous waste must have impermeable surfaces designed to contain materials stored/handled from which they shall be directed to a sump point, which shall not be located within a riparian corridor.
 - With the exception of the construction of pedestrian trails and associated observation decks or areas, waterway access, waterway restoration and enhancement, livestock crossings, and infrastructure and utility crossings, the filling, grading or excavating of riparian corridors, shall be prohibited.
 - The grazing, housing or other maintenance of livestock within the riparian corridor shall be prohibited.

BENCHMARK INFORMATION :

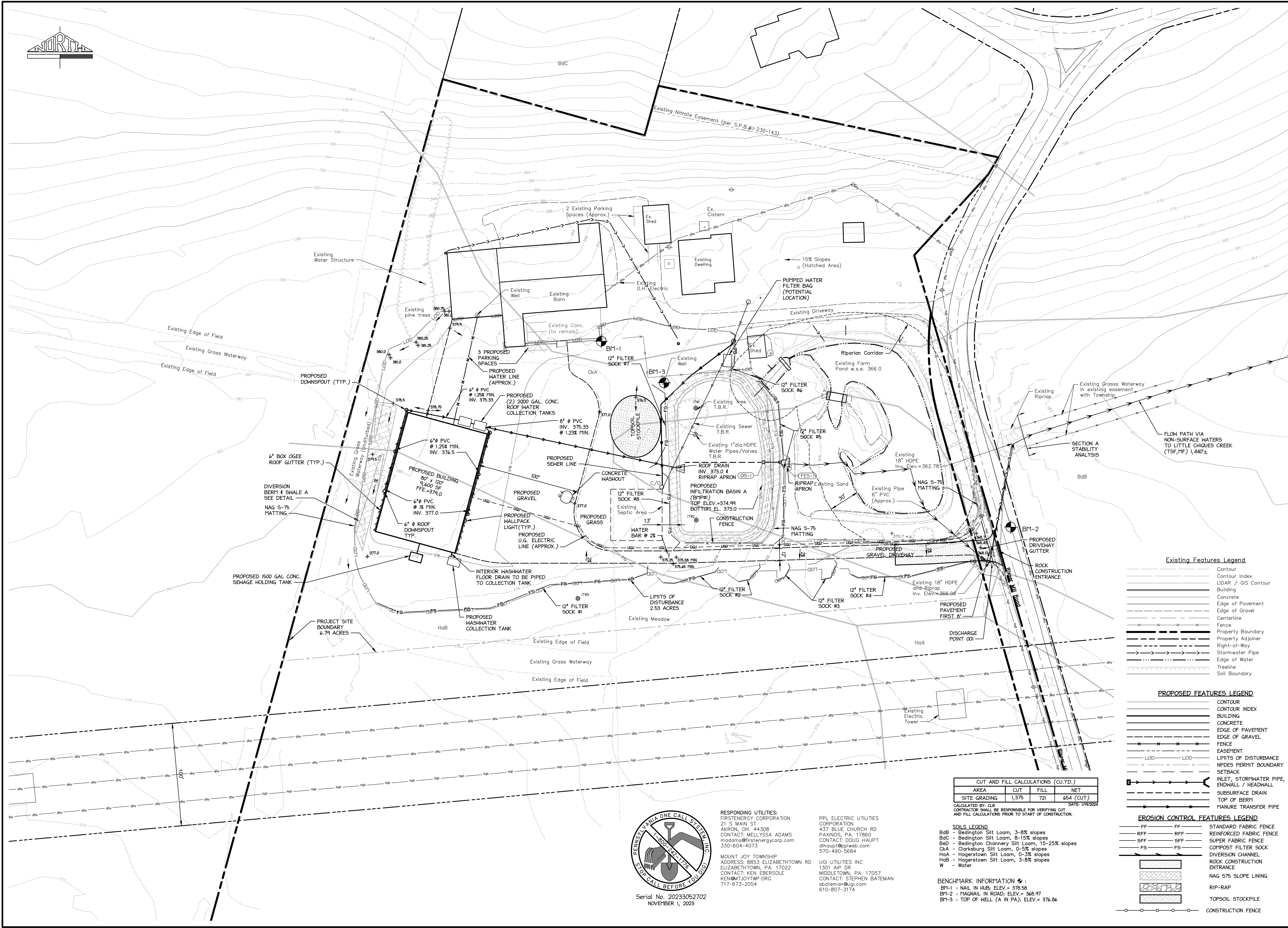
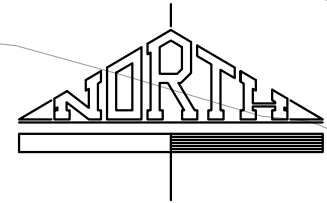
- BM-1 : NAIL IN HUB; ELEV.= 378.58
- BM-2 : MAGNAIL IN ROAD; ELEV.= 368.97
- BM-3 : TOP OF HELL (A IN PA); ELEV.= 376.86

SOILS LEGEND

- BdB - Bedington Silt Loom, 3-8% slopes
- BdC - Bedington Silt Loom, 8-15% slopes
- BdD - Bedington Channery Silt Loom, 15-25% slopes
- CkA - Clarksburg Silt Loom, 0-5% slopes
- HaA - Hagerstown Silt Loom, 0-3% slopes
- HaB - Hagerstown Silt Loom, 3-8% slopes

Existing Features Legend	PROPOSED FEATURES LEGEND
Contour	CONTOUR
Contour Index	CONTOUR INDEX
LIDAR / GIS Contour	BUILDING
Building	CONCRETE
Concrete	EDGE OF PAVEMENT
Edge of Pavement	EDGE OF GRAVEL
Edge of Gravel	FENCE
Centerline	EASEMENT
Fence	LIMITS OF DISTURBANCE
Property Boundary	NPDES PERMIT BOUNDARY
Property Adjinder	SETBACK
Right-of-Way	INLET, STORMWATER PIPE, ENDWALL / HEADWALL
Stormwater Pipe	SUBSURFACE DRAIN
Edge of Water	TOP OF BERM
Treeline	MANURE TRANSFER PIPE
Soil Boundary	

<p>TeamAg Inc 120 LAKE STREET EPHRATA, PA 17522 PHONE: 717-721-6795 FAX: 717-721-9275 www.TeamAgInc.com TeamAg@TeamAgInc.com</p>	<p>PROJECT TITLE PROPOSED BUILDING</p>	<p>CLIENT JAY GARMAN 1267 RISSER MILL ROAD MOUNT JOY, PA 17552 717-868-3875</p>	<p>PROJECT NO.: 5947-23-01</p>	
	<p>PROJECT MANAGER CATHERON L. REBEHAN</p>	<p>DATE FEB. 8, 2024</p>	<p>DATE APR. 5, 2024</p>	<p>REVISION</p>
	<p>DESIGN BY: MDM</p>	<p>DATE FEB. 8, 2024</p>	<p>DATE APR. 5, 2024</p>	<p>BY MDM</p>
	<p>DRAWN BY: MDM/JD</p>	<p>DATE JANUARY 19, 2024</p>	<p>DATE APR. 5, 2024</p>	<p>BY MDM</p>
<p>SCALE 1" = 120'</p>		<p>SCALE 1" = 360'</p>		
<p>PROJECT TITLE PROPOSED BUILDING</p>		<p>CLIENT JAY GARMAN 1267 RISSER MILL ROAD MOUNT JOY, PA 17552 717-868-3875</p>		
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<p>DATE APR. 5, 2024</p>		<p>DATE APR. 5, 2024</p>		
<p>BY MDM</p>		<p>BY MDM</p>		
<p>REVISION</p>		<p>REVISION</p>		



- Existing Features Legend**
- Contour
 - Contour Index
 - LIDAR / GIS Contour
 - Building
 - Concrete
 - Edge of Pavement
 - Edge of Gravel
 - Centerline
 - Fence
 - Property Boundary
 - Property Adjoiner
 - Right-of-Way
 - Stormwater Pipe
 - Edge of Water
 - Treeline
 - Soil Boundary

- PROPOSED FEATURES LEGEND**
- CONTOUR
 - CONTOUR INDEX
 - BUILDING
 - CONCRETE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - FENCE
 - EASEMENT
 - LIMITS OF DISTURBANCE
 - NPDES PERMIT BOUNDARY
 - SETBACK
 - INLET, STORMWATER PIPE, ENDWALL / HEADWALL
 - SUBSURFACE DRAIN
 - TOP OF BERM
 - MANURE TRANSFER PIPE

- EROSION CONTROL FEATURES LEGEND**
- FF - STANDARD FABRIC FENCE
 - RFF - REINFORCED FABRIC FENCE
 - SFF - SUPER FABRIC FENCE
 - FS - COMPOST FILTER SOCK
 - DI - DIVERSION CHANNEL
 - RC - ROCK CONSTRUCTION ENTRANCE
 - NAG S75 - NAG S75 SLOPE LINING
 - RR - RIP-RAP
 - TS - TOPSOIL STOCKPILE
 - CF - CONSTRUCTION FENCE

CUT AND FILL CALCULATIONS (CU.YD.)

AREA	CUT	FILL	NET
SITE GRADING	1,375	721	654 (CUT)

DATE: 1/19/2024
 CALCULATED BY: CLR
 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING CUT AND FILL CALCULATIONS PRIOR TO START OF CONSTRUCTION.

- SOILS LEGEND**
- BdB - Bedington Silt Loam, 3-8% slopes
 - BdC - Bedington Silt Loam, 8-15% slopes
 - BdD - Bedington Chanery Silt Loam, 15-25% slopes
 - CkA - Clarkburg Silt Loam, 0-5% slopes
 - HaA - Hagerstown Silt Loam, 0-3% slopes
 - HaB - Hagerstown Silt Loam, 3-8% slopes
 - W - Water

- BENCHMARK INFORMATION**
- BM-1 - NAIL IN HUB, ELEV = 378.58
 - BM-2 - MAGNAIL IN ROAD, ELEV = 368.97
 - BM-3 - TOP OF WELL (A IN PA), ELEV = 376.86



Site No. 20233052702
 NOVEMBER 1, 2023

RESPONDING UTILITIES:
 FIRSTENERGY CORPORATION
 21 S MAIN ST
 AKRON, OH 44308
 CONTACT: MELLYSSA ADAMS
 madams@firstenergycorp.com
 330-604-4073

PPL ELECTRIC UTILITIES CORPORATION
 437 BLUE CHURCH RD
 PAXINOS, PA 17860
 CONTACT: DOUG HAUPT
 dhaupt@pplweb.com
 570-490-5684

MOUNT JOY TOWNSHIP
 ADDRESS: 8853 ELIZABETHTOWN RD
 ELIZABETHTOWN, PA 17022
 CONTACT: KEN EBERSOLE
 KEN@MOUNTJOYTWP.ORG
 717-673-2054

UGI UTILITIES INC
 1301 AIP DR
 MIDDLETOWN, PA 17057
 CONTACT: STEPHEN BATEMAN
 sbateman@ugi.com
 610-807-3174

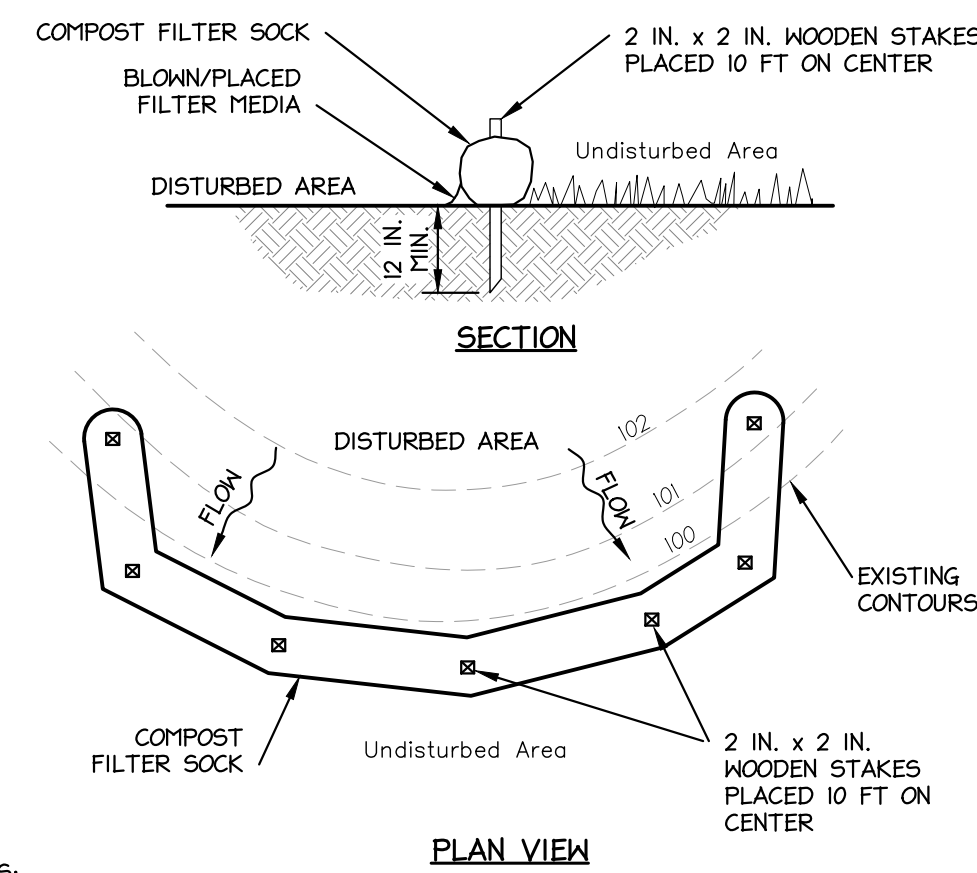
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PER TWP ENGR FEB 20, 2024 LTR # LCDD MAR 22, 2024 LTR	APR. 5, 2024	MDM

PROJECT MANAGER: CAMERON L. REUBEN
DESIGN BY: MDM
DRAWN BY: MDM/JD
DATE: JANUARY 19, 2024
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TeamAg inc
 120 LAKE STREET
 EPHRATA, PA 17522
 PHONE: 717-721-6795 FAX: 717-721-9275
 www.teamaginc.com TeamAg@teamaginc.com

SCALE: 1" = 40'

PROJECT TITLE: PROPOSED BUILDING
CLIENT: JAY GARMAN
 1267 RISSER MILL ROAD
 MOUNT JOY, PA 17552
 717-868-8875



NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK

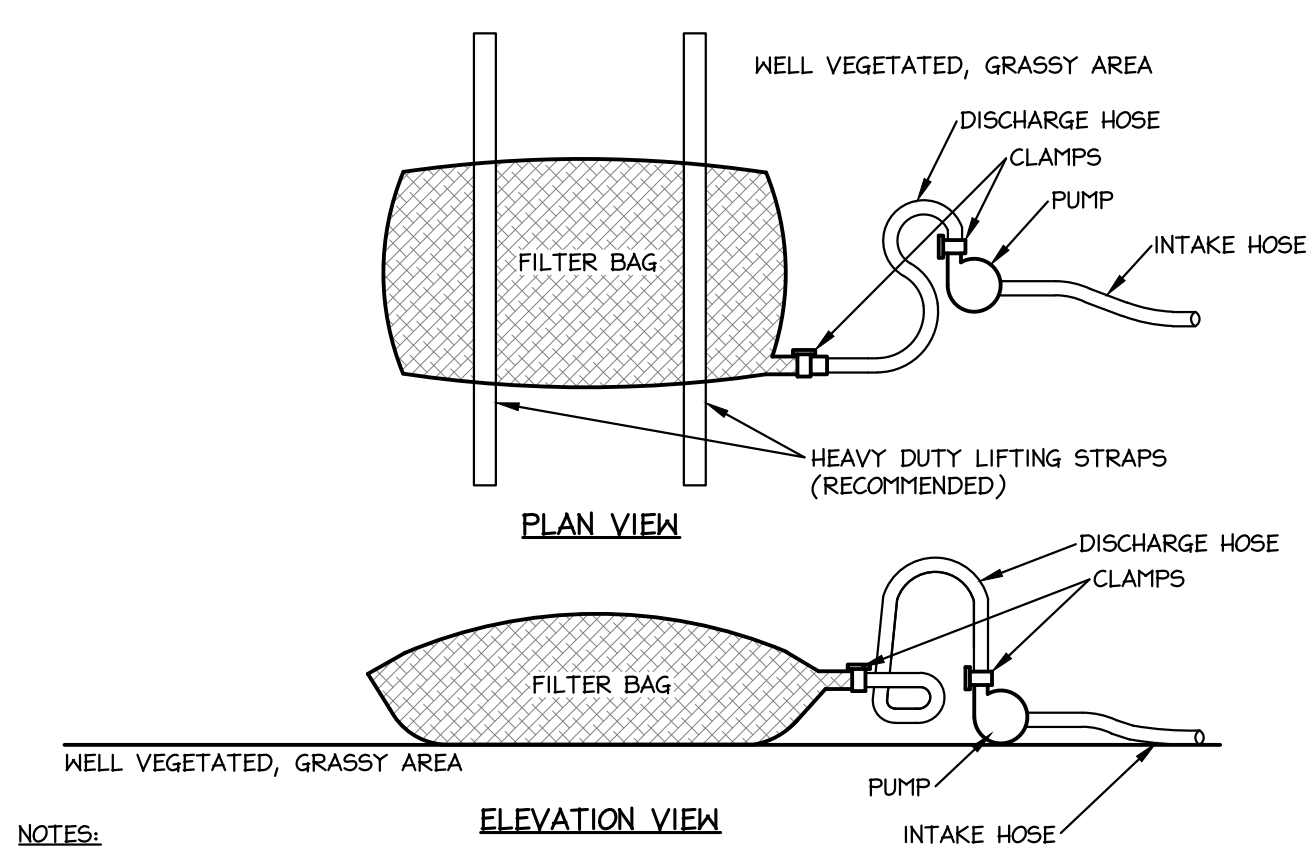
1 NOT TO SCALE

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	6 mil HDPE	Multi-Filament Polypropylene (MPPP)	Heavy Duty Polypropylene (HDMPPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability %	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Original Strength (ASTM G-155)	6 months	9 months	6 months	1 year	2 years
Minimum Functional Longevity					
Inner Containment Netting	HDPE biaxial net Continuously wound Fusion-welded junctures 3/4" x 3/4" Max. aperture size				
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperture size				
Sock fabrics composed of burlap may be used on projects lasting 6 months or less. Filtrexx & JMD					

TABLE 4.2
Compost Standards

Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.5
Moisture Content	30% - 80%
Particle Size	30% - 50% pass through 3/8" screen
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum



NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE STRENGTH	ASTM D-4984	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4933	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYERMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

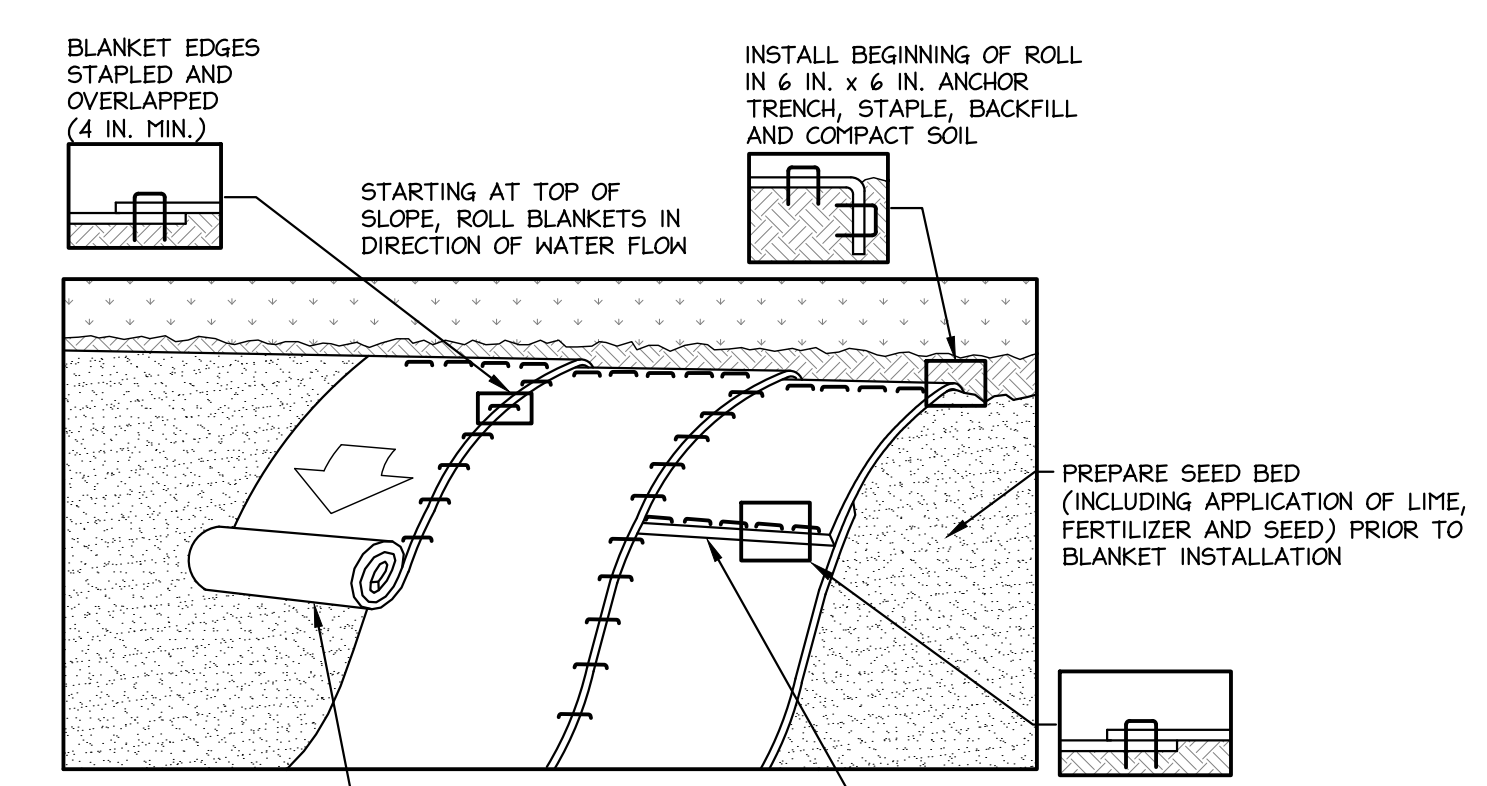
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG

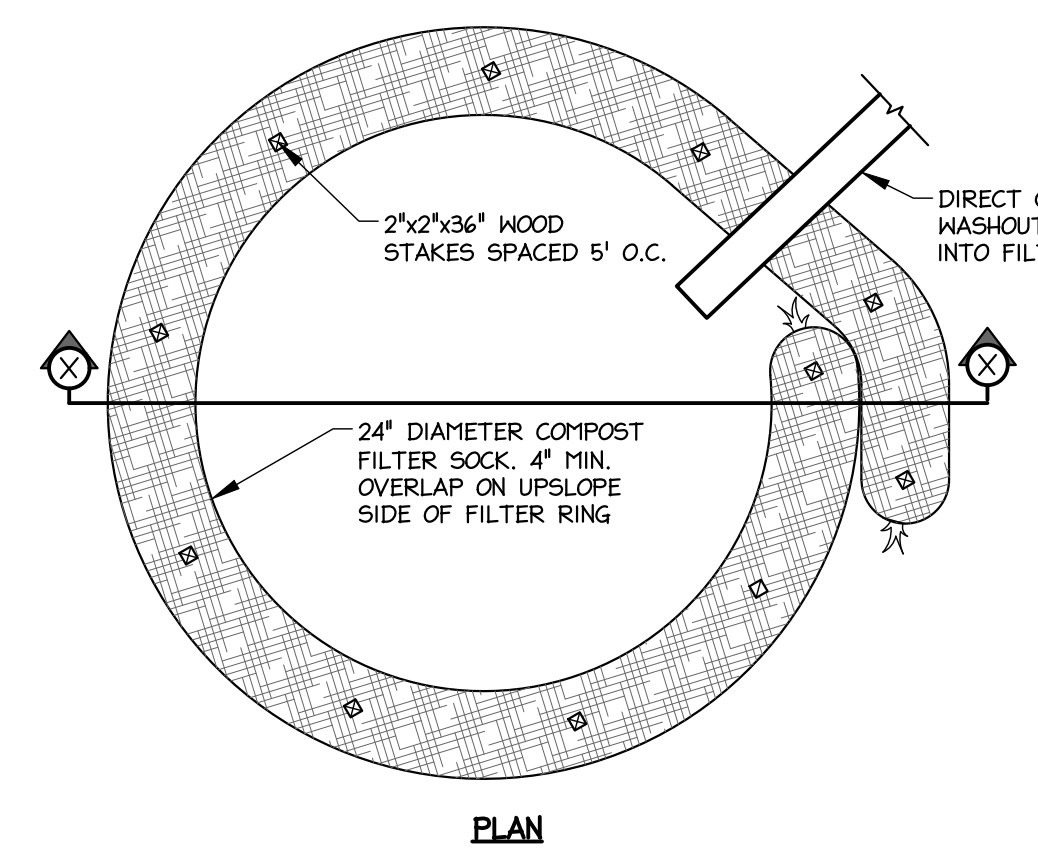
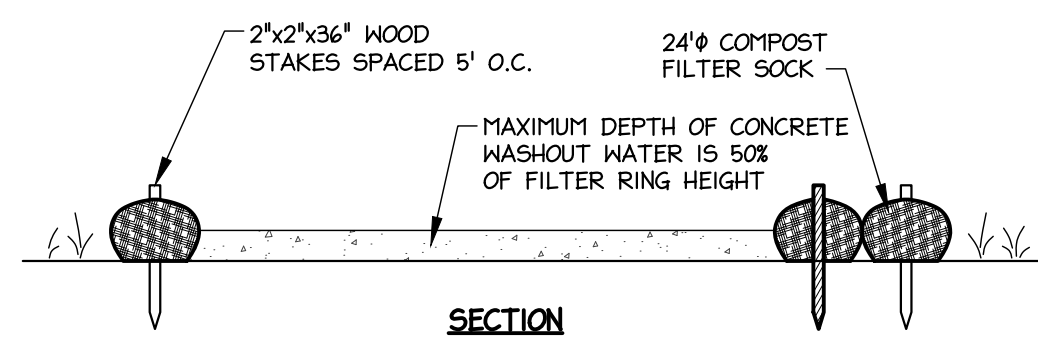
2 NOT TO SCALE



NOTES:
 SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION

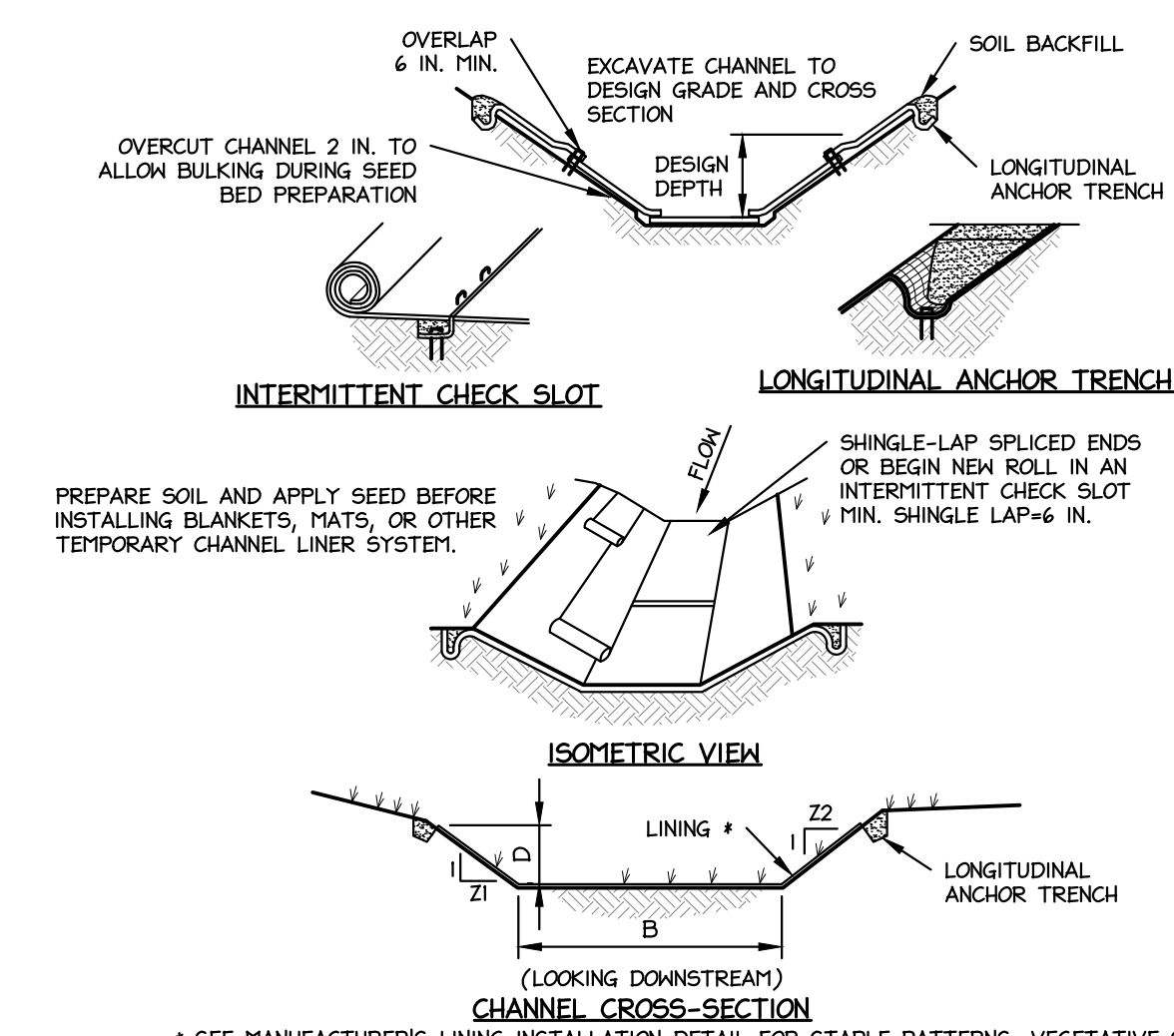
3 NOT TO SCALE



NOTES:
 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
 3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
 4. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
 5. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
 6. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

TYPICAL COMPOST WASHOUT INSTALLATION

5 NOT TO SCALE

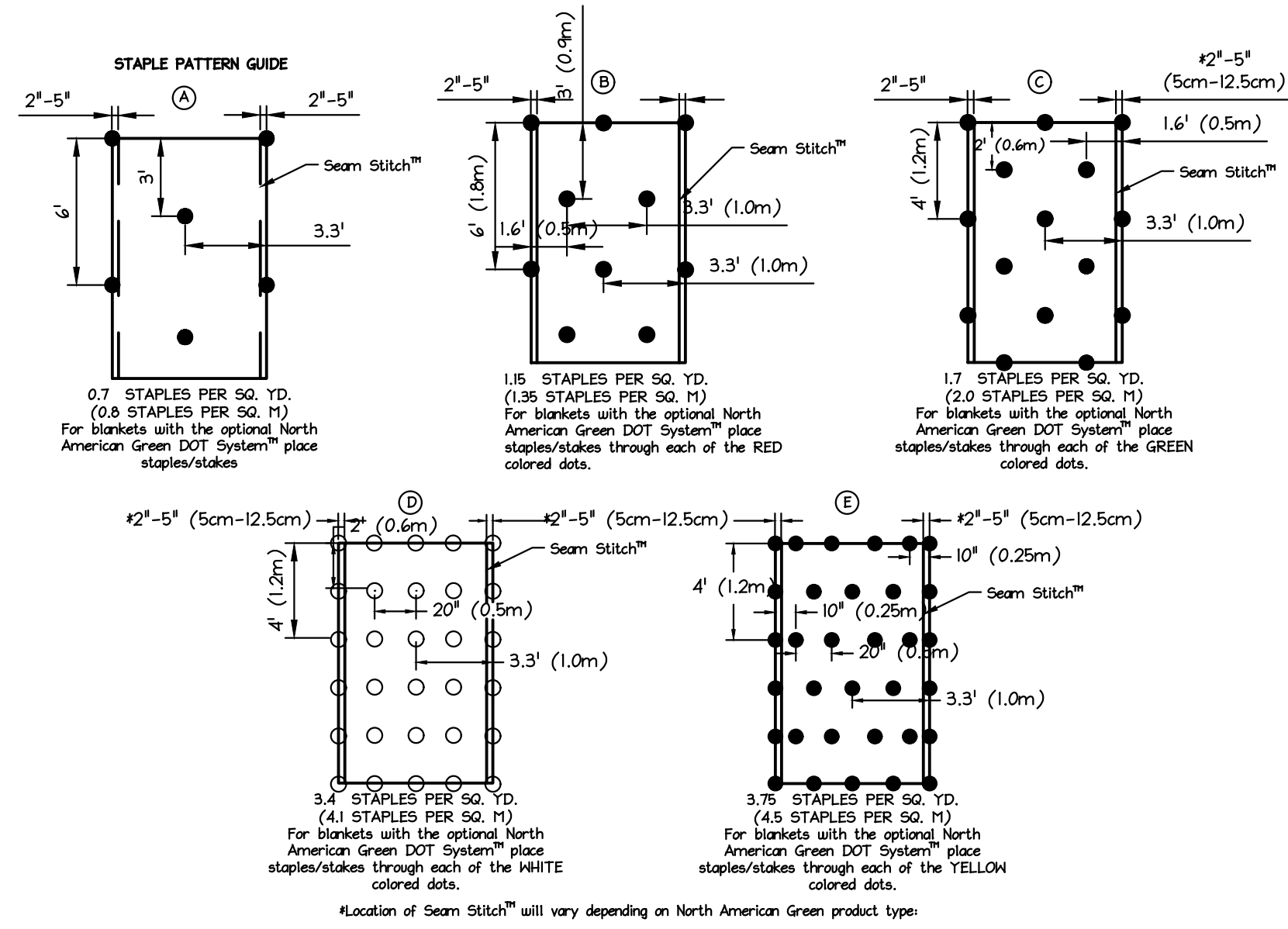


CHANNEL	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING #	STAPLE PATTERN
SHALE A	ALL	3	1.00	9	3	3	NAG 575	D

NOTES:
 1. ONSITE TOPSOIL MAY BE USED AS PERMEABLE SOIL FOR SHALE CONSTRUCTION.
 2. TOPSOIL AND STABILIZED ACCORDING TO THE SEEDING SPECIFICATIONS SHOWN.
 3. SEED WITH A SEED MIX CONTAINING VIRGINIA HILD RYE AT 1/4 TO 1/2 LB PER 1,000 SQUARE FEET.

VEGETATED SHALE

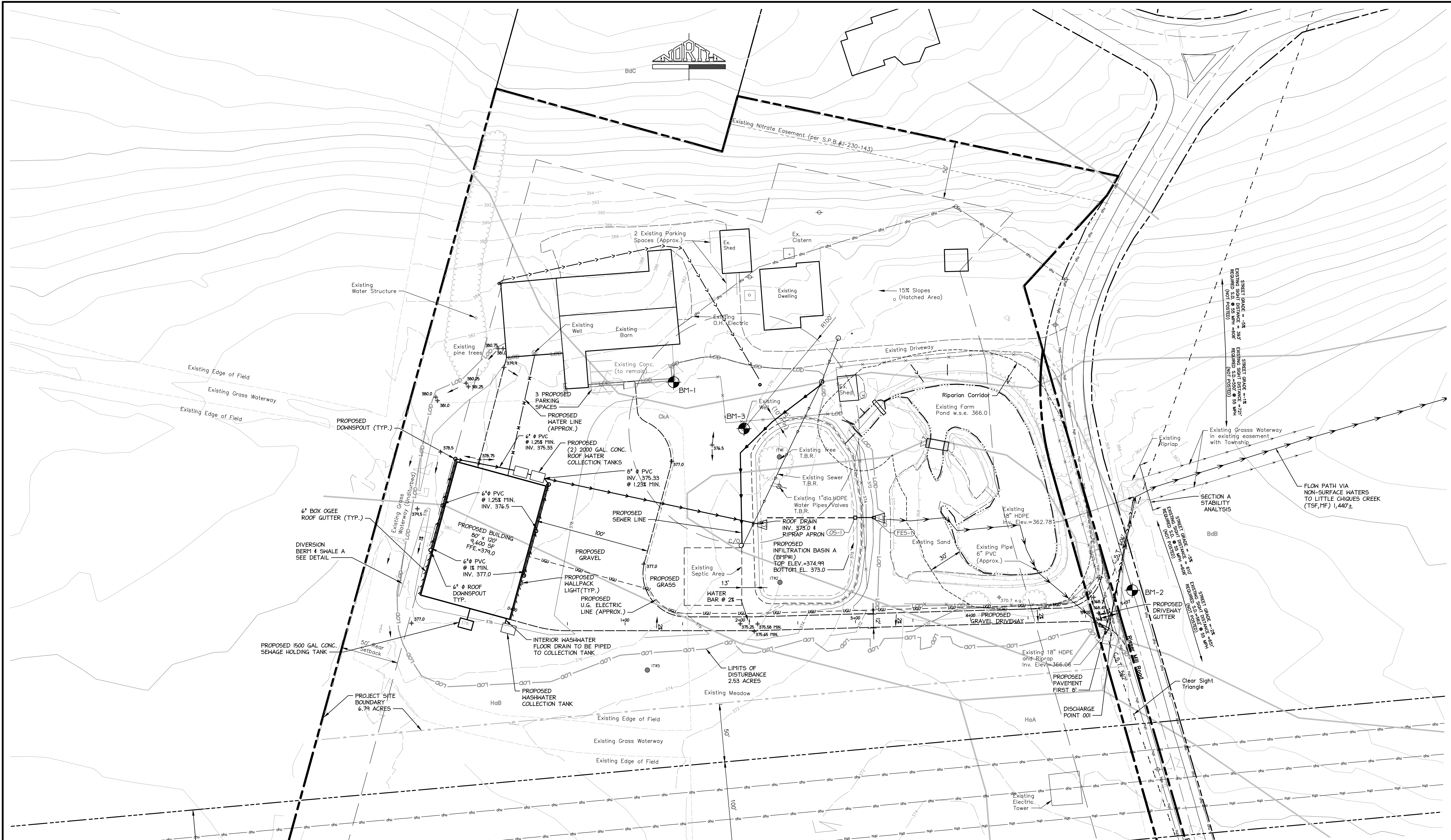
4 NOT TO SCALE



STAPLE PATTERN

4 NOT TO SCALE

REVISION	DATE	BY	PROJECT MANAGER	SEAL	PROJECT TITLE
	FEB. 5, 2024	MDM	CATHERON L. REUBEN		PROPOSED BUILDING
	APR. 5, 2024	MDM	DESIGN BY: MDM		LANCASTER COUNTY
			DRAWN BY: MDM/JD		MOUNT JOY TOWNSHIP
			DATE: JANUARY 19, 2024		CLIENT
			PROJECT NO.: 5947-23-01		JAY GARMAN
					1267 RISSER MILL ROAD
					MOUNT JOY, PA 17552
					717-868-8875
					EROSION CONTROL DETAILS
					DRAWING ES-3 (6 OF 9)



GEOLOGIST RECOMMENDATIONS
 To minimize the susceptibility of sinkhole formation, the following tasks are recommended:

- Reduce the time between removal of topsoil and construction of the proposed storm water management facility.
- The area under the storm water management facility should not be impacted by construction vehicles so that storm water may infiltrate the soil as designed.
- Depth to bedrock varies in karst areas, pinnacles may be found during construction.

If during installation, throats, areas of soil piping, or other karst features are discovered, remediation of karst features can be accomplished as follows:

- Areas of soil piping should be excavated to determine the extent of piping. Remove all loose soil and rock to identify the throat in bedrock.
- Use of non-woven geo-fabric to line the bottom of the excavation, between rock layers and above the upper rock layer, the sidewalls do not require covering.
- Placement of reverse stone filter to permit drainage of water but not soils.
- This process should be overseen by a professional geologist or engineer experienced in sinkhole remediation.

CUT AND FILL CALCULATIONS (CU.YD.)			
AREA	CUT	FILL	NET
SITE GRADING	994	710	284

CALCULATED BY: MPM
 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING CUT AND FILL CALCULATIONS PRIOR TO START OF CONSTRUCTION.

BENCHMARK INFORMATION
 BM-1 : NAIL IN HUB; ELEV. = 378.58
 BM-2 : MAGNAIL IN ROAD; ELEV. = 368.97
 BM-3 : TOP OF WELL (A IN PA); ELEV. = 376.86

CRITICAL STAGES OF BMP INSTALLATION
 Inspections shall be made by a qualified registered professional (e.g. TeamAg, Inc.) to certify that the PCSM plan is constructed in accordance with the design as required by the NPDES permit.

The contractor and/or owner shall notify TeamAg, Inc. to provide the following critical PCSM BMP construction onsite/site visits according to the following schedule:

- Inspection #1:** During installation of the permanent infiltration basin: to verify scarification of basin bottom, topsoil placement in basin bottom and installation of under-drain
- Inspection #2:** Final inspection required to confirm stabilization of site, verify condition of vegetation and conduct as-built measurements. Provide as-built plans and documentation as required by the NPDES permit prior to filing the Notice of Termination.

- SOILS LEGEND**
- Bd - Bedington Silt Loam, 3-8% slopes
 - BdC - Bedington Silt Loam, 8-15% slopes
 - BdD - Bedington Channery Silt Loam, 15-25% slopes
 - CA - Clarksburg Silt Loam, 0-5% slopes
 - HA - Hagerstown Silt Loam, 0-3% slopes
 - HAa - Hagerstown Silt Loam, 3-8% slopes
 - W - Water

- Existing Features Legend**
- Contour
 - Contour Index
 - LIDAR / GIS Contour
 - Building
 - Concrete
 - Edge of Pavement
 - Edge of Gravel
 - Centerline
 - Fence
 - Property Boundary
 - Property Adjoiner
 - Right-of-Way
 - Stormwater Pipe
 - Edge of Water
 - Treeline
 - Soil Boundary

- PROPOSED FEATURES LEGEND**
- CONTOUR
 - CONTOUR INDEX
 - BUILDING
 - CONCRETE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - FENCE
 - EASEMENT
 - LIMITS OF DISTURBANCE
 - NPDES PERMIT BOUNDARY
 - SETBACK
 - INLET, STORMWATER PIPE, ENDWALL / HEADWALL
 - SUBSURFACE DRAIN
 - TOP OF BERM
 - MANURE TRANSFER PIPE
 - BUILDING MOUNTED DUSK-TO-DAWN LIGHT

	PROJECT TITLE PROPOSED BUILDING MOUNT JOY TOWNSHIP LANCASTER COUNTY	CLIENT JAY GARMAN 1267 RISSER MILL ROAD MOUNT JOY, PA 17552 717-368-3875
	PROJECT MANAGER CAMERON L. REUBEN	DESIGN BY : MDM DRAWN BY : MDM/JD DATE : JANUARY 19, 2024 PROJECT NO. : 5947-23-01
DATE FEB. 8, 2024 APR. 5, 2024	BY MDM MDM	REVISION PER LCDD ADMIN. REVIEW LETTER DATED FEBRUARY 5, 2024 PER TMP ENGR FEB 20, 2024 LTR # LCDD MAR 22, 2024 LTR
DRAWING : PC-1 (7 OF 9)		

OPERATION AND MAINTENANCE PROCEDURES-

- 1) Responsible Party for PCSM Operation and Maintenance: Property Owner (Jay Garman).
2) The property owner shall be responsible for implementing and maintaining all PCSM facilities...
3) BMPs should be inspected as stated for each BMP and after any major storm event...
4) Written reports shall be completed for each inspection documenting all BMP repair and maintenance activities...
5) Maintenance Requirements
a) Regular inspections of the S/M1 facilities...
i) Annually for the first 5 years...
ii) Once every 3 years thereafter...
iii) During or immediately after the cessation of a 2-year or greater storm event...
iv) As specified in the O/M Agreement...
b) All pipes, swales and detention facilities shall be kept free of any debris...
c) Removal of silt from all permanent structures which trap silt...
d) Re-establishment of vegetation of cleared areas...
6) Mechanical components such as valves, sluice gates, fence gates, locks, and access hatches...
7) Replace displaced riprap within the outlet energy dissipater immediately after it is displaced...
8) Trash and debris should be removed on a regular basis...
9) Infiltration Basin
a) Flared end sections (upgraded of infiltration basin) should be inspected and cleaned...
b) The vegetation along the surface of the infiltration basin should be maintained...
c) Vehicles should not be parked or driven on an infiltration basin...
d) Inspect basin after runoff events and make sure that water in the basin drains...
e) Mowing Schedule: Basin bottom vegetation shall be established 1st year per Ernst Seed...
f) Remove accumulated sediment from the basin as required...
g) The valve in the outlet structure of the basin shall be maintained in the closed position...
10) Riprap Aprons
a) All riprap aprons shall be inspected after each runoff event...
b) If these facilities were to fail, an engineer shall oversee the repair, replacement...

- A possible solution is as follows:
- Remove topsoil and stockpile
- Chisel plow basin bottom to a depth of 18 inches
- Replace amended soils 4 topsoil taking care to prevent compaction of basin bottom
- Seed and stabilize basin bottom. Plant a seed mix containing "Virginia Wild rye" such as "Retention Basin Floor Seeding Mix ERNIX-126" from Ernst Conservation Seeds at 1/2 to 1 pound per 1,000 square feet.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS:

- 1. Until the permittee or co-permittee has received written approval of a notice of termination...
2. The permittee or co-permittee shall be responsible for long-term operation and maintenance of PCSM BMPs...
3. For any property containing a PCSM BMP, the permittee or co-permittee shall record an instrument...
4. The person responsible for performing long-term operation and maintenance...
5. A permittee or co-permittee that fails to transfer long-term operation and maintenance of the PCSM BMP...

PROCEDURES FOR RECYCLING

Anticipated wastes for the project include typical commercial building waste, including recoverable waste materials generated during construction, packaging, new material scraps and debris all constitute potentially recoverable materials.

COMPLAINT OR SITE INSPECTION

Upon complaint or site inspection, the Department or conservation district may require that the PCSM Plan be submitted for review and approval to ensure compliance with PA Code Title 25, Environmental Protection, Ch.102

PCSM REPORTING AND RECORDKEEPING

The PCSM Plan, inspection reports and monitoring records shall be available for review and inspection by the Department or the conservation district.

FINAL CERTIFICATION

The permittee shall include with the notice of termination "Record Drawings" with a final certification statement from a licensed professional, which reads as follows:
I (name) do hereby certify pursuant to the penalties of 18 Pa.C.S.A. §4904 to the best of my knowledge, information and belief, that the accompanying record drawings accurately reflect the as-built conditions, are true and correct, and are in conformance with Chapter 102 of the rules and regulations of the Department of Environmental Protection and that the project site was constructed in accordance with the approved PCSM Plan, all approved plan changes and accepted construction practices."

(1) The permittee shall retain a copy of the record drawings as a part of the approved PCSM Plan.
(2) The permittee shall provide a copy of the record drawings as a part of the approved PCSM Plan to the person identified in this section as being responsible for the long-term operation and maintenance of the PCSM BMPs.
Upon permanent stabilization of the earth disturbance activity under §102.22(a)(2) (relating to permanent stabilization), and installation of BMPs in accordance with an approved plan prepared and implemented in accordance with §102.4 and 102.8 (relating to erosion and sediment control requirements; and PCSM requirements), the permittee or co-permittee shall submit a notice of termination to the Department or conservation district.

The notice of termination must include:
(1) The facility name, address and location.
(2) The operator name and address.
(3) The permit number.
(4) The reason for permit termination.
(5) Identification of the persons who have agreed to and will be responsible for long-term operation and maintenance of the PCSM BMPs in accordance with §102.8(m)(2).

SEQUENCING OF PCSM BMP IMPLEMENTATION

The owner should minimize land clearing, grading and impervious areas to that shown on the plans; minimize soil compaction; and protect existing drainage features and existing vegetation.
Implementation of this plan shall:
- Preserve the integrity of stream channels and maintain and protect the physical, biological and chemical qualities of the receiving stream
- Prevent any increase in the rate of stormwater runoff
- Minimize any increase in stormwater runoff volume

- Minimize impervious areas
- Maximize the protection of existing drainage features and existing vegetation
- Minimize land clearing and grading
- Minimize soil compaction
- Utilize other structural or nonstructural BMPs that prevent or minimize changes in stormwater runoff
ALL PCSM BEST MANAGEMENT PRACTICES, INCLUDING INFILTRATION BASIN AND SWALES, SHALL BE INSTALLED PER THE SEQUENCE OF CONSTRUCTION SHOWN ON SHEET ES-2.

Infiltration Basin

- 1. Install Temporary sediment control BMPs as shown on the plans.
2. Complete site grading.
3. Stabilize grading within the drainage area to the infiltration basin.
4. The infiltration basin should not be installed until all tributary areas are uniformly stabilized.
5. Excavate infiltration basin to proposed invert depth and scarify the existing soil surfaces.
6. Backfill infiltration basin with amended soil as shown on the plans.
7. Presoak the planting soil prior to planting vegetation to aid in settlement.
8. Complete final grading to achieve proposed design elevations.
9. Seed and stabilize basin bottom. Plant a seed mix containing "Virginia Wild rye" such as "Retention Basin Floor Seeding Mix ERNIX-126" from Ernst Conservation Seeds at 1/2 to 1 pound per 1,000 square feet.

GENERAL SEEDING NOTES

- 1. Any disturbed area on which activity has ceased and which will remain exposed must be seeded and mulched immediately.
2. Disturbed areas which are either at finished grade or which will be redisturbed within one year must be seeded and mulched with a quick growing temporary seeding mixture and mulch.
3. Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.
4. Diversion, channels, sedimentation basins, stockpiles must be seeded and mulched immediately.
5. Mulch shall be anchored immediately after application.

TEMPORARY SEEDING NOTES

Site preparation: Apply 1 ton/acre agricultural grade limestone and 10-10-10 fertilizer at a rate of 500 lbs./acre and work in where possible. Mulch seeded areas immediately after seeding.

PERMANENT SEEDING NOTES

Site preparation: Grade as necessary to bring the subgrade to a true, smooth slope parallel to and six inches below finished grade. Place topsoil over specified areas to a depth sufficiently greater than six inches so that after settlement and light rolling the complete work will conform to lines, grades, and elevations shown.

Apply 6 tons/acre agricultural grade limestone and 10-20-10 fertilizer at a rate of 1,000 lbs./acre or as per soil test. Limestone and fertilizer may not be required in agricultural fields.

Fertilizer and agricultural limestone shall be thoroughly incorporated into the soil by rototilling or other method to a minimum depth of four inches. The entire surface shall be done in two separate operations. The second seeding shall be done immediately after the first and at right angles to the first seeding and lightly raked into the soil. Mulch seeded areas immediately after seeding.

RECOMMENDED SEED MIXTURES

Table with columns: CONDITION, MIXTURE NUMBER, SPECIES, SEEDING RATES PURE LIVE SEED%, SEEDING RATES (LBS./ACRE). Rows include Temporary 1 (Spring oats, Annual ryegrass, Winter wheat, Winter rye), Lawn area (Temporary mixture, Tall fescue, Fine fescue, Kentucky bluegrass, Redtop, Perennial ryegrass), and BASIN Bottom (ERNIX-126) with various species and a note to plant seed mix at 20-40 lbs/acre.

Adapted from PA DEP Erosion and Sediment Pollution Control Program Manual
(2) PLS is the product of the percentage of pure seed times percentage germination divided by 100.
(2) This mixture is suitable for frequent mowing. Do not cut shorter than 4 inches.

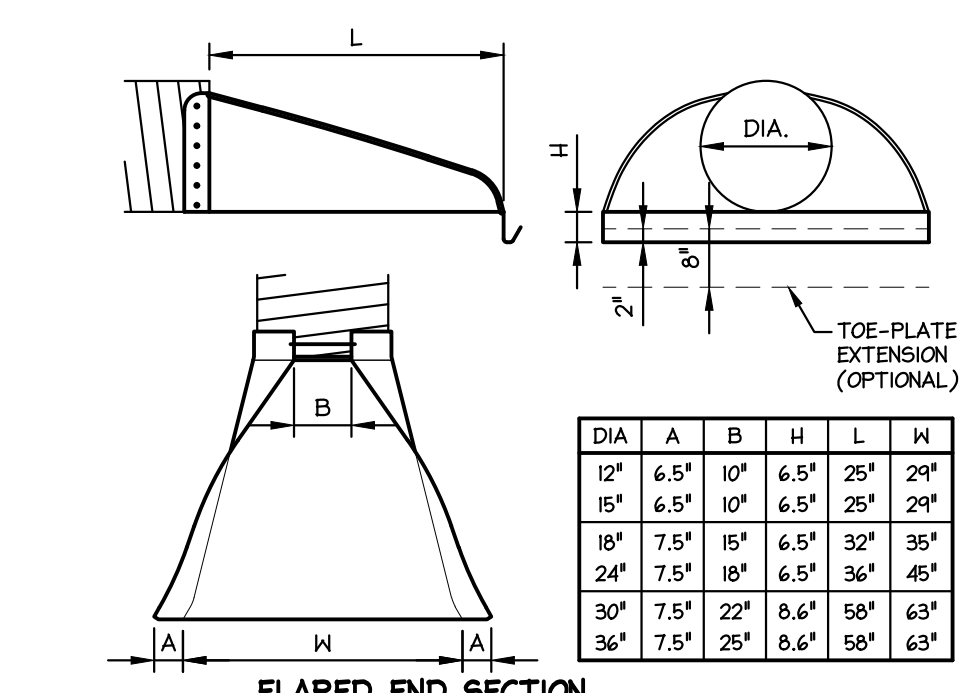
CONSTRUCTION TECHNIQUES AND SPECIAL CONSIDERATIONS TO ADDRESS SOIL LIMITATIONS

- Cut banks cove - All trenching and temporary excavated cut slopes shall be performed according to OSHA guidelines.
- Concrete to concrete - Concrete shall be placed and cured according to specifications in order to meet the useful life of the structure.
- Erosion control - All of the erosion and sediment control measures outlined in the plans shall be followed to minimize erosion.
- Low strength - Design fill slopes shall be adequately compacted and stabilized.
- Slow percolation - Infiltration testing was performed in the areas of proposed stormwater facilities, and facilities and the soils were found to have adequate infiltration properties.
- Piping - Adequate compaction of all fill slopes and berms, and inclusion of anti-seep collars on facility barrel outlets will limit piping.
- Poor source of topsoil - Only the soils suitable for topsoil shall be used as such.
- Frost Action - Fill material shall be free of frozen or partially frozen soils. Soil to be used as fill shall not exceed the recommended moisture content.

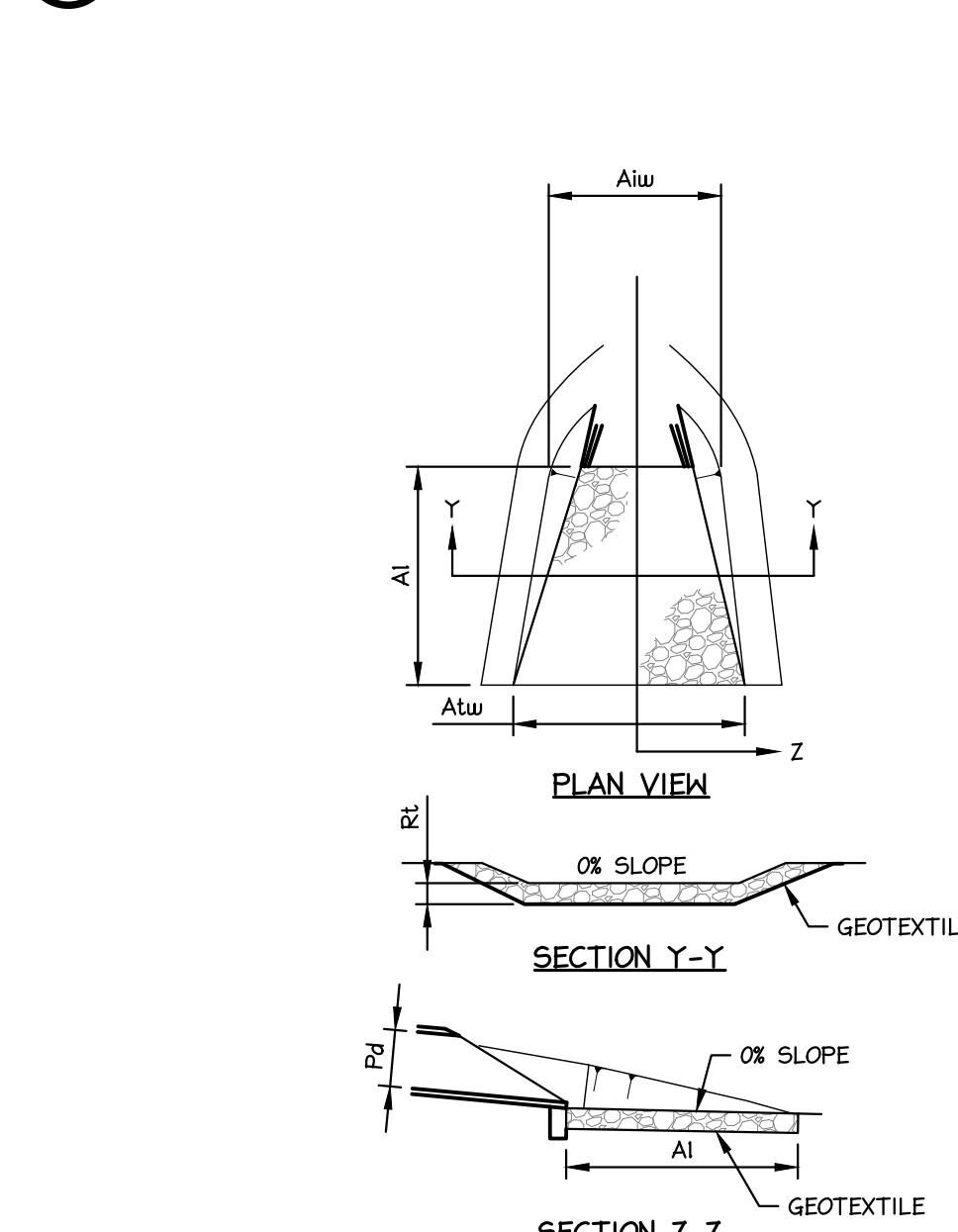
In general, adequate compaction, stabilization, and sub-surface drainage of the site in accordance with the drawings will maximize favorable conditions for construction and minimize erosion potential.

THERMAL IMPACTS

Thermal impacts are avoided with the use of the proposed infiltration basin and vegetated swales. Undisturbed areas flow through vegetated areas and sheet flow across vegetated areas prior to reaching surface waters.



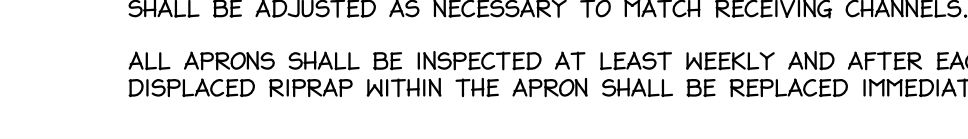
1 - FLARED END SECTION NOT TO SCALE



3 - STANDARD CONSTRUCTION DETAIL #9-1 RIRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL NOT TO SCALE

Table with columns: OUTLET NO., PIPE DIA. Pd (IN), RIFRAP SIZE, THICK. RT. (IN), LENGTH Ai (FT), INITIAL WIDTH Aiu (FT), TERMINAL WIDTH Atu (FT). Rows include FES-1 (12" R-3) and 6" Roof Drain (8" R-3).

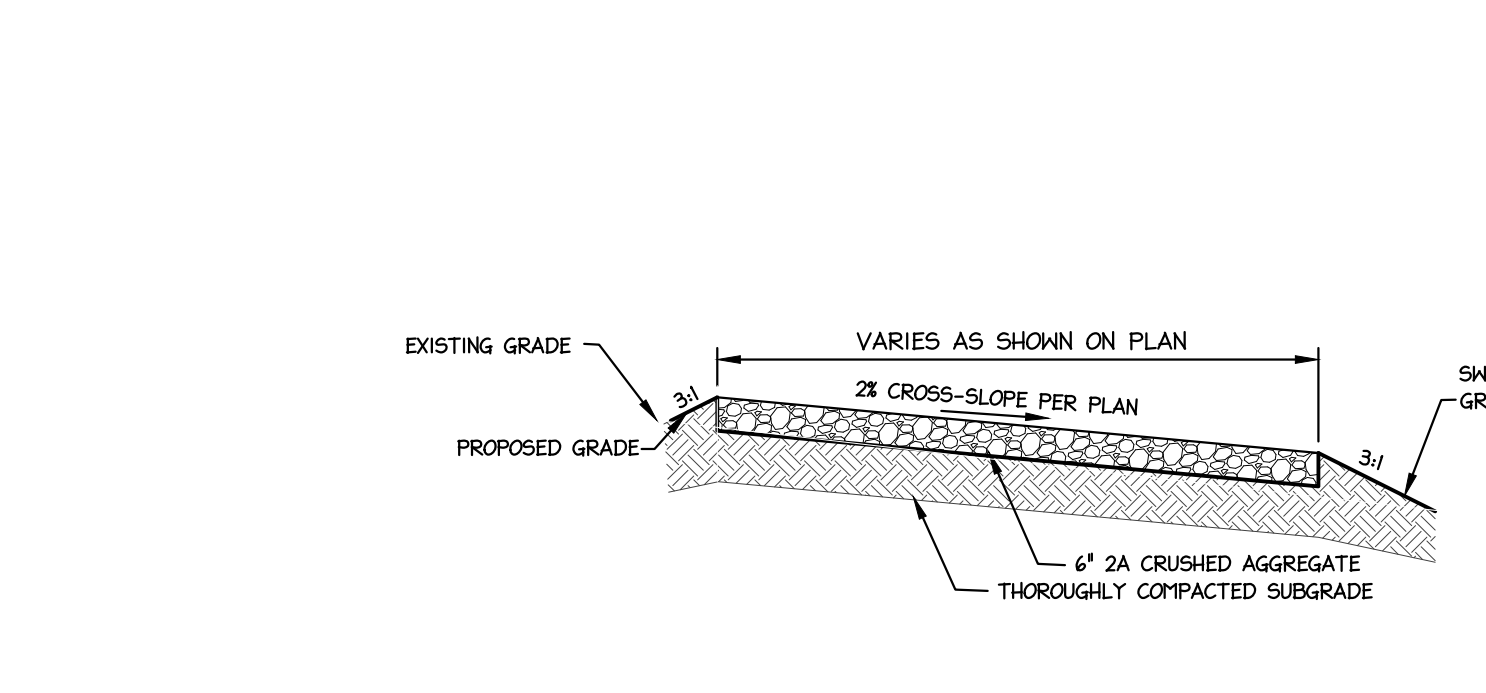
Notes: ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.



5 - DIVERSION/SWALE A NOT TO SCALE

Notes: 1. CONSTRUCT INTERMEDIATE CHECK SLOT ANCHORAGE EVERY 25 FEET. 2. TUCK 2 OR 3 FOLDS OF MAT INTO A 6" DEEP SLOT DUG PERPENDICULAR TO THE FLOW DIRECTION. 3. PLACE A ROW OF STAPLES ON BOTH SIDES OF THE CHECK SLOT. LAY MATTING LOOSELY, DO NOT STRETCH. 4. ALSO REFER TO MANUFACTURERS' LINING INSTALLATION DETAIL AND VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES, AND MULCHING INFORMATION. 5. THE DIVERSION MUST BE SEEDDED.

6 - SINKHOLE REMEDIATION REVERSE / INVERTED FILTER NOT TO SCALE



2 - PROPOSED DRIVEWAY SECTION NOT TO SCALE

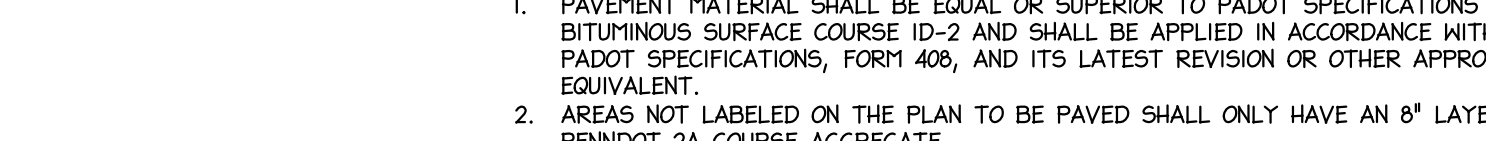
NOTE: PAVEMENT SHALL EXTEND A MINIMUM OF 8' FROM THE EDGE OF STREET CARTWAY.



4 - PAVEMENT DETAIL NOT TO SCALE

- 1. PAVEMENT MATERIAL SHALL BE EQUAL OR SUPERIOR TO PADOT SPECIFICATIONS FOR BITUMINOUS SURFACE COURSE ID-2 AND SHALL BE APPLIED IN ACCORDANCE WITH THE PADOT SPECIFICATIONS, FORM 406, AND ITS LATEST REVISION OR OTHER APPROVED EQUIVALENT.
2. AREAS NOT LABELED ON THE PLAN TO BE PAVED SHALL ONLY HAVE AN 8" LAYER OF PENNDOT 2A COURSE AGGREGATE.

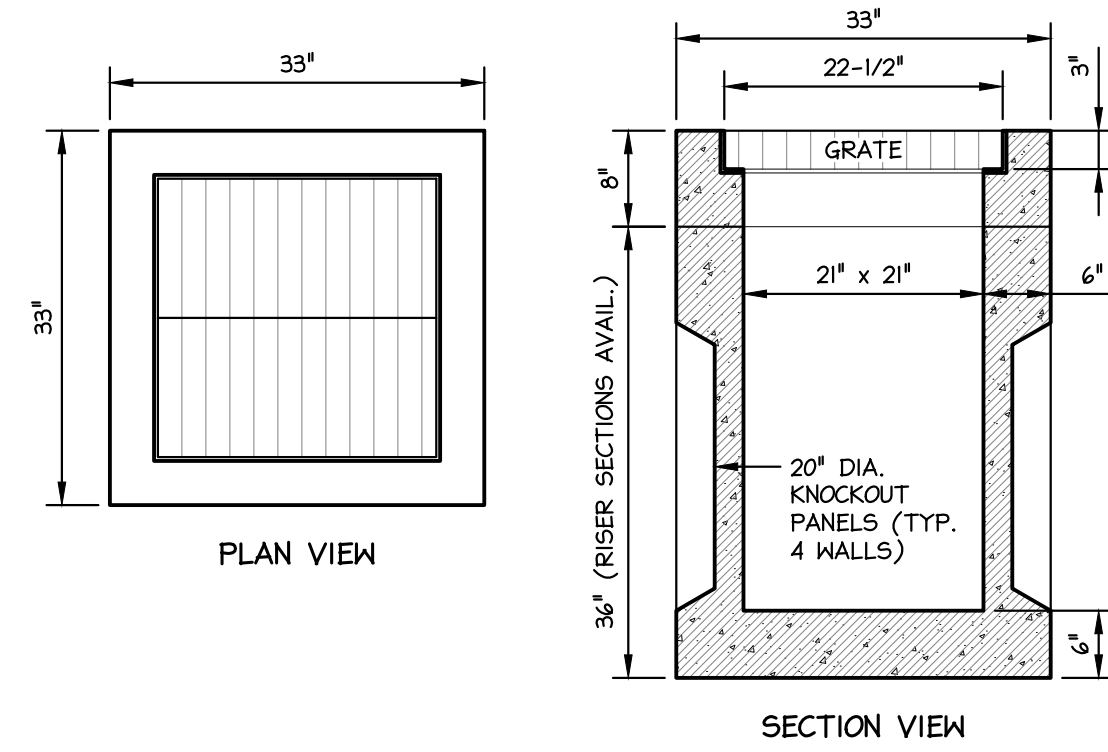
4 - PAVEMENT DETAIL NOT TO SCALE



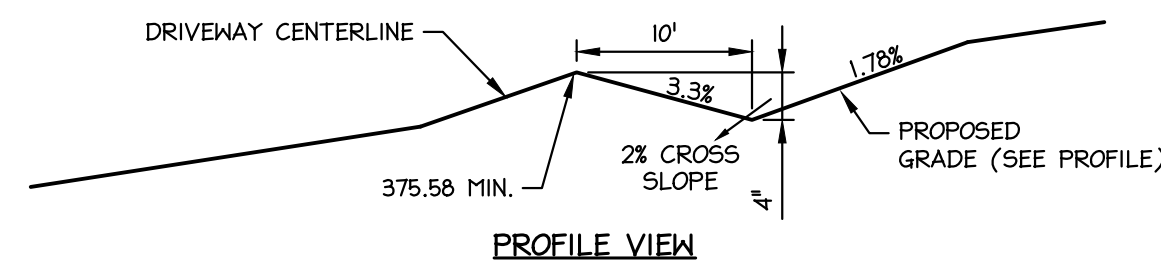
6 - SINKHOLE REMEDIATION REVERSE / INVERTED FILTER NOT TO SCALE

- 1. IF A SINKHOLE IS ENCOUNTERED A PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER MUST BE CONTACTED TO INSPECT AND OVERSEE SINK HOLE REHABILITATION.
2. GEOTEXTILE SHALL BE PLACED AS A SINGLE LAYER BETWEEN THE ROCK LAYERS, THE BOTTOM OF EXCAVATION, AND ABOVE THE TOP LAYER. THE SIDE WALLS OF EXCAVATION SHALL NOT BE COVERED BY GEOTEXTILE.
3. GEOTEXTILE SPECIFICATIONS: WEIGHT 200-400 G/M2, THICKNESS 2-3 MM, PERMEABILITY 0.3-0.4 CM/SEC, TOP LAYER: AASHTO #57 (2B/S), MIDDLE LAYER: A-6-8 INCH, BOTTOM LAYER: 6-8 INCH.
4. AGGREGATE SPECIFICATIONS: WEIGHT 200-400 G/M2, THICKNESS 2-3 MM, PERMEABILITY 0.3-0.4 CM/SEC, TOP LAYER: AASHTO #57 (2B/S), MIDDLE LAYER: A-6-8 INCH, BOTTOM LAYER: 6-8 INCH.

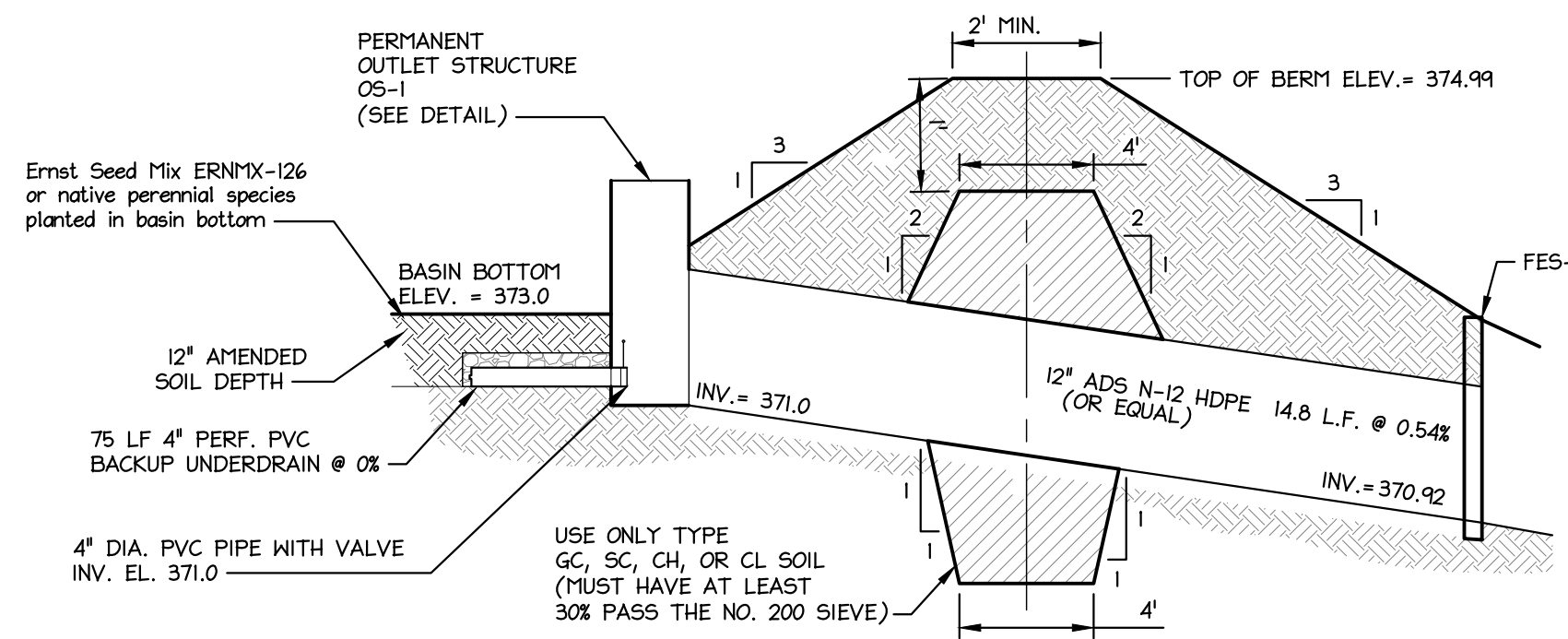
PROJECT TITLE: PROPOSED BUILDING LANGASTER COUNTY MOUNT JOY TOWNSHIP. CLIENT: JAY GARMAN 1287 RISSER MILL ROAD MOUNT JOY, PA 17552. PHONE: 717-721-6795. TEAMAG INC: 120 LAKE STREET EPHRATA, PA 17522. PHONE: 717-721-9275. PROJECT NO.: 5947-23-01. DRAWING: PC-2 (8 OF 9).



1 24' x 24' CATCH BASIN NOT TO SCALE



2 DRIVEWAY WATER BAR DETAIL NOT TO SCALE



GENERAL NOTES

- REMOVE ALL TOPSOIL OVER EMBANKMENT PRIOR TO PLACING FILL.
- THE CORE TRENCH MATERIAL SHALL CONFORM TO THE UNIFIED SOIL CLASSIFICATION GS, SC, CH, OR CL AND MUST HAVE AT LEAST 30% PASSING THE NO. 200 SIEVE.
- PLACE FILL IN 6"-9" LIFTS, THE MAXIMUM PARTICLE SIZE SHALL BE TWO-THIRDS OF THE LIFT THICKNESS.
- EMBANKMENT SHALL BE COMPACTED BY SHEEPSFOOT OR PAD ROLLER.
- THE EMBANKMENT, CORE AND KEY TRENCH SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. A MINIMUM OF FIVE PASSES OF THE COMPACTION EQUIPMENT OVER THE ENTIRE LIFT SURFACE IS REQUIRED.
- ALL JOINTS SHALL BE WATERTIGHT.
- ERNIX-126 FROM ERNST CONSERVATION SEEDS (OR APPROVED EQUAL) IS TO BE PLACED ON BASIN BOTTOM ONLY, THE SIDE SLOPES SHALL BE SEEDED WITH A FORMULA C MIXTURE AS PRESCRIBED IN THE SEEDING NOTES.

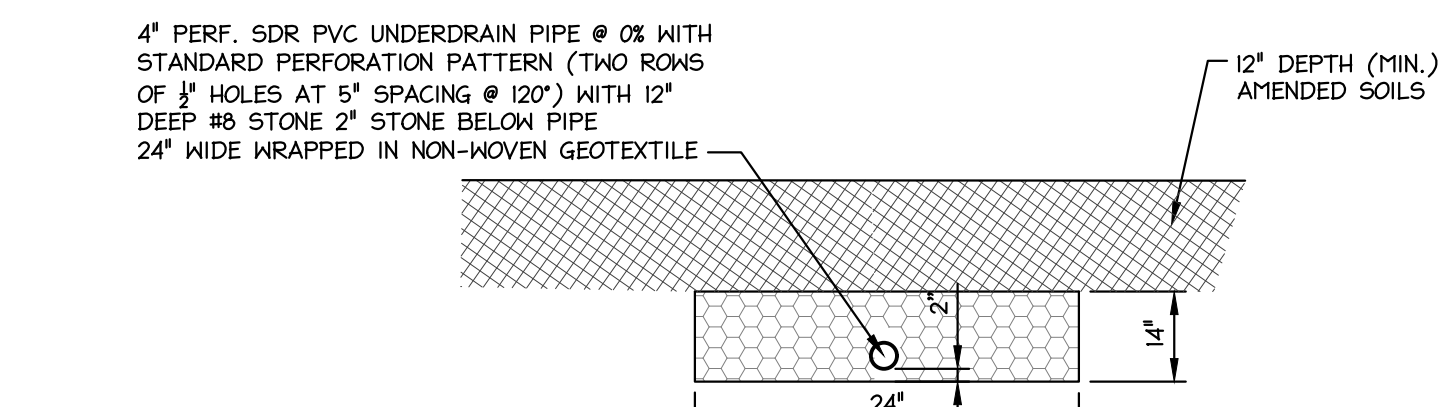
IMPERVIOUS CORE

- THE DIMENSIONS OF THE CORE SHALL PROVIDE A MINIMUM TRENCH DEPTH OF TWO (2) FEET BELOW EXISTING GRADE, MINIMUM WIDTH OF FOUR (4) FEET AND SIDE SLOPE OF 1H:1V OR FLATTER.
- THE CORE SHALL EXTEND FOUR (4) FEET BELOW ANY PIPE PENETRATIONS THROUGH THE IMPERVIOUS CORE.
- THE CORE SHALL BE INSTALLED ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT.

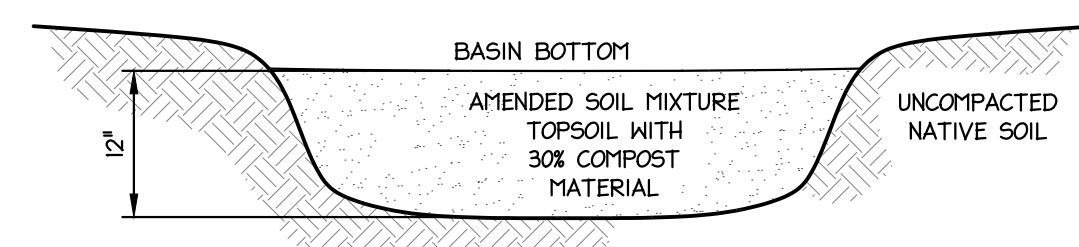
BASIN OUTLET PIPE INSTALLATION

- THE BASIN OUTLET PIPE SHALL BE BACKFILLED WITH CLASS III MATERIALS, SUCH AS SC, ML OR CL, AS DEFINED IN ASTM D2321 AND ASTM D2487. BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY.
- THE BASIN OUTLET PIPE SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

4 PERMANENT INFILTRATION BASIN NOT TO SCALE



7 BACKUP UNDER-DRAIN DETAIL NOT TO SCALE



NOTES

- PROVIDE UNIFORM MIXTURE OF TOPSOIL AND COMPOST AND THOROUGHLY TILL IN 6" LAYERS. TOPSOIL SHOULD BE LOW IN CLAY AND HIGH IN ORGANIC MATTER.
- SOIL MIXTURE SHALL BE PLACED WITH MINIMUM COMPACTION.
- SEED WITH ERNIX-126 OR EQUAL.

MAINTENANCE NOTES

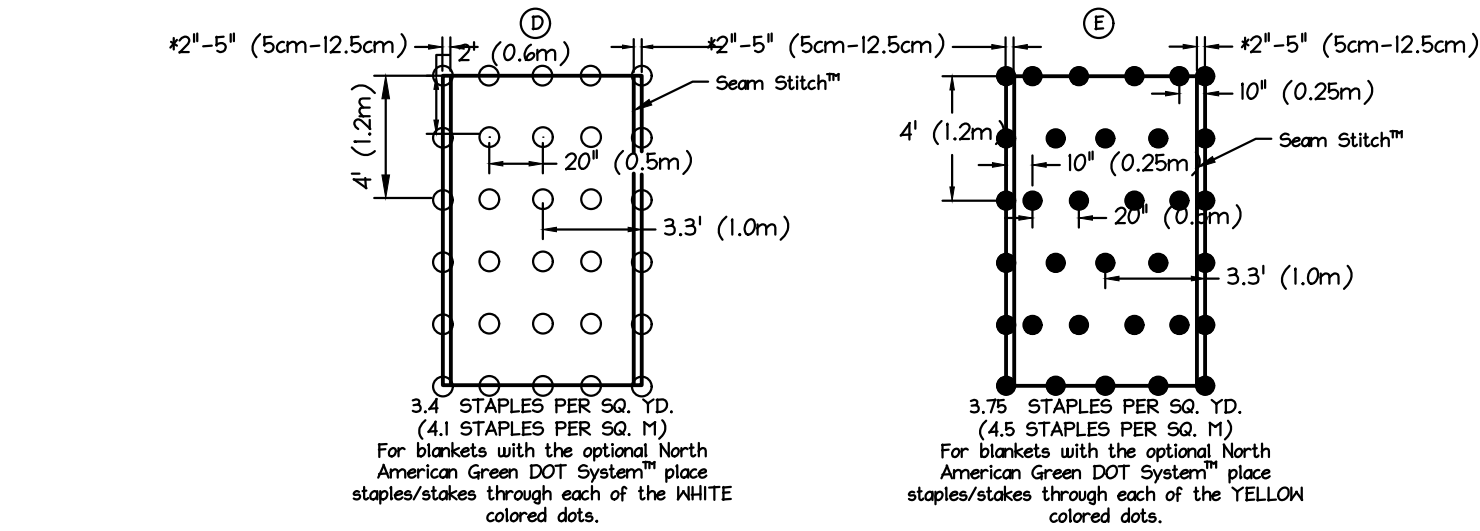
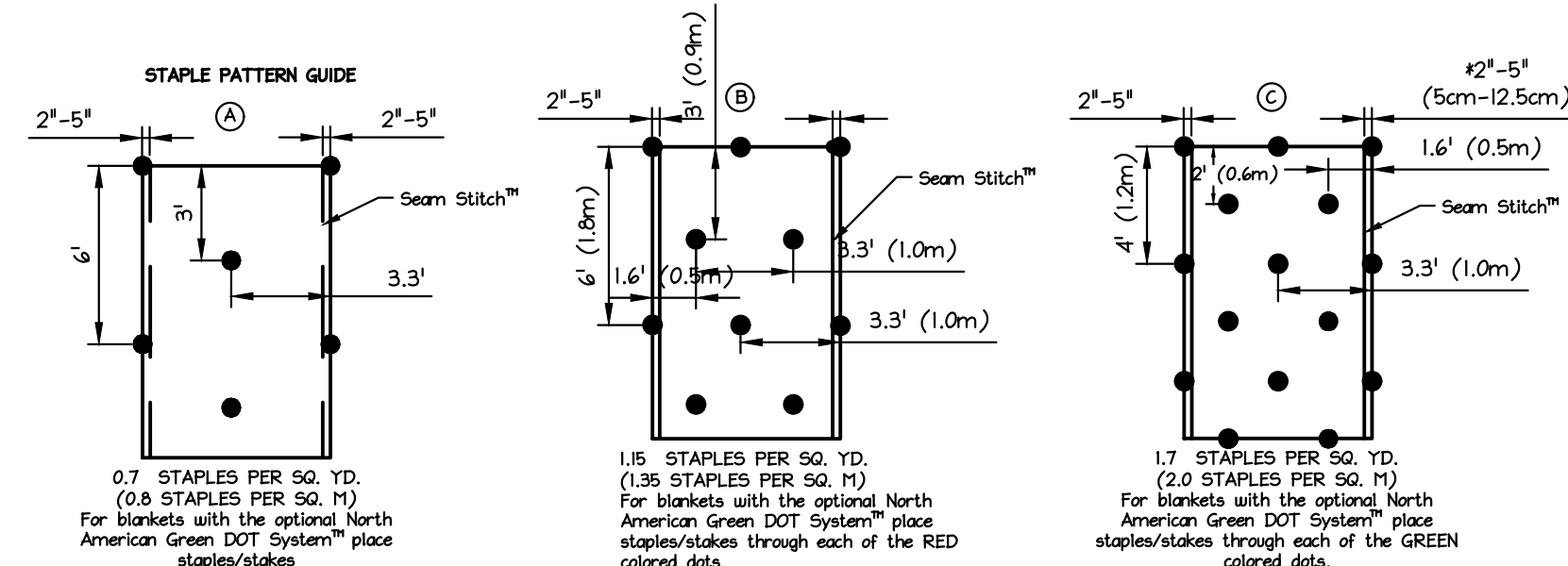
- IF ANY SETTLEMENT OR COMPACTION OCCURS, CHISEL PLOW TO UNCOMPACT SOILS AND RE-ESTABLISH SEED BED. ADD ADDITIONAL AMENDED SOIL IN ANY SETTLED AREAS UP TO GRADE AS NECESSARY.

COMPOST STANDARDS (TABLE 4.2)

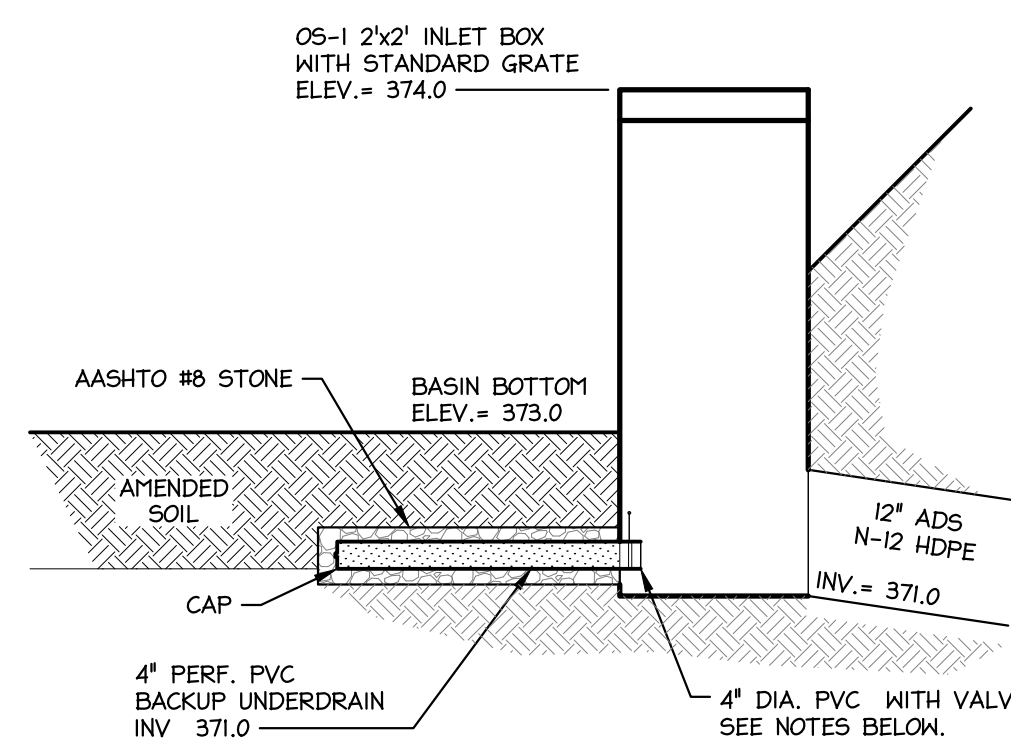
	FILTREX
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

COMPOST MATERIAL MUST BE TESTED AND RESULTS PROVIDED TO THE COUNTY CONSERVATION DISTRICT PRIOR TO PLACEMENT IN THE FIELD.

8 AMENDED SOIL IN BASIN BOTTOM DETAIL NOT TO SCALE



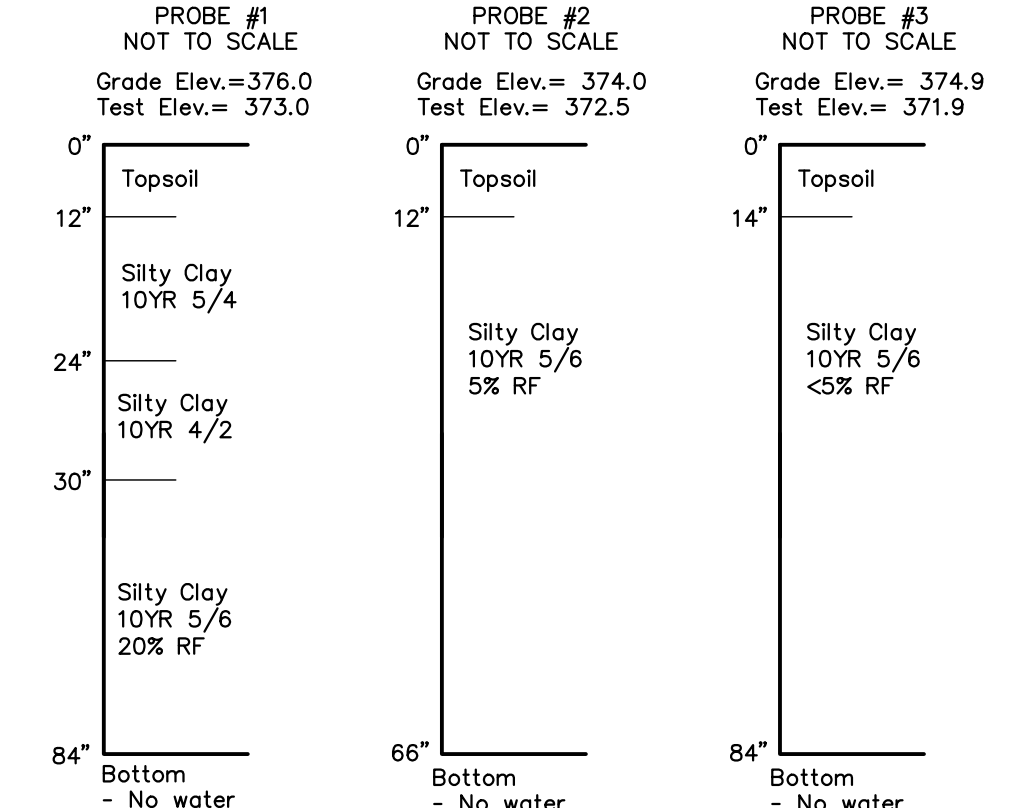
3 STAPLE PATTERN NOT TO SCALE



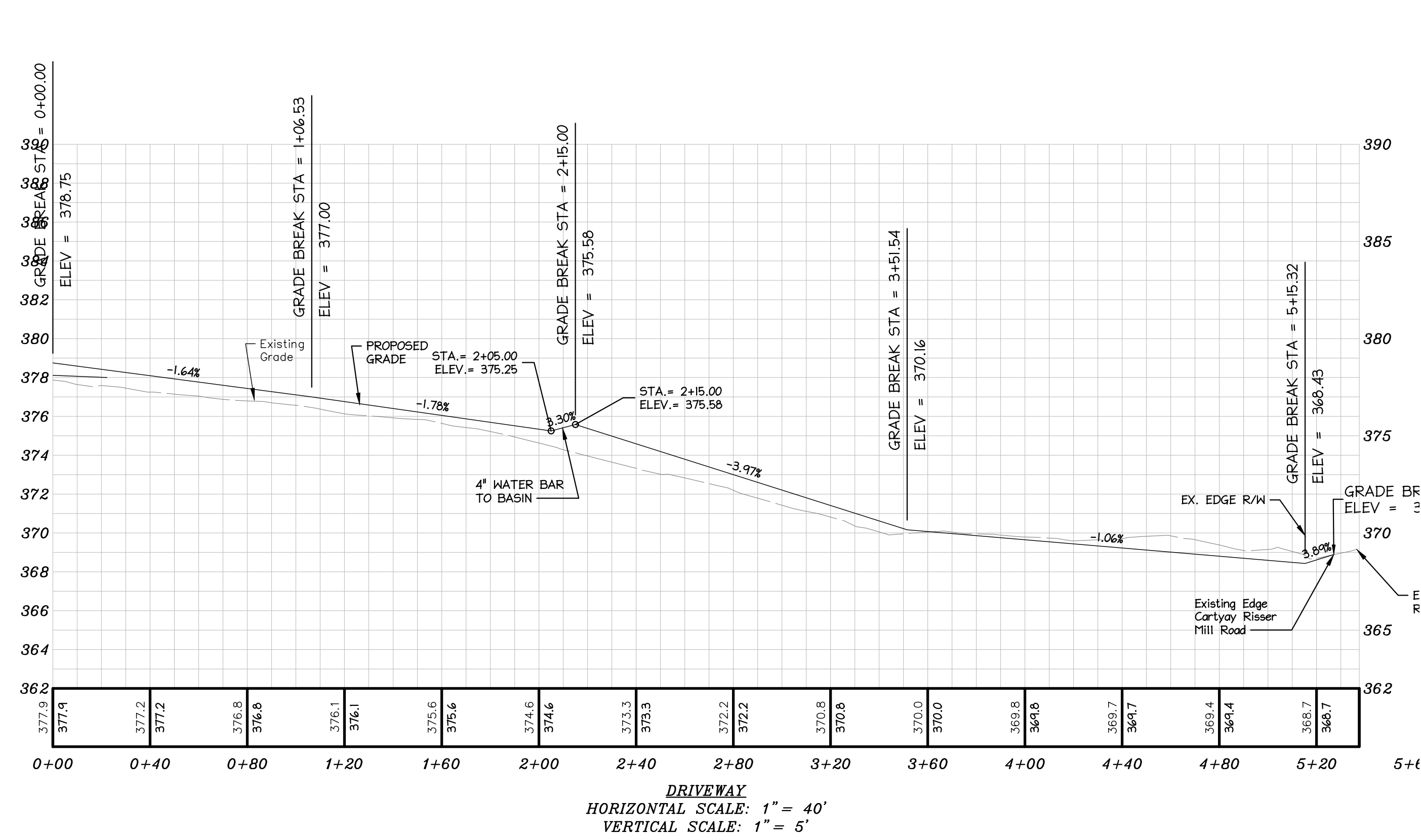
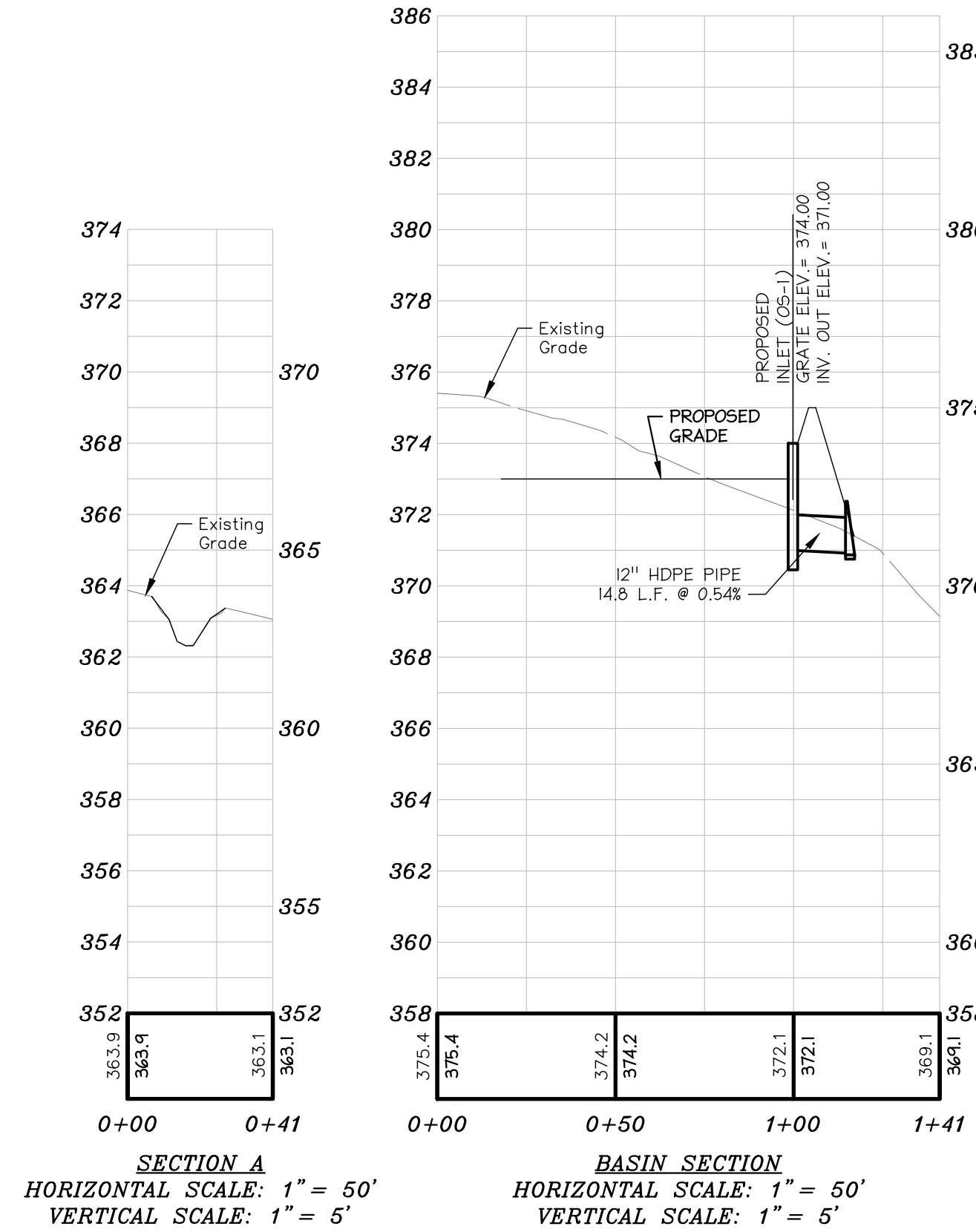
NOTES

- THE VALVE IN THE INFILTRATION BASIN UNDERDRAIN OUTLET STRUCTURE IS TO REMAIN CLOSED DURING NORMAL OPERATION EXCEPT IN EMERGENCY.
- VALVE SHALL BE VALTERRA 6401 4" PVC GATE VALVE OR APPROVED EQUAL. VALTERRA PRODUCTS, LLC (818) 898-1671.
- ALL JOINTS SHALL BE WATERTIGHT.

5 PERMANENT OUTLET STRUCTURE OS-1 DETAIL NOT TO SCALE



6 SOIL PROBE DATA LOGS



REVISION	DATE	BY	PROJECT MANAGER	SEAL
	FEB. 6, 2024	MDM	CAROLAN L. REUBEN	
	APR. 5, 2024	MDM	DESIGN BY: MDM	
			DRAWN BY: MDM/JD	
			DATE: JANUARY 19, 2024	
			PROJECT NO.: 5947-23-01	
<p>120 LAKE STREET EPHRATA, PA 17522 PHONE: 717-721-6795 FAX: 717-721-9275 www.teamaginc.com TeamAg@teamaginc.com</p>				
<p>PROJECT TITLE: PROPOSED BUILDING LANGASTER COUNTY</p> <p>CLIENT: JAY GARMAN 1267 RISSER MILL ROAD MOUNT JOY, PA 17552 717-868-8875</p>				
<p>PCSM DETAILS</p>				
<p>DRAWING: PC-3 (9 OF 9)</p>				

**PROPOSED MOTION FOR THE MINOR LAND DEVELOPMENT PLAN
FOR PROPOSED BUILDING – JAY GARMAN
M.J.T.P.C. File # 24-05-MLDP**

I move that the Township Planning Commission grant approval of the Minor Land Development Plan for Proposed Building – Jay Garman (the “Plan”) prepared by TeamAg, Inc., Drawing No. 5947-23-01, dated January 19, 2024, subject to the following conditions:

(Note: The Planning Commission granted relief at the April 22, 2024 meeting with a waiver of §119-31.A(1), plan scale and a deferral of §119-52.J(3), improvement of existing streets.)

1. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Engineer’s review letter dated April 18, 2024.
2. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Solicitor’s review letter dated February 3, 2024.
3. Applicant shall address and comply with all conditions contained in the Mount Joy Township Zoning Hearing Board (MJTZHB) decision dated September 14, 2024.
4. Applicant shall submit a fully executed Storm Water Management Agreement and Declaration of Easement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
5. Applicant shall submit a fully executed Deferred Road Improvement Agreement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement shall include, but not necessarily limited to, provisions for widening of the property’s frontage along Rissermill Road. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
6. Applicant shall submit a fully executed Land Development Agreement, which shall be acceptable to the Township Solicitor. Said Agreement shall be submitted and approved prior to the release of the final plan for recording.
7. Applicant shall submit financial security to guarantee the proper installation of all improvements associated with this land development project prior to the release of the final plan for recording and shall be in a form acceptable to the Township Solicitor. The amount of said financial security shall be in the amount consistent with the construction cost opinion approved by the Township Engineer.
8. Applicant shall gain approvals from the Township Sewage Enforcement Officer pertaining to a replacement on-lot sewage treatment area.
9. Applicant shall gain approvals and enter into a agreement in a form acceptable to the Township Solicitor pertaining to the proposed holding tank for the commercial business.
10. Applicant shall apply for and obtain all necessary permits prior to commencing any construction activities.

[5/23/2024]

11. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.

**ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A
MINOR LAND DEVELOPMENT PLAN
IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP
FOR**

**PROPOSED BUILDING – JAY GARMAN
M.J.T.P.C. File # 24-05-MLDP**

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on May 29, 2024, upon the approval of the Minor Land Development Plan for Proposed Building – Jay Garman (the “Plan”) prepared by TeamAg, Inc., Drawing No. 5947-23-01, dated January 19, 2024. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer’s agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date: _____

Signature

Printed Name

Title