

November 27, 2023
Revised March 4, 2024

Justin Evans
Community Development Director/Zoning Officer
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

**RE: Cloverleaf Self Storage
Modification/Waiver Request Letter
Mount Joy Township, Lancaster County
Project No. 2023108-001**

Dear Mr. Evans,

Bitner Engineering, LLC, on behalf of Hearthfire Holdings, requests the following waivers of the Mount Joy Township Subdivision and Land Development Ordinance and Roadway Ordinance:

The following modifications have been withdrawn:
SALDO 119-32.A – Sewer/Water Feasibility Report
SWMO 113-32.A(2)(c) – Loading Ratios
SWMO 113-31.L(1) – Limiting Zone

Subdivision and Land Development Ordinance:

SECTION 119-25: SUBMISSION OF A PRELIMINARY PLAN

Requirement:

Submission of a Preliminary Plan.

Requested Relief:

This waiver is being requested to allow for the plan to be processed as a Preliminary/Final Plan.

Justification:

The project will be completed as a single phase, there is no subdivision or new streets proposed. It is requested that the filing and review process be considered as a single preliminary/final plan. All the preliminary and final plan requirements in the Subdivision and Land Development Ordinance will be provided as part of the preliminary/final plan submission, avoiding duplicate review by the Township. It is for the reason stated above that we feel the waiver is justified and meets the intent of the ordinance by providing an equal or better alternative.

SECTION 119-32.C(6): CONTRIBUTION IN LIEU OF TRAFFIC IMPACT STUDY

Requirement:

Contribution in lieu of preparation of the traffic study – the estimated contribution shall be \$1.50 per square foot of usable building floor area in a commercial, industrial, or institutional subdivision or land development.

Requested Relief:

To pay a fee-in-lieu based on the cost to prepare a Traffic Impact Study.

Justification:

This request is to pay the fee-in-lieu based on the cost to prepare a Traffic Impact Study, as an alternative of the \$1.50 per square foot of usable building floor. Enclosed is an estimate of \$5,500 from Traffic Resources Group to prepare a Traffic Impact Study per the requirements of the Subdivision and Land Development Ordinance. Traffic generated from a self-storage facility is minimal and a TIS is typically not warranted.

SECTION 119-31.C(3) – EXISTING FEATURES WITHIN 200’ OF THE SITE

Requirement:

Easements shall have a minimum width of 30 feet and shall be adequately designed to provide area for the collection and discharge of water, the maintenance, repair and reconstruction of the drainage facilities and the passage of machinery for such work.

Requested Relief:

To provide significant features within with 200’ of the site with the exception of the eastern portion of the property.

Justification:

Existing features within a 200-foot radius of the site are shown, excluding the northern and southern regions of the eastern portion of the property. These areas have not proposed improvements, and the plan does not require any offsite impacts in their vicinity.

SECTION 119-56.E – MINIMUM EASEMENT WIDTH

Requirement:

Requires existing features within 200 feet of the site to be shown on the plan.

Requested Relief:

To provide an easement between 15’ and 26’ wide.

Justification:

One corner of Building A in the proposed layout aligns with the northern building setback line, positioned at a distance of 15 feet from the property line. Additionally, a small swale is planned along the northern property boundary, necessitating an easement ranging from 15 to 26 feet in width. The remaining proposed easements will maintain a consistent width of 30 feet.

Stormwater Management Ordinance:

SECTION 113-43.I(5) – EXISTING FEATURES WITHIN 200’ OF THE SITE

Requirement:

All existing man-made features within 200 feet of the development site boundary shall be shown.

Requested Relief:

To provide significant features within with 200’ of the site with the exception of the eastern portion of the property.

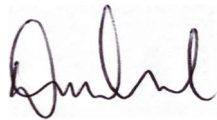
Justification:

Existing features within a 200-foot radius of the site are shown, excluding the northern and southern regions of the eastern portion of the property. These areas have not proposed improvements, and the plan does not require any offsite impacts in their vicinity.

Please do not hesitate to contact me if you have any questions. Thank you for your assistance in this process.

Sincerely,

Bitner Engineering, LLC

A handwritten signature in black ink, appearing to read "David Bitner".

David Bitner, PE
President

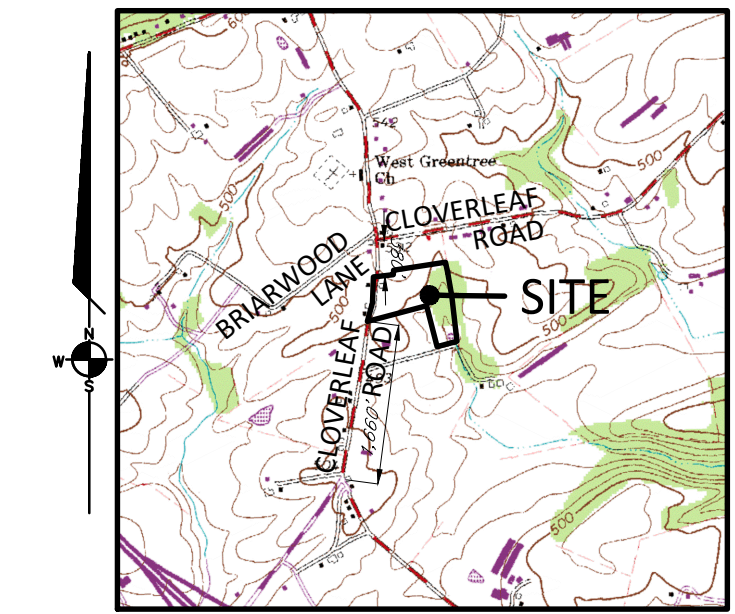
CC: Ben Craddock, Lancaster Civil (via email)

FINAL LAND DEVELOPMENT PLAN

FOR

CLOVERLEAF SELF-STORAGE

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PA



LOCATION MAP
SCALE 1"=2000'

LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. _____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON _____ AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

*
SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVAL CERTIFICATE

AT A MEETING HELD ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

*
SIGNATURES OF THE CHAIRMAN AND VICE CHAIRMAN OF THEIR DESIGNEES

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATE

AT A MEETING HELD ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

*
SIGNATURES OF THE CHAIRMAN AND VICE CHAIRMAN OF THEIR DESIGNEES

CERTIFICATION OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

CERTIFICATION OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

STORMWATER MANAGEMENT CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT REQUIREMENTS OF MOUNT JOY TOWNSHIP.

CARBONATE GEOLOGY CERTIFICATE

I, _____ CERTIFY THAT THE PROPOSED STORMWATER /BMP FACILITIES IS NOT UNDERLAIN BY CARONATE GEOLOGY.

OWNER	
LANCASTER PORTFOLIO I, LLC 535 N MARKET STREET, STE. 105 WEST CHESTER, PA 19380	
SITE ADDRESS	
1444 CLOVERLEAF ROAD MOUNT JOY, PA 17552	
SOURCE OF TITLE	
DOCUMENT ID	6578969
TAX ACCOUNT	461-40563-0-0000
SUBDIVISION PLAN	J-048-019
SUBDIVISION PLAN	J-068-050
SUBDIVISION PLAN	J-218-087

PREVIOUS PLAN APPROVALS:
1. FINAL LAND DEVELOPMENT PLAN BRANDT MIN-STORAGE, RECORDED ON DECEMBER 12, 2003 AS SUBDIVISION PLAN BOOK J-218-087.

*
DESIGN PROFESSIONAL

EXPECTED PROJECT SCHEDULE:
FALL 2024-FALL/WINTER 2024/2025

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION (CORPORATE)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED _____ OFFICER, PERSONALLY APPEARED _____, BEING* _____ OF _____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE *** _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES, THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY DEDICATED TO THE PUBLIC USE - (EXCEPTING THOSE AREA LABELED "NOT FOR DEDICATION").

MY COMMISSION EXPIRES _____, 20____

* INDIVIDUAL'S TITLE
** NAME OF CORPORATION
*** IDENTIFY OWNERSHIP OR EQUITABLE OWNERSHIP
**** SIGNATURE OF INDIVIDUAL
***** CORPORATE SEAL
***** SIGNATURE AND SEAL OF NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ACKNOWLEDGE DEEDS.

STORMWATER FACILITY CERTIFICATE

I, _____, ACKNOWLEDGE THAT THE STORMWATER FACILITIES ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY MOUNT JOY TOWNSHIP.

SIGNATURE OF THE DESIGNEE

ZONING/SITE DATA			
TOTAL SITE ACREAGE	10.41 AC. (GROSS); 10.08 AC. (NET)		
EXISTING LAND USE:	COMMERCIAL/MINIWAREHOUSE - 132 EXISTING UNITS		
PROPOSED LAND USE:	COMMERCIAL/MINIWAREHOUSE - 260 UNITS (PROPOSED)		
ZONING DISTRICT:	LIGHT INDUSTRIAL		
TOTAL NO. OF LOTS:	1		
UNITS OF OCCUPANCY:	1 (OFFICE BUILDING)		
DENSITY (TOTAL SQUARE FEET OF BUILDING AREA):	4,758 SF/ACRE		
WATER:	ON-LOT		
SEWER:	ON-LOT		
	REQUIRED	PROPOSED	
LOT AREA:	1 AC. MIN.	10.41 AC. (GROSS); 10.08 AC. (NET)	
LOT WIDTH:	150 FT. MIN.	423 FT.	
LOT DEPTH:	125 FT. MIN.	723 FT.	
FRONT YARD BUILDING SETBACK:	40 FT. MIN.	40 FT.	
REAR YARD BUILDING SETBACK:	30 FT. MIN.	30 FT.	
SIDE YARD BUILDING SETBACK:	15 FT. MIN.	15 FT.	
BUILDING HEIGHT:	20* FT. MIN., 35 FT. MAX.	BLDG. A - 24 FT. MAX. BLDG. B - 22 FT. MAX. BLDG. C - 13 FT. MAX. BLDG. D - 12 FT. MAX. BLDG. E - 17 FT. MAX.	
BUILDING AREA:	8,000 SF MAX. (EACH)	±20,500 SF. MAX*	
MIN. BUILDING SEPARATION:	26 FT.	30 FT.	
OFF-STREET PARKING, LOADING AREAS AND OUTDOOR STORAGE SETBACKS:			
FRONT YARD:	15 FT.	15 FT. MIN.	
REAR YARD:	30 FT.	30 FT. MIN.	
SIDE YARD:	15 FT.	15 FT. MIN.	
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE	60% MAX.	5.6%	10.92% (49,530 SF)
IMPERVIOUS COVERAGE	70% MAX.	22.17%	27.52% (124,790 SF)

*VARIANCE APPROVED FOR MIN. BUILDING AREA AND MIN. BUILDING HEIGHT

PARKING CALCULATION:
1 PARKING SPACE PER 25 UNITS, PLUS 1 SPACE PER 250 SF OF OFFICE AREA
132 EXISTING UNITS / 25 = 6 SPACES
260 PROPOSED UNITS / 25 = 11 SPACES
2,888 SF OFFICE SPACE / 250 SF = 12 SPACES
TOTAL SPACES REQUIRED = 29
TOTAL SPACES PROVIDED: 29



DATE: 01/20/21
SERIAL NO. 20210202837
BY: BSS

UTILITY LIST:
BUCKEYE PARTNERS
FIVE TEK PARK
9999 HAMILTON BLVD.
BREININGVILLE, PA 18031

CENTURYLINK
122 BALTIMORE STREET
PO BOX 896
HANOVER, PA 17331

MOUNT JOY TOWNSHIP
159 MERITS DRIVE
ELIZABETHTOWN, PA 17022

PPL ELECTRIC UTILITIES
503 NEW MARKET ST.
WILKES BARRE, PA 18702

LGI UTILITIES INC
1301 AIP DRIVE
MIDDLETOWN, PA 17057

SHEET LIST TABLE	
SHEET TITLE	SHEET NO.
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*ALL PLAN SHEETS ARE TO BE RECORDED.

REQUESTED WAIVERS/DEFERRALS:
THE FOLLOWING WAIVERS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE REQUESTED:

- SECTION 119-25- REQUEST RELIEF FROM THE SUBMISSION OF A PRELIMINARY PLAN
ACTION: APPROVED DATE: 1/22/24
- SECTION 119-32.C(6)- CONTRIBUTION IN LIEU OF TRAFFIC IMPACT STUDY
ACTION: APPROVED DATE: 1/22/24
- SECTION 119-31.C(3) - EXISTING FEATURES WITHIN 200' OF SITE
ACTION: _____ DATE: _____
- SECTION 119-56.E - MINIMUM EASEMENT WIDTH (30')
ACTION: _____ DATE: _____

THE FOLLOWING WAIVERS OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE ARE REQUESTED:

- SECTION 113-43.(5) - EXISTING FEATURES WITHIN 200' OF SITE
ACTION: _____ DATE: _____

ZONING APPROVALS:
THE FOLLOWING SPECIAL EXCEPTION/VARIANCES OF THE MOUNT JOY TOWNSHIP ZONING ORDINANCE WERE APPROVED BY THE ZONING HEARING BOARD AT THEIR MEETING ON JULY 5, 2023:

- SECTION 135-163.D - SPECIAL EXCEPTION TO MODIFY PRIOR SPECIAL EXCEPTION APPROVALS TO DEVELOP A MINIWAREHOUSE FACILITY
- SECTION 135-245.F - EXCEED MAXIMUM BUILDING AREA
- SECTION 135-165(A)(1) - MINIMUM BUILDING HEIGHT

NO.	DATE	REVISION
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
1	2/23/24	PER LCDD COMMENTS

MANAGER:	DAVID BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	DWB
SURV. CHIEF:	TRIMBLE
DATE:	11/27/2023

CLIENT:	HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687
SCALE:	N/A

Bitner Engineering
711 Speedwell Forge Rd • Lititz, PA 17543
717.368.1169 • dave@bitnerengineering.com

TITLE
FINAL PLAN FOR
CLOVERLEAF SELF-STORAGE
COVER SHEET
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA



- LEGEND:**
- Contour
 - MH Manhole (Sanitary)
 - Sign
 - Utility Pole (w/ Guy Wire)
 - LP Light Pole
 - Edge of Macadam
 - Concrete Curb
 - Storm Line
 - Gas Line
 - Sanitary Line
 - Water Line
 - Underground Electric
 - Fence
 - Down Spout
 - Benchmark
 - Deciduous Tree
 - Coniferous Tree
 - Wetlands
 - Existing Features To be Removed
 - Existing Soils
 - △ TP-5 Infiltration Test Pit Location
 - Existing Lot Pin
 - Existing Lot Pin To Be Set

Slopes Table

Number	Minimum Slope	Maximum Slope	Color	Area
1	15.00%	25.00%	■	52,573S.F.
2	25.00%	469.07%	■	44,816S.F.

SOIL LEGEND

SYMBOL	NAME	SLOPE	HYDRO GROUP
BUC	BUCKS SILT LOAM	8-15%	B
LaB	LANSDALE LOAM	3-8%	B
LaC	LANSDALE LOAM	8-15%	B

MANAGER: DAVID BITNER, PE	DESIGN BY: DWB	DRAWN BY: DWB	SURV. CHIEF: TRIMBLE	DATE: 11/27/2023	NO. DATE	PER TOWNSHIP ENGINEER COMMENTS	PER LCDD COMMENTS
CLIENT				SCALE			
HEARTHIRE HOLDINGS				1"=50'			
239 E. MARKET STREET, STE 102				1"=150'			
WEST CHESTER, PA 19382				0' 25' 50' 100' 150' 200'			
717-884-4687				0' 25' 50' 100' 150' 200'			
Bitner Engineering				711 Speedwell Forge Rd • Lititz, PA 17543			
717.368.1169 • dave@bitnerengineering.com				LANCASTER COUNTY, PA			
TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE EXISTING CONDITIONS AND DEMOLITION PLAN MOUNT JOY TOWNSHIP							
SHEET NO. 3 OF 20				JOB NO. 2023108-001			

LEGEND

MIN. BUILD. SETBACK LINE	
CURB	
BUILDING	
PROPOSED TREE LINE	
FENCE	
PROPOSED EASEMENT	
CONCRETE	
BITUMINOUS PAVEMENT	
LOT PIN	
MONUMENT	





LEGEND

STORMWATER EASEMENT

CONSERVATION EASEMENT

PROPOSED

PROPOSED CONSERVATION EASEMENT LINE DATA

LINE	BEARING	LENGTH
CE-1	S74°53'10"W	96.48
CE-2	N69°06'55"W	39.12
CE-3	N30°24'22"W	45.46
CE-4	S75°44'01"W	72.17
CE-5	N14°15'59"W	322.48
CE-6	N70°37'33"E	45.25
CE-7	N19°22'27"W	37.09
CE-8	N75°44'01"E	16.77
CE-9	N14°15'59"W	199.31
CE-10	N44°42'59"E	58.59
CE-11	N17°11'35"W	95.36
CE-12	N11°23'48"E	100.22
CE-13	N81°02'00"E	146.17
CE-14	S0°28'14"E	38.00
CE-15	S17°42'11"W	66.70
CE-16	S74°09'08"W	42.43
CE-17	S33°34'25"W	51.27
CE-18	S13°07'08"E	86.73
CE-19	S31°33'45"E	137.37
CE-20	S34°59'43"E	43.23

PROPOSED CONSERVATION EASEMENT LINE DATA

LINE	BEARING	LENGTH
CE-21	N82°19'14"E	51.29
CE-22	S6°25'01"E	440.68

PROPOSED STORMWATER DRAINAGE EASEMENT LINE DATA

LINE	BEARING	LENGTH
SE-1	S74°57'56"W	298.87
SE-2	N15°06'17"W	121.35
SE-3	N74°53'43"E	30.00
SE-4	S15°06'17"E	87.35
SE-5	N74°53'43"E	180.00
SE-6	N15°06'17"W	10.00
SE-7	S74°53'43"W	16.00
SE-8	N15°06'17"W	171.88
SE-9	N16°20'52"W	68.97
SE-10	N38°01'48"W	27.54
SE-11	N15°10'50"W	106.37
SE-12	S74°49'10"W	107.00
SE-13	N15°10'50"W	26.86
SE-14	N81°02'03"E	137.81
SE-15	S15°10'50"E	112.26
SE-16	S38°01'48"E	27.22
SE-17	S16°20'52"E	75.04
SE-18	S15°06'17"E	44.95
SE-19	N74°54'06"E	51.93
SE-20	N25°36'19"E	11.64

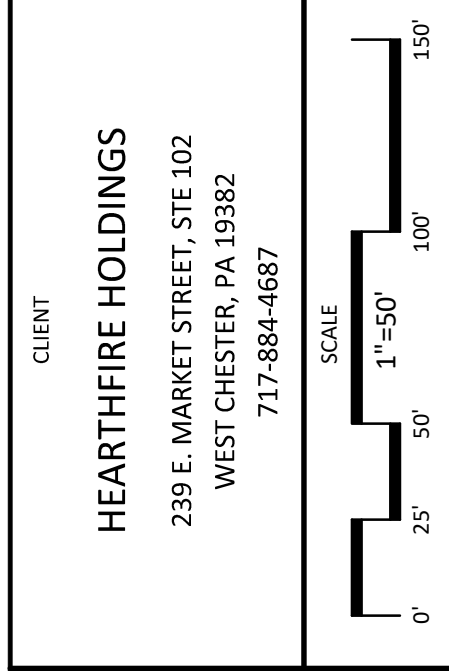
PROPOSED STORMWATER DRAINAGE EASEMENT LINE DATA

LINE	BEARING	LENGTH
SE-21	N48°27'10"E	25.24
SE-22	N65°42'10"E	30.86
SE-23	S86°24'04"E	24.90
SE-24	S14°15'59"E	199.31
SE-25	S75°44'01"W	16.77
SE-26	S19°22'27"E	37.09
SE-27	S70°37'33"W	45.25
SE-28	N14°15'59"W	50.78

NO.	DATE	REVISION
1	2/23/24	PER LCCD COMMENTS
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS

MANAGER:	DAVID BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	DWB
DATE:	11/27/2023

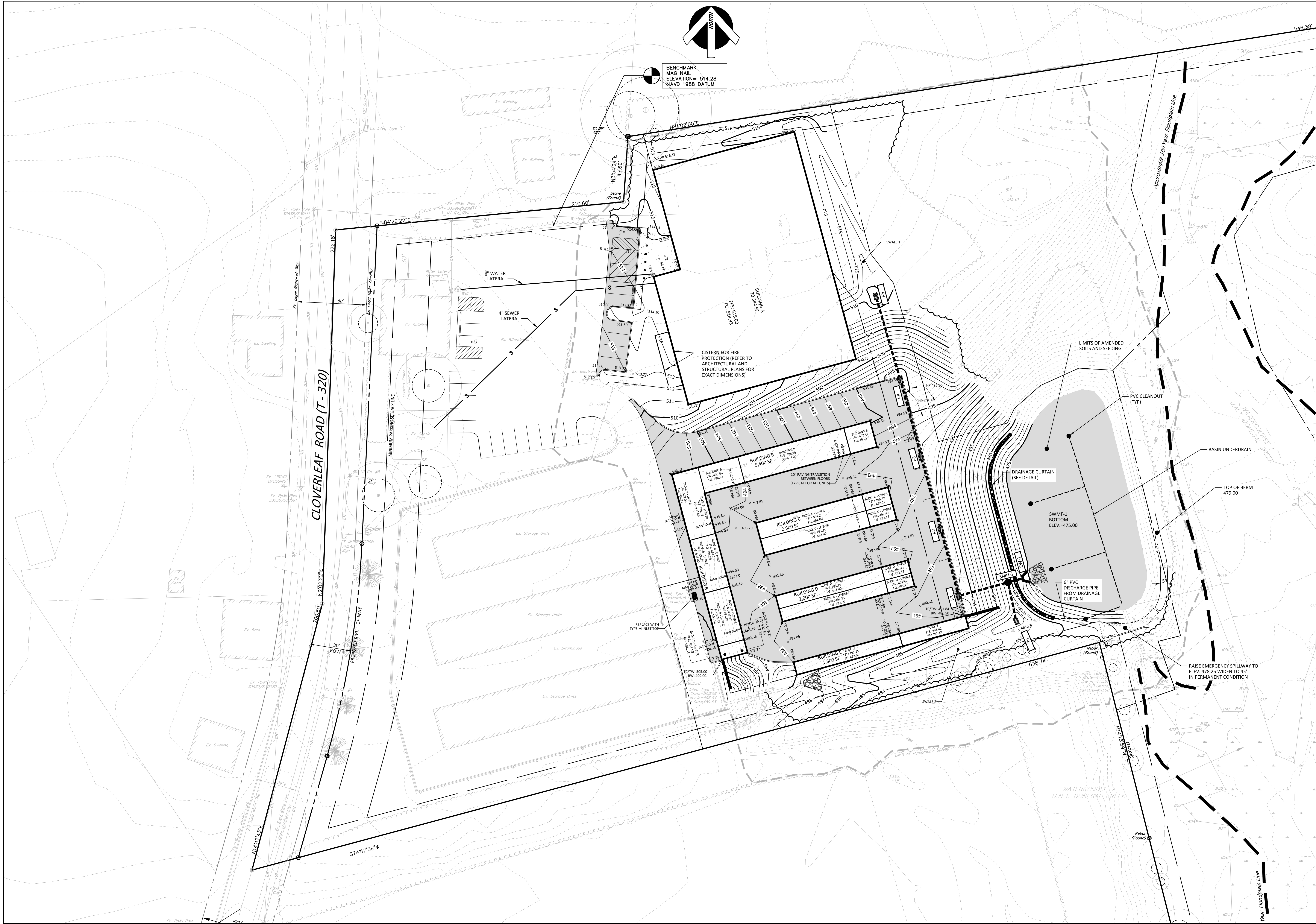
CLIENT:	HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717.884.4687
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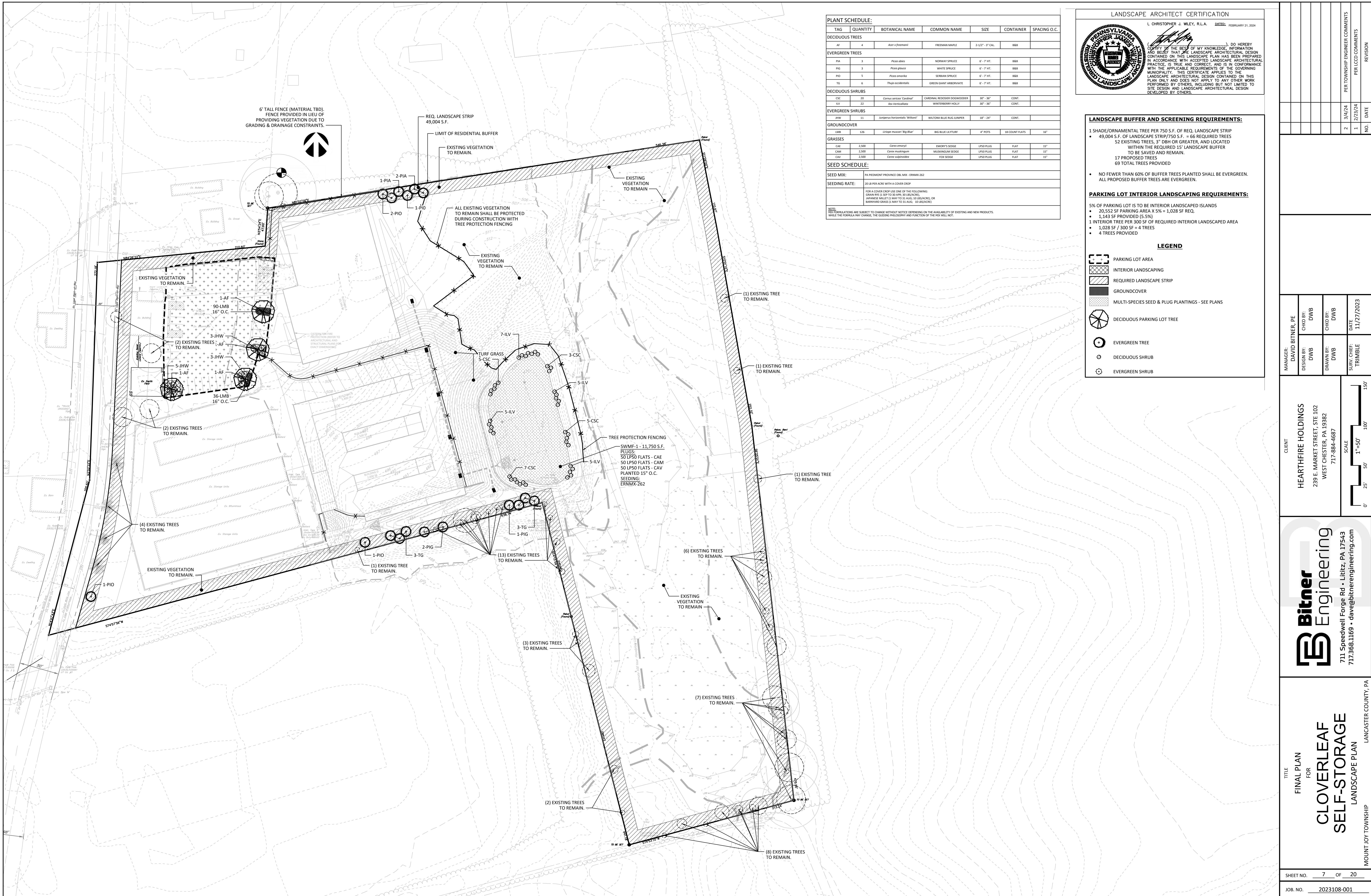
Bitner Engineering
711 Speedwell Forge Rd • Lititz, PA 17543
717.368.1169 • dave@bitnerengineering.com

TITLE
FINAL PLAN FOR
CLOVERLEAF SELF-STORAGE
EASEMENT PLAN
MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

SHEET NO. 5 OF 20
JOB NO. 2023108-001



CLIENT HEARTFIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687		MANAGER: DAVID BITNER, PE DESIGN BY: DWB DRAWN BY: DWB SURV. CHIEF: TRIMBLE		CHGD BY: DWB CHGD BY: DWB DATE: 11/27/2023	
TITLE FINAL PLAN FOR CLOVERLEAF SELF-STORAGE GRADING PLAN MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA		SCALE 1" = 30' 0' 15' 30' 60' 90'		REVISION NO. DATE PER TOWNSHIP ENGINEER COMMENTS PER LCD COMMENTS 2 3/4/24 1 2/23/24	
SHEET NO. 6 OF 20 JOB NO. 2023108-001					



PLANT SCHEDULE:

TAG	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING O.C.
DECIDUOUS TREES						
PIA	4	<i>Acer Fraxinifolium</i>	FREEMAN MAPLE	2-1/2" - 3" CAL.	8.8B	
EVERGREEN TREES						
PIA	3	<i>Picea abies</i>	NORWAY SPRUCE	6" - 7" HT.	8.8B	
PIG	3	<i>Picea glauca</i>	WHITE SPRUCE	6" - 7" HT.	8.8B	
PIO	5	<i>Picea omorika</i>	SERBIAN SPRUCE	6" - 7" HT.	8.8B	
TI	6	<i>Thuja occidentalis</i>	GREEN GUANT ARBORVITAE	6" - 7" HT.	8.8B	
DECIDUOUS SHRUBS						
CSC	20	<i>Cornus sericea 'Variegata'</i>	CARDINAL RECOVER DOGWOOD	30" - 36"	CONT.	
ILV	22	<i>Ilex verticillata</i>	WINTERBERRY HOLLY	30" - 36"	CONT.	
EVERGREEN SHRUBS						
JHW	11	<i>Juniperus horizontalis 'Wilton'</i>	WILTON BLUE RUG JUNIPER	18" - 24"	CONT.	
GROUND COVER						
LMB	120	<i>Limpodium 'Big Blue'</i>	BIG BLUE LILYTURF	4" POTS	18 COUNT PLANTS	10"
GRASSES						
CAE	2,500	<i>Carex eriopoda</i>	EMORY'S SEDGE	LP50 PLUG	FLAT	15"
CAM	2,500	<i>Carex muskingumensis</i>	MUSKINGUM SEDGE	LP50 PLUG	FLAT	15"
CAV	2,500	<i>Carex vaginiflora</i>	FOX SEDGE	LP50 PLUG	FLAT	15"
SEED SCHEDULE:						
SEED MIX:	PA PIEDMONT PROVINCE OEL MIX - ERNMIX-262					
SEEDING RATE:	20 LB PER ACRE WITH A COVER CROP					
NOTE: FOR A COVER CROP USE ONE OF THE FOLLOWING: CHINESE WHEAT (1 TON TO 30 ACRE, 30 LB/ACRE), JAPANESE WHEAT (1 TON TO 35 ACRE, 30 LB/ACRE), OR BARNYARD GRASS (1 TON TO 35 ACRE, 30 LB/ACRE)						
NOTE: PLANTING SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE DEPENDING ON THE AVAILABILITY OF EXISTING AND NEW PRODUCTS. WHILE THE SCHEDULES MAY CHANGE, THE QUANTITY AND FUNCTION OF THE MIX WILL NOT.						

LANDSCAPE ARCHITECT CERTIFICATION
 I, CHRISTOPHER J. WILEY, R.L.A. FEBRUARY 21, 2024

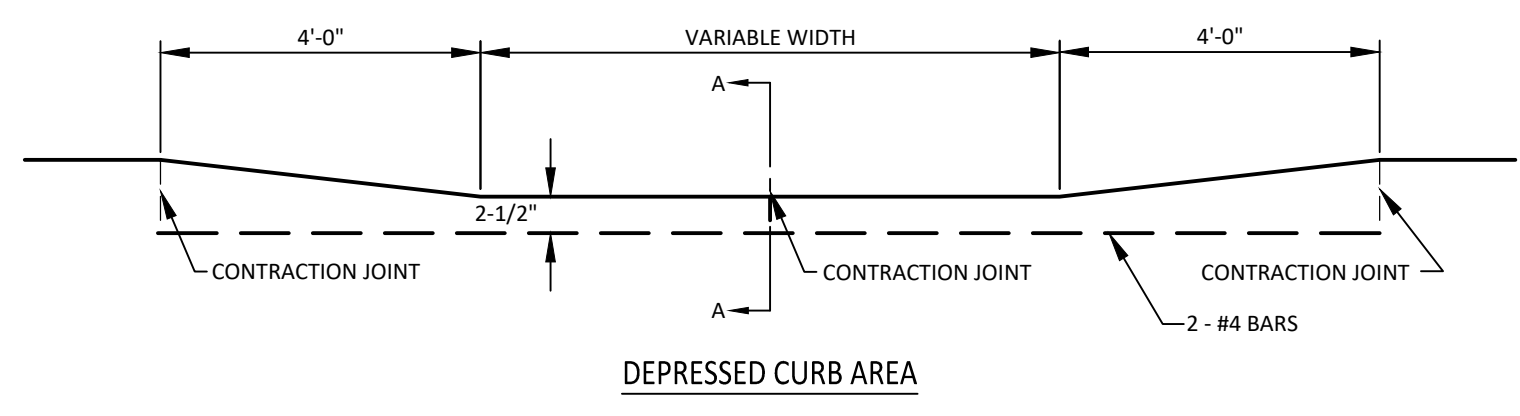
I, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE LANDSCAPE ARCHITECTURAL DESIGN CONTAINED ON THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED LANDSCAPE ARCHITECTURAL PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE APPLICABLE REQUIREMENTS OF THE GOVERNING MUNICIPALITY. THIS CERTIFICATE APPLIES TO THE LANDSCAPE ARCHITECTURAL DESIGN CONTAINED ON THIS PLAN ONLY AND DOES NOT APPLY TO ANY OTHER WORK PERFORMED BY OTHERS, INCLUDING BUT NOT LIMITED TO SITE DESIGN AND LANDSCAPE ARCHITECTURAL DESIGN DEVELOPED BY OTHERS.

- LANDSCAPE BUFFER AND SCREENING REQUIREMENTS:**
- 1 SHADE/ORNAMENTAL TREE PER 750 S.F. OF REQ. LANDSCAPE STRIP
 - 49,004 S.F. OF LANDSCAPE STRIP/750 S.F. = 66 REQUIRED TREES
 - 52 EXISTING TREES, 3" DBH OR GREATER, AND LOCATED WITHIN THE REQUIRED 15' LANDSCAPE BUFFER TO BE SAVED AND REMAIN.
 - 17 PROPOSED TREES
 - 69 TOTAL TREES PROVIDED
- NO FEWER THAN 60% OF BUFFER TREES PLANTED SHALL BE EVERGREEN. ALL PROPOSED BUFFER TREES ARE EVERGREEN.
- PARKING LOT INTERIOR LANDSCAPING REQUIREMENTS:**
- 5% OF PARKING LOT IS TO BE INTERIOR LANDSCAPED ISLANDS
 - 20,552 SF PARKING AREA X 5% = 1,028 SF REQ.
 - 1,143 SF PROVIDED (5.5%)
 - 1 INTERIOR TREE PER 300 SF OF REQUIRED INTERIOR LANDSCAPED AREA
 - 1,028 SF / 300 SF = 4 TREES
 - 4 TREES PROVIDED

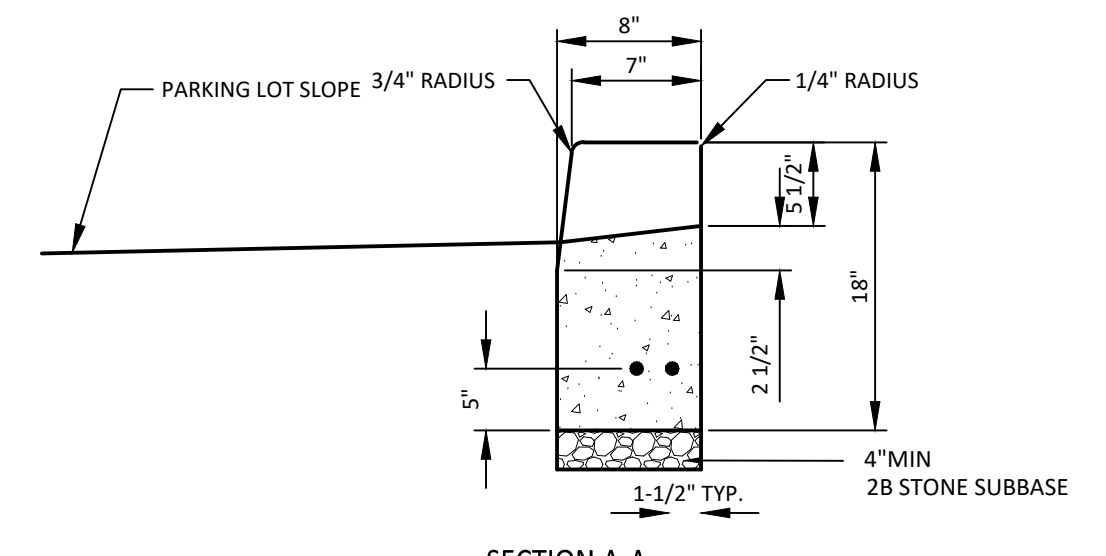
LEGEND

- PARKING LOT AREA
- INTERIOR LANDSCAPING
- REQUIRED LANDSCAPE STRIP
- GROUND COVER
- MULTI-SPECIES SEED & PLUG PLANTINGS - SEE PLANS
- DECIDUOUS PARKING LOT TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB

MANAGER: DAVID BITNER, PE	CHD BY: DWB	DATE: 11/27/2023
DESIGN BY: DWB	CHD BY: DWB	TRIMBLE
DRAWN BY: DWB	DATE: 11/27/2023	
<p>CLIENT: HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687</p>		
<p>SCALE: 1"=50' 0' 25' 50' 100' 150'</p>		
<p>Bitner Engineering 711 Speedwell Forge Rd • Lititz, PA 17543 717.368.1169 • dave@bitnerengineering.com</p>		
<p>TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE LANDSCAPE PLAN MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA</p>		
<p>SHEET NO. 7 OF 20 JOB NO. 2023108-001</p>		



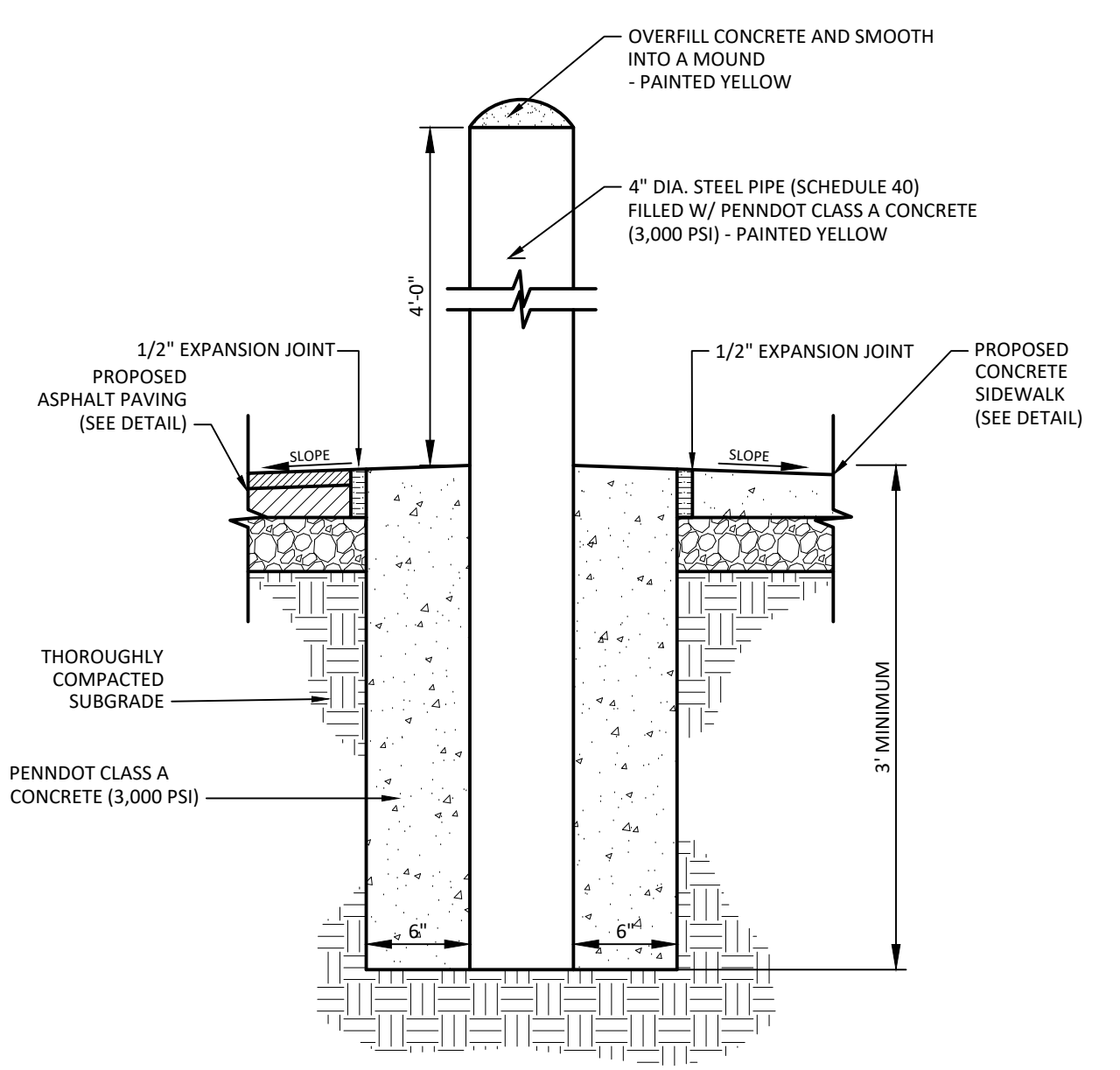
DEPRESSED CURB AREA



SECTION A-A

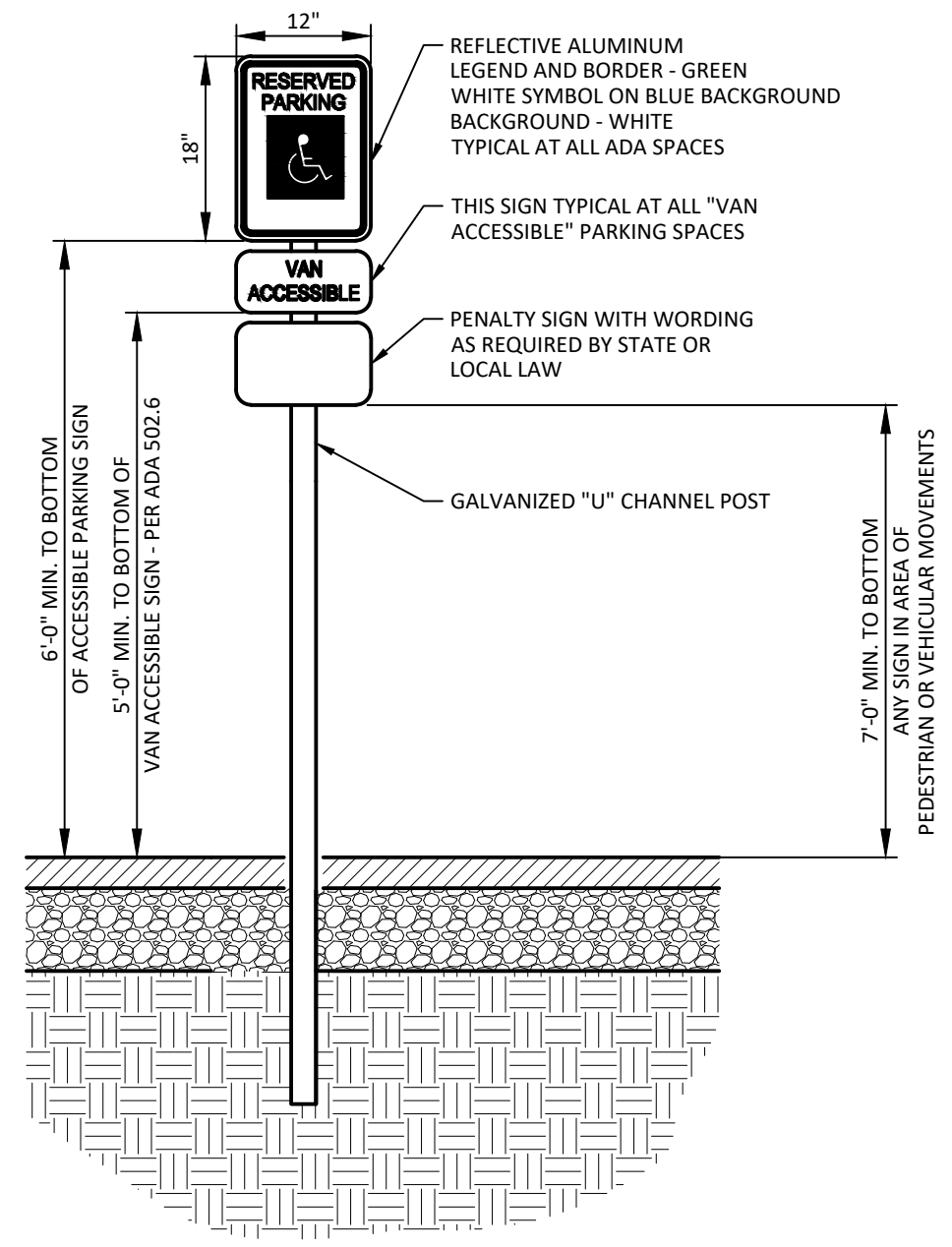
DEPRESSED CURB

NO SCALE



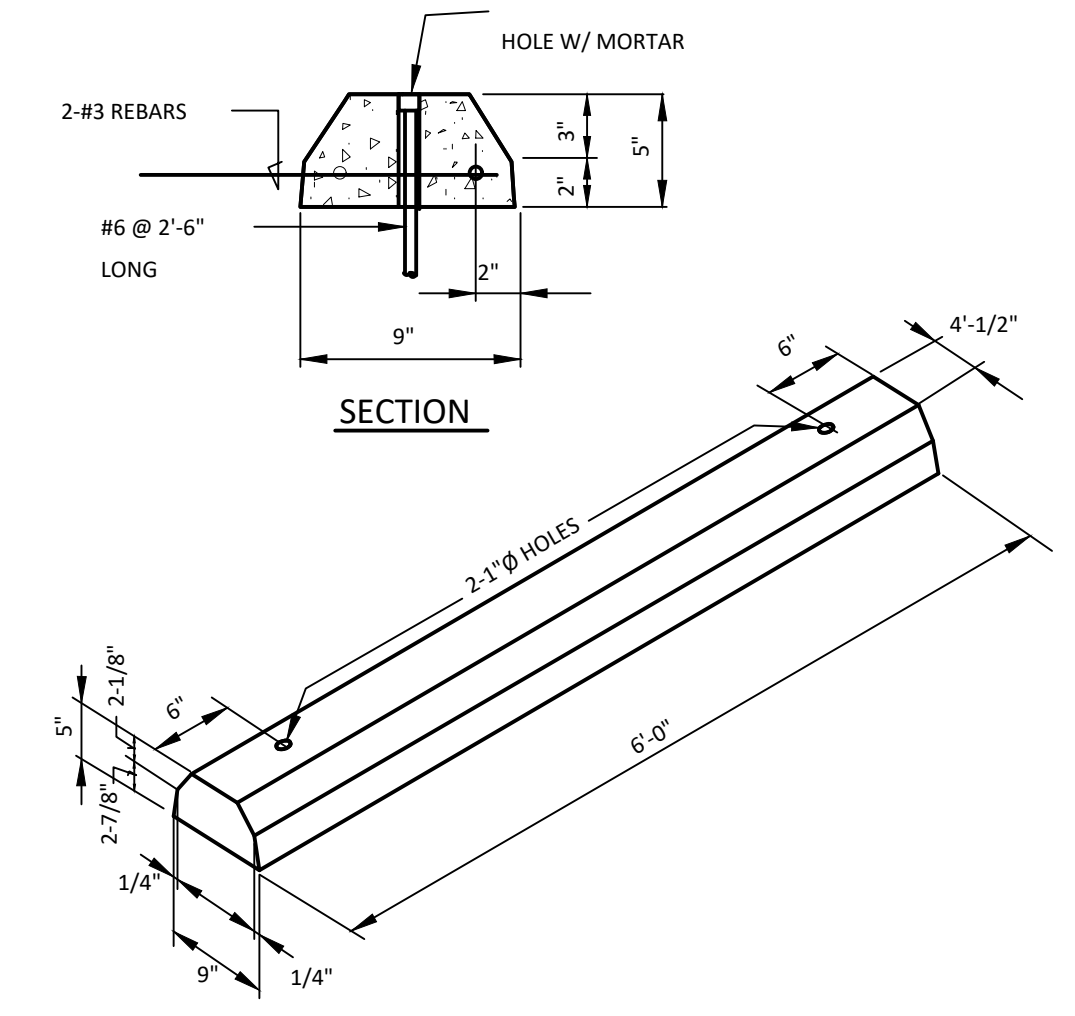
CONCRETE FILLED PIPE BOLLARD

NO SCALE



ACCESSIBLE PARKING SIGN

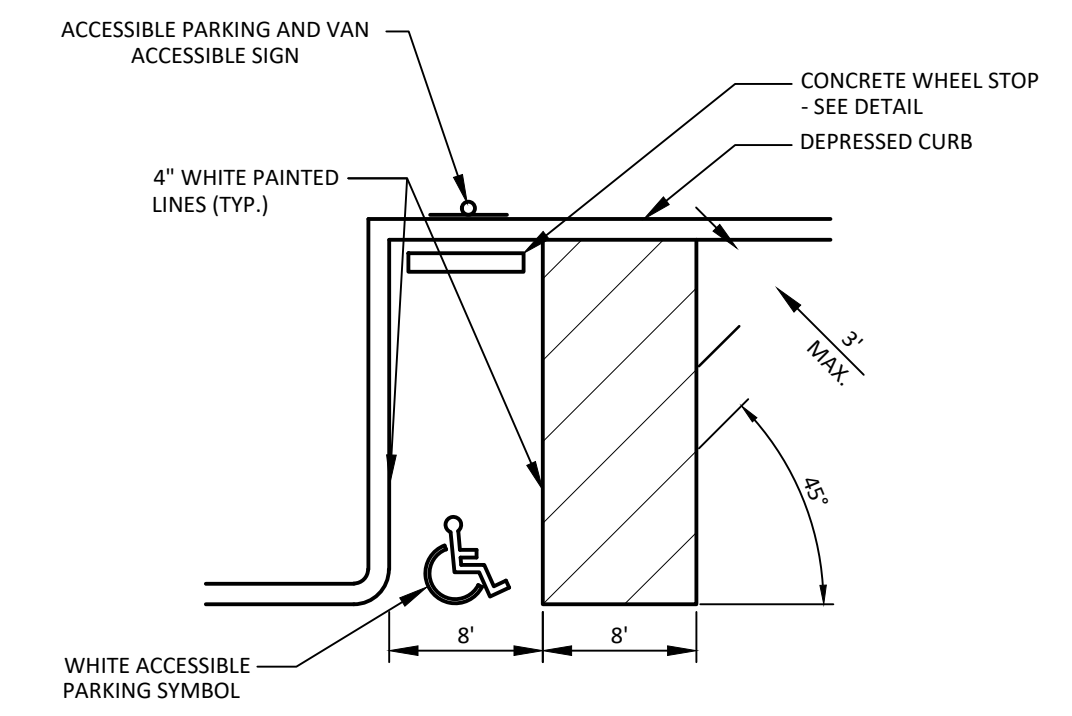
NO SCALE



PRECAST CONCRETE WHEEL STOP

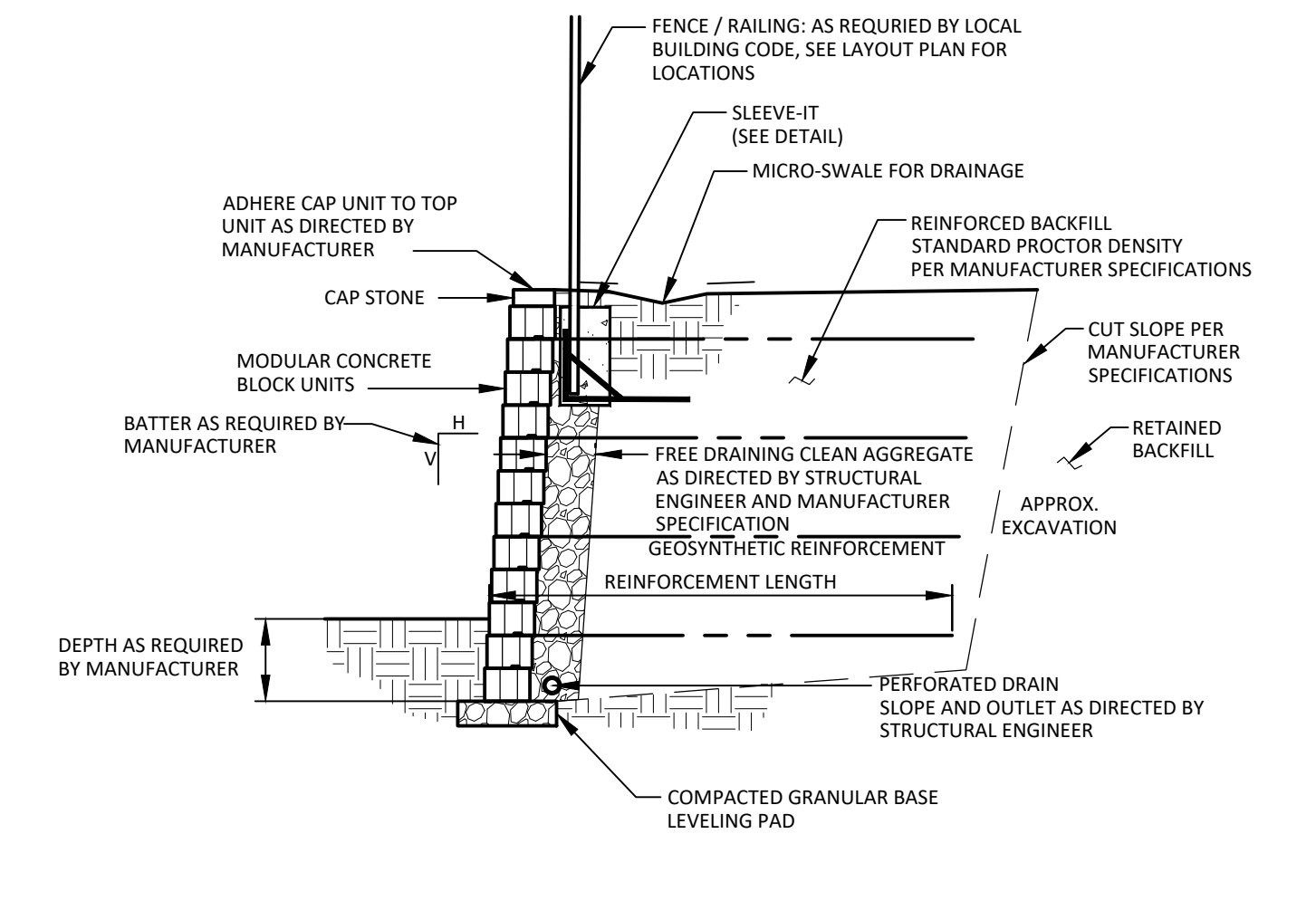
NO SCALE

- NOTES:
1. ALL PAINTED LINES FOR ACCESSIBLE PARKING SPACES SHALL BE WHITE 4" WIDE LINES.
 2. CROSSHATCHING IN THE ACCESS AISLES SHALL BE 4" WIDE SOLID WHITE LINES. PARKING IS PROHIBITED IN CROSSHATCHED AREAS.
 3. VAN ACCESSIBLE SIGNS, WHEN USED, SHALL BE MOUNTED IMMEDIATELY BELOW THE ACCESSIBLE PARKING SIGN.
 4. ACCESSIBLE PARKING AREAS SHALL BE GRADED AT A MAXIMUM 2% GRADE IN ALL DIRECTIONS.
 5. INSTALL SIGN STATING "UNAUTHORIZED VEHICLES SUBJECT TO TOWING AND FINE" BELOW ALL ACCESSIBLE PARKING SIGNS.



ACCESSIBLE PARKING LAYOUT

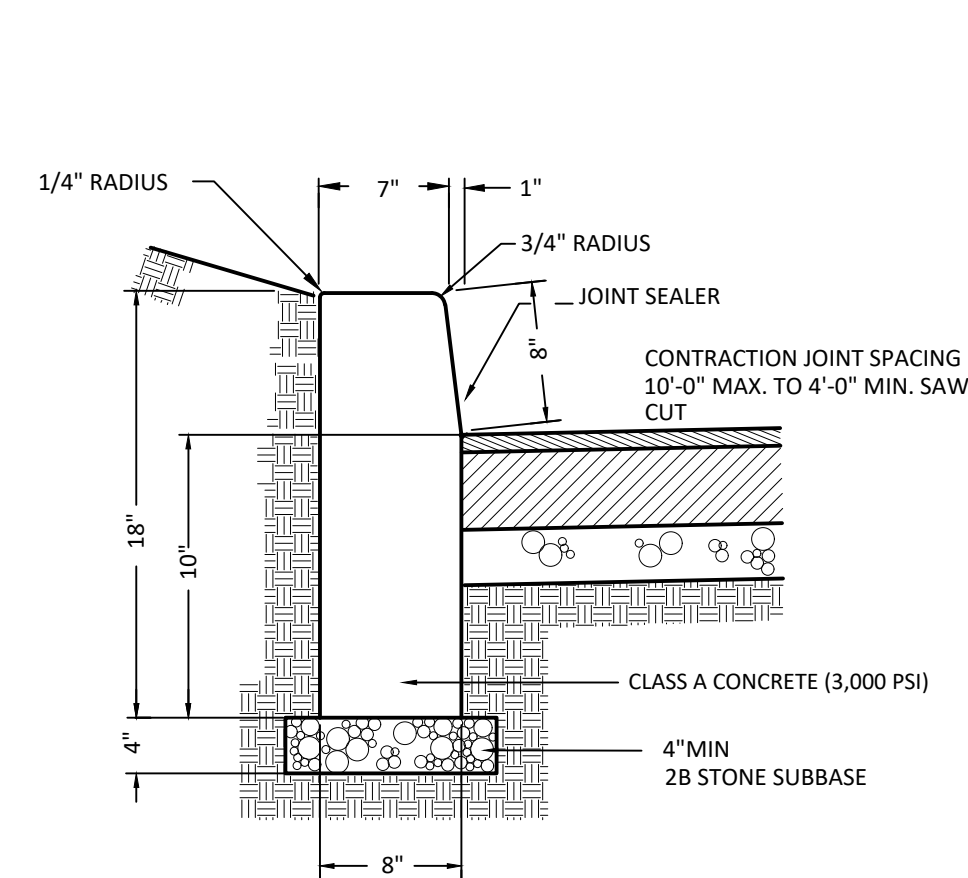
NO SCALE



- NOTES:
1. THE RETAINING WALLS SHOWN HEREON HAVE NOT BEEN STRUCTURALLY DESIGNED AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL SHAPE, HEIGHT, FOOTING, MATERIAL SELECTION, AND DESIGN OF THESE WALLS IS THE RESPONSIBILITY OF THE CONTRACTOR.
 2. MODULAR BLOCK RETAINING WALLS SHOWN ON THESE PLANS ARE FOR ILLUSTRATIVE PURPOSES ONLY. STRUCTURAL COMPUTATIONS, DESIGN, CONSTRUCTION SPECIFICATIONS, AND APPLICABLE BUILDING PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE LAYOUT AND GRADING OF THE RETAINING WALLS ASSUMES NO STORM RUNOFF OVER THE TOP OF THE WALL. IF SITE CONDITIONS ARE NOT AS ASSUMED CONTACT THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OF THE RETAINING WALL.

TYPICAL RETAINING WALL DETAIL

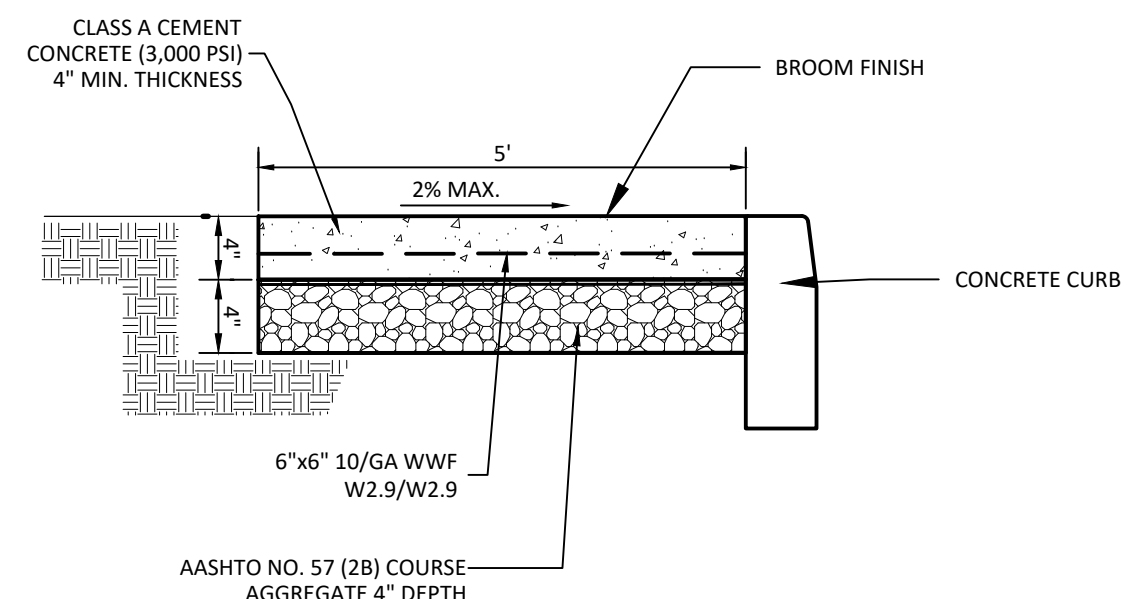
NO SCALE



- NOTES:
1. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTION.
 2. INSTALL EXPANSION MATERIAL AT INTERVALS NOT TO EXCEED 100 FEET. EXPANSION MATERIAL SHALL BE 3/4" THICK PREMOLDED, NON-EXTRUDING, RESILIENT BITUMINOUS JOINT FIBER. INSTALL EXPANSION MATERIAL ADJACENT TO ALL INLETS AND OTHER STRUCTURES.

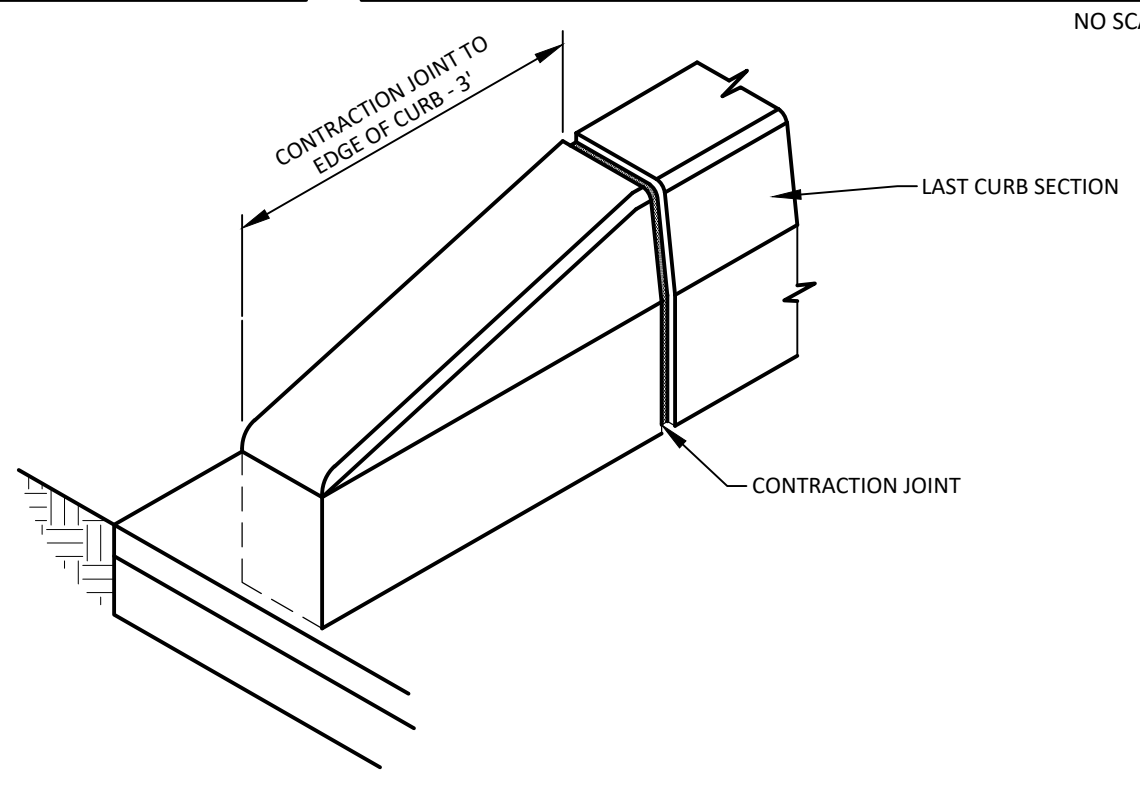
CONCRETE CURB DETAIL

NO SCALE



CONCRETE SIDEWALK DETAIL

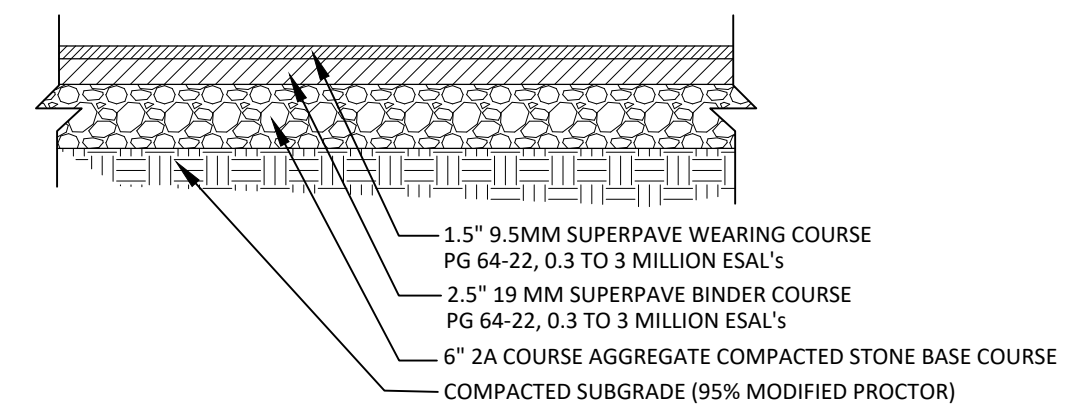
NOT TO SCALE



- NOTES:
1. EXPANSION JOINTS SHALL CONSIST OF 1/2" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL. EXPANSION JOINTS SHALL BE LOCATED AT ALL STRUCTURES AT THE END OF THE WORK DAY AND AT INTERVALS OF 100 FEET. CUT MATERIAL TO CONFORM WITH CROSS SECTIONAL AREA OF CURB.
 2. CONTRACTION JOINTS SHALL CONSIST OF A 2" DEEP, 3/16" WIDE SAW CUT AND BE PLACED AT UNIFORM LENGTHS OF 20 FOOT INTERVALS MAXIMUM AND 4 FOOT INTERVALS MINIMUM.

VERTICAL CURB TERMINATION

NO SCALE



- NOTE:
1. TACK COAT TO BE APPLIED BETWEEN LAYERS OF ASPHALT.

PARKING LOT PAVEMENT SECTION

NO SCALE

NO.	DATE	REVISION
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
1	2/23/24	PER LCCD COMMENTS

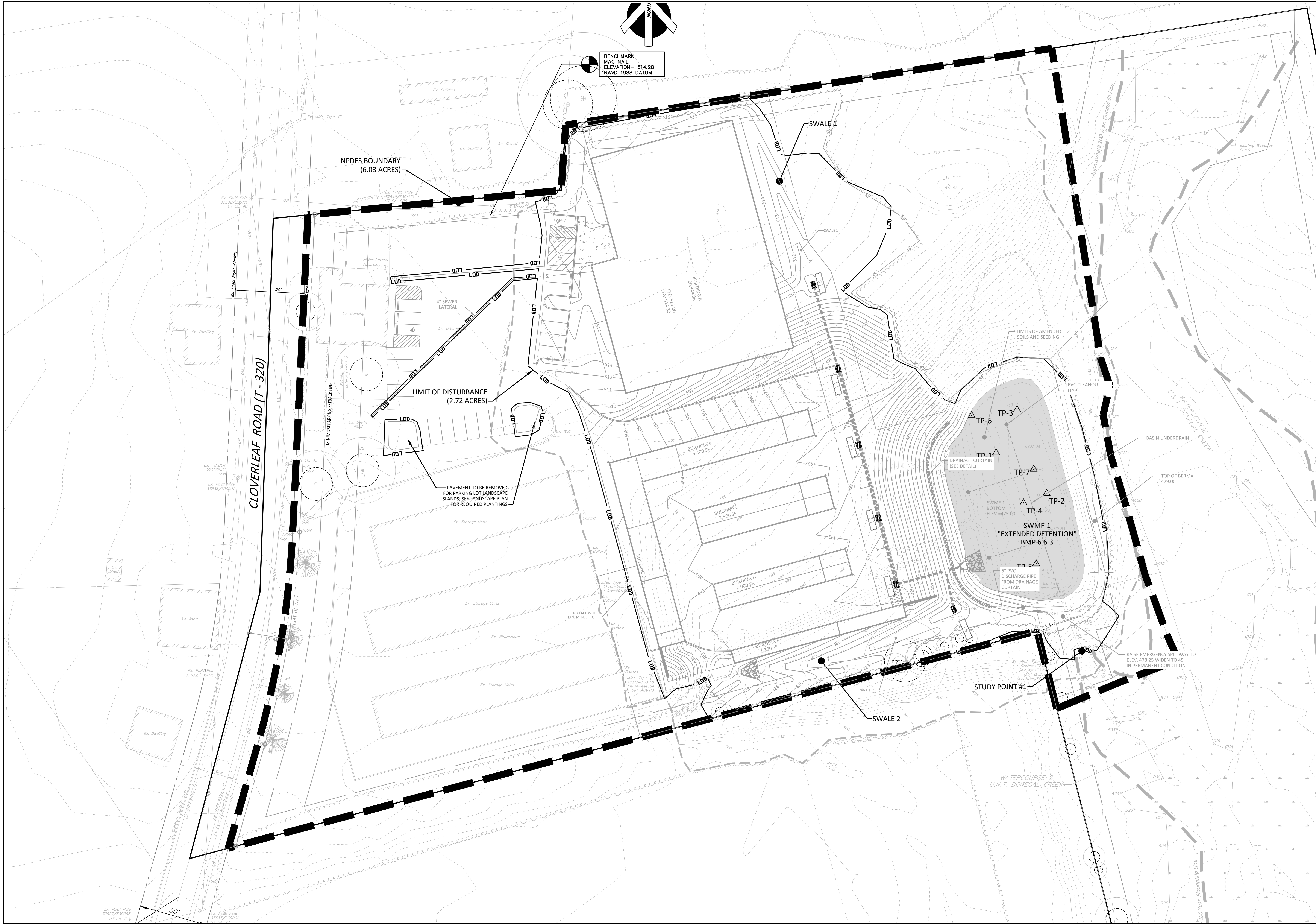
MANAGER:	DAVID BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	DWB
DATE:	11/27/2023
SURV. CHIEF:	TRIMBLE

CLIENT: HEARTHIRE HOLDINGS
 239 E. MARKET STREET, STE 102
 WEST CHESTER, PA 19382
 717-884-4687

SCALE: AS NOTED

Bitner Engineering
 711 Speedwell Forge Rd • Lititz, PA 17543
 717.368.1169 • dave@bitnerengineering.com

TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE SITE DETAILS
 MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA



NO.	DATE	REVISION
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
1	2/23/24	PER LCCD COMMENTS

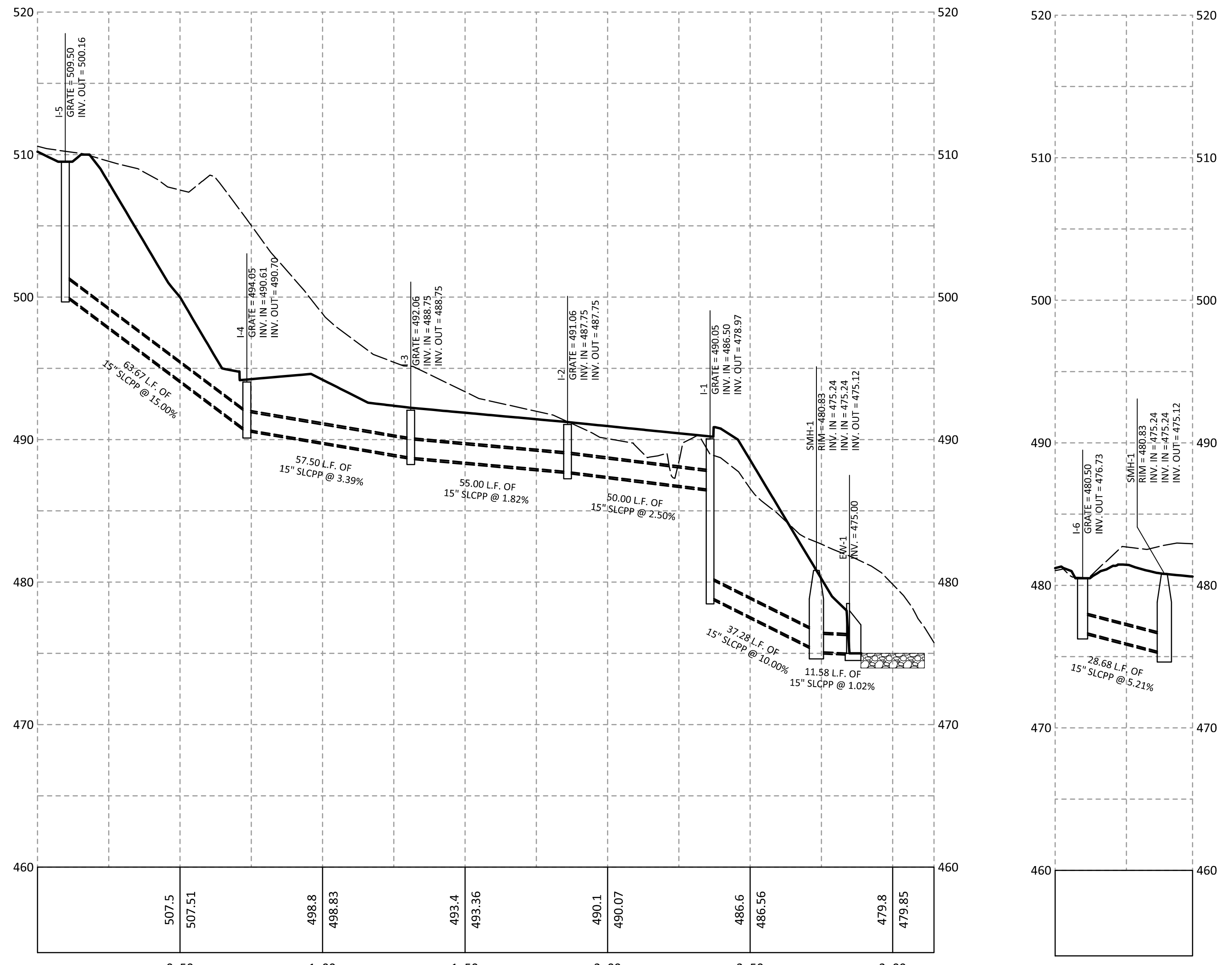
MANAGER:	DAVID BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	DWB
SURV. CHIEF:	TRIMBLE
DATE:	11/27/2023

CLIENT:	HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687
SCALE:	1"=30' 0' 15' 30' 60' 90'

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 711 Speedwell Forge Rd • Lititz, PA 17543
 717.368.1169 • dave@bitnerengineering.com

TITLE
 FINAL PLAN FOR
CLOVERLEAF SELF-STORAGE
 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

SHEET NO. 10 OF 20
 JOB NO. 2023108-001



I-5 TO EW-1
 HORZ. SCALE: 1"=30'
 VERT. SCALE: 1"= 6'

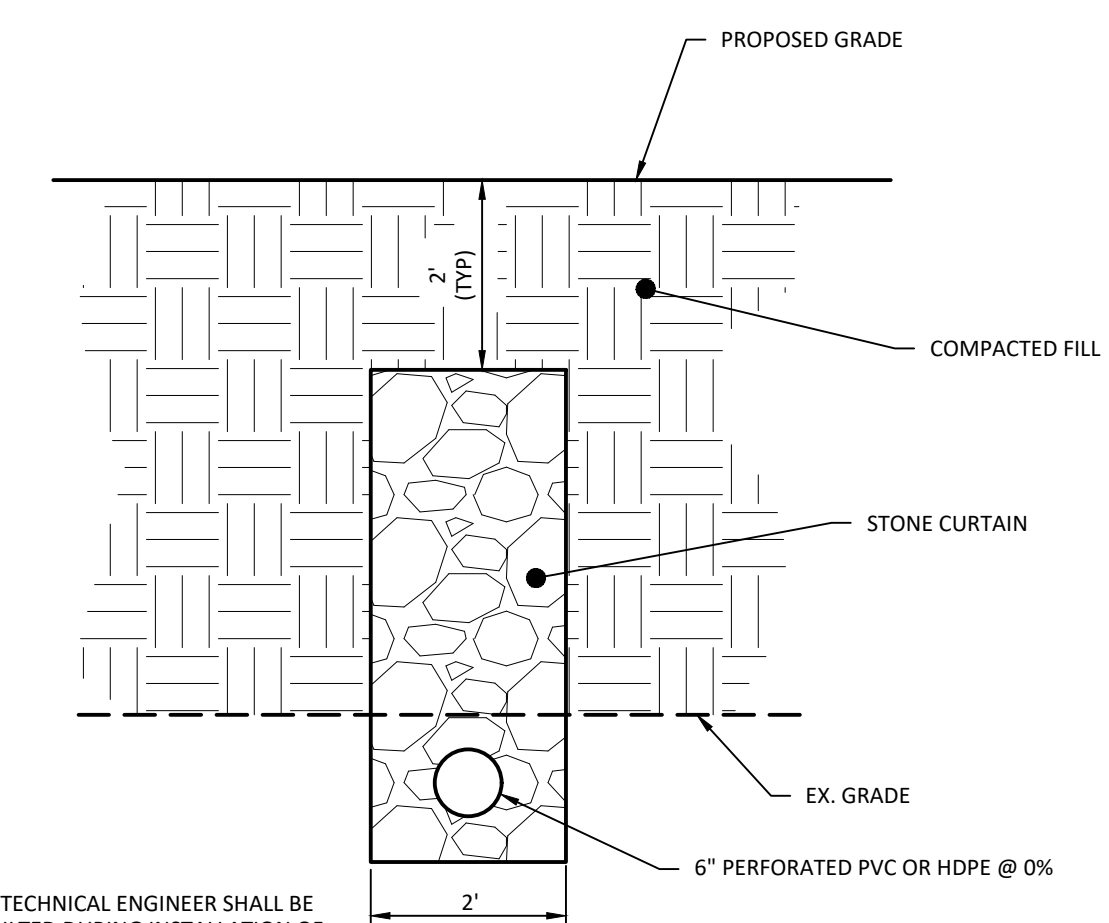
I-6 TO SMH-1
 HORZ. SCALE: 1"=30'
 VERT. SCALE: 1"= 6'

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> Inspect after several storm events for bank stability, vegetation growth, and to determine if the desired residence time has been achieved. Inspect outlet structure for evidence of clogging or outflow release velocities that are greater than design flow. 	Post Construction (0-12 Months)
<ul style="list-style-type: none"> Inspect for the following issues: differential settlement, cracking, erosion of pond banks or bottom, leakage or tree growth on the embankment; the condition of the rip-rap in the inlet, clogging of the outlet and pilot channels; standing water, slope stability, presence of burrows, sediment accumulation in the basin, and outlet structures; trash and debris, and the vigor and density of the vegetation on the basin side slopes and floor. 	Semi-annual, after Significant Storms or more Frequent
<ul style="list-style-type: none"> Inspect for the following issues: subsidence, damage to the emergency spillway, inadequacy of the inlet/outlet channel erosion control measures; changes in the condition of the pilot channel, accumulated sediment volume, and semi-annual inspection items. 	Annual
<ul style="list-style-type: none"> During inspections, changes to the stormwater facility or the contributing watershed should be noted, as these may affect basin performance. 	Annual
MAINTENANCE ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> If necessary, modify the outlet orifice to achieve design values if inspection indicates modifications. Repair undercut or eroded areas. Mow side slopes. Manage pesticides and nutrients. Remove litter and debris. Control vectors, as necessary. 	As Needed
<ul style="list-style-type: none"> Remove accumulated trash and debris from the basin, around the riser pipe, side slopes, embankment, emergency spillway, and outflow trash racks. The frequency of this activity may be altered to meet specific site conditions. Mow or cut back vegetation to a height of no lower than 6 inches at the beginning and end of the wet season (not more than twice per year). 	Semi-annual or More Frequent, as needed.
<ul style="list-style-type: none"> Seed or sod to restore dead or damaged ground cover. Repair erosion to banks and bottom, as required. 	Annual Maintenance (as Needed)
<ul style="list-style-type: none"> Supplement wetland plants if a significant portion have not been established (at least 50% of the surface area). Remove nuisance plant species. 	Annual Maintenance (if Needed)
<ul style="list-style-type: none"> Remove accumulation sediment at the basin inflow points. 	3 to 5 Year Maintenance
<ul style="list-style-type: none"> Monitor sediment accumulation and remove accumulated sediment and regrade about every 10 years or when the accumulated sediment volume exceeds 10-20% of the basin volume or when accumulation reaches 6 inches or if resuspension is observed. Clean in early spring so vegetation damaged during cleaning has time to re-establish. 	Every 10 to 25 Years

****A WRITTEN REPORT IS TO BE COMPLETED DOCUMENTING EACH PCSM BMP INSPECTION AND ALL BMP REPAIRS AND MAINTENANCE ACTIVITIES UNDERTAKEN**

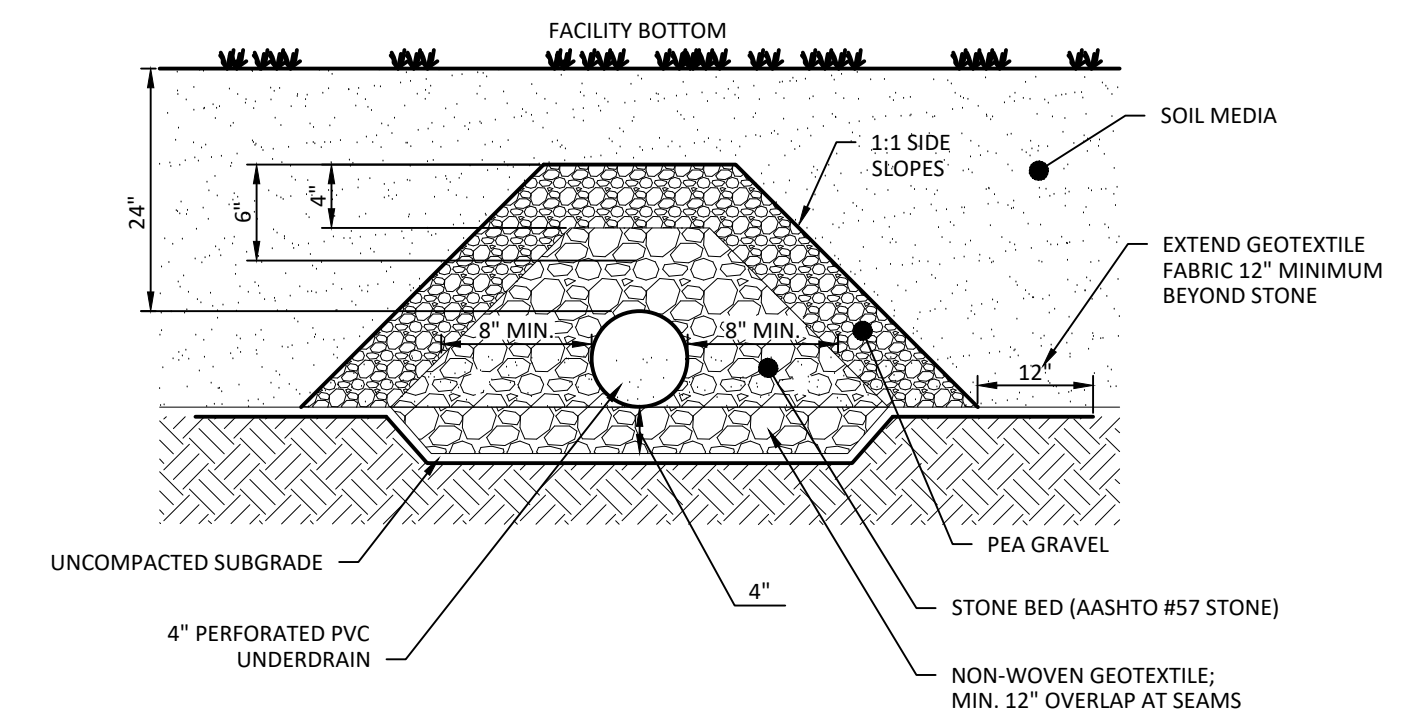
SWMF-1 OPERATION AND MAINTENANCE NOTES

NO SCALE



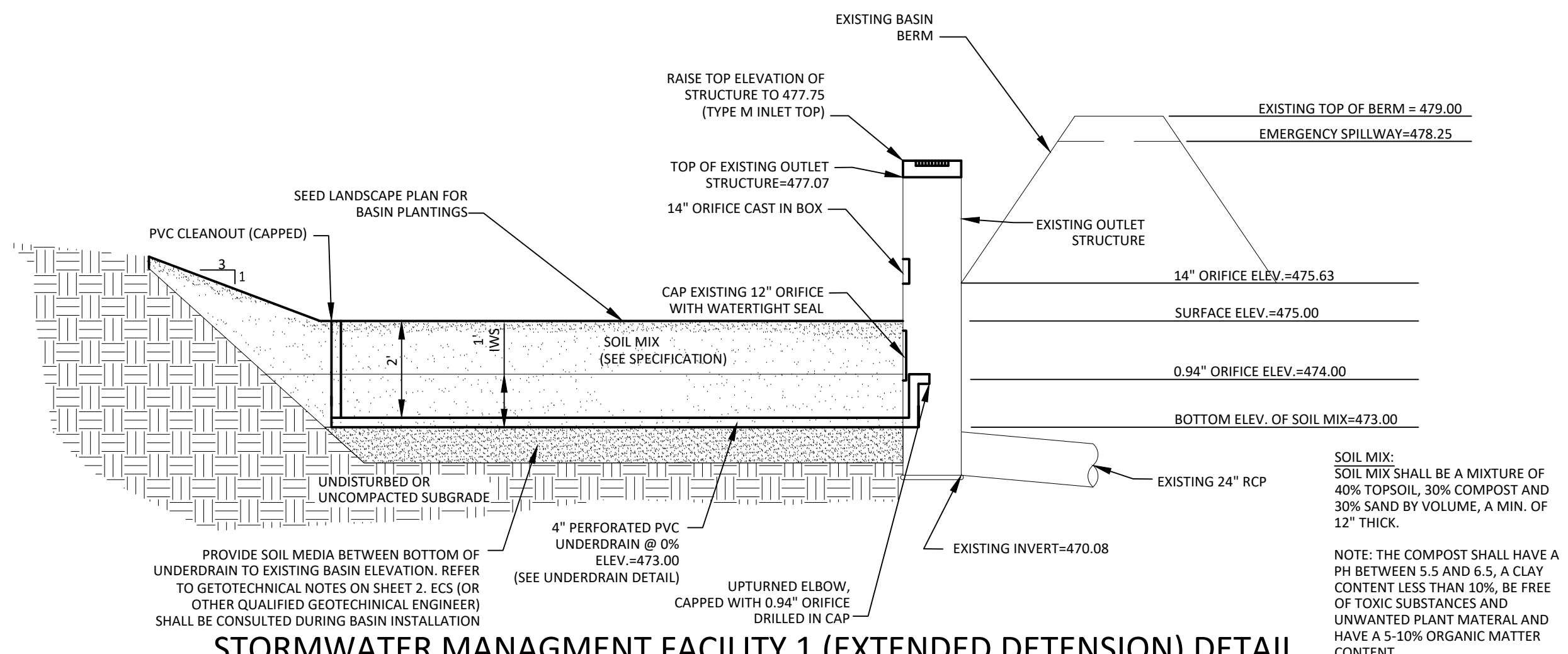
DRAINAGE CURRENT DETAIL

NO SCALE



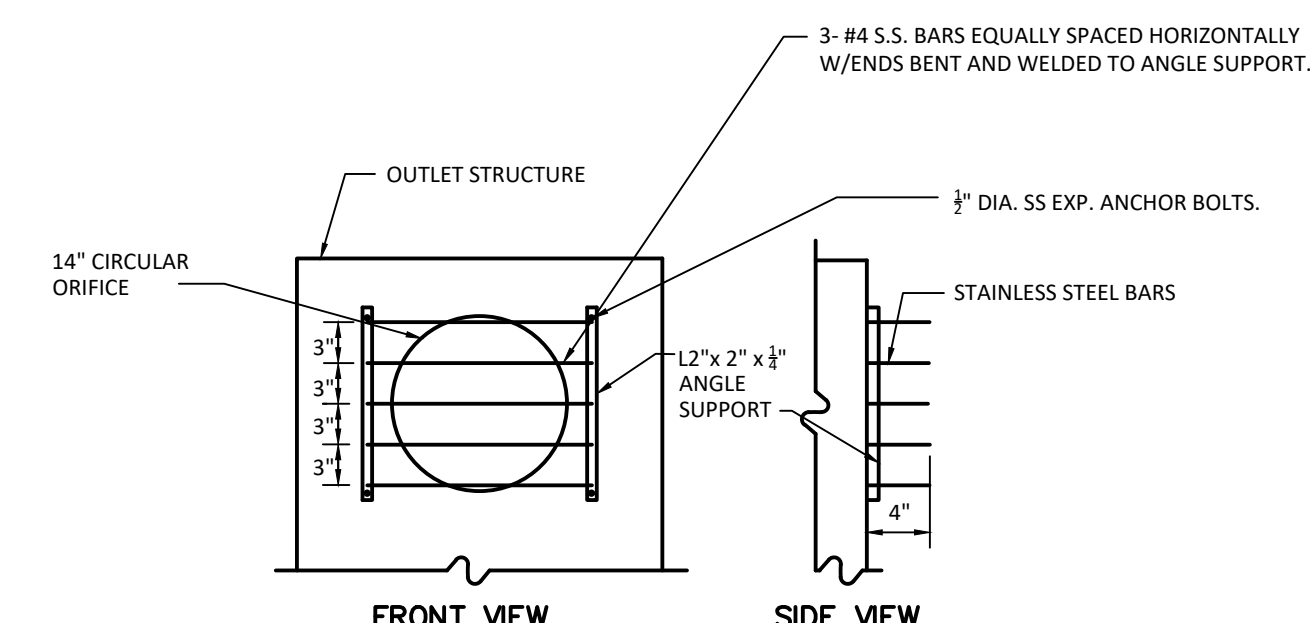
UNDERDRAIN DETAIL

NO SCALE



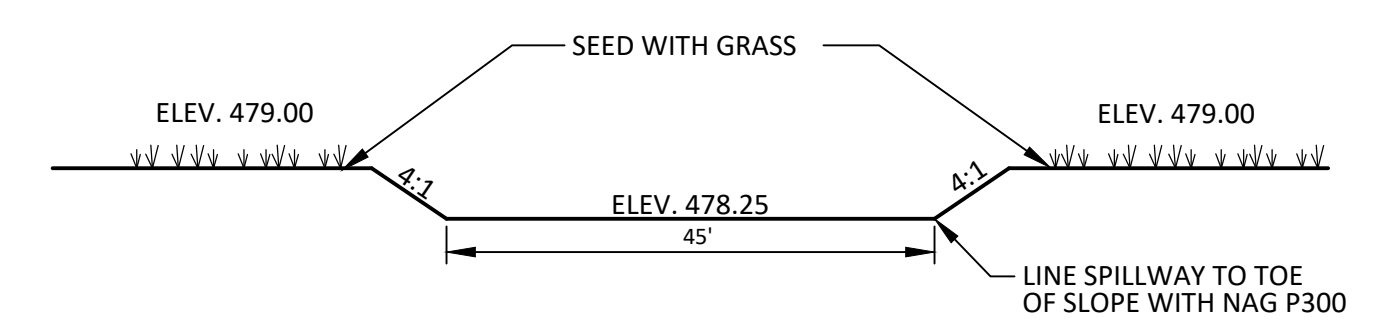
STORMWATER MANAGEMENT FACILITY 1 (EXTENDED DETENTION) DETAIL

NO SCALE



TRASH RACK (SWMF-1)

NO SCALE

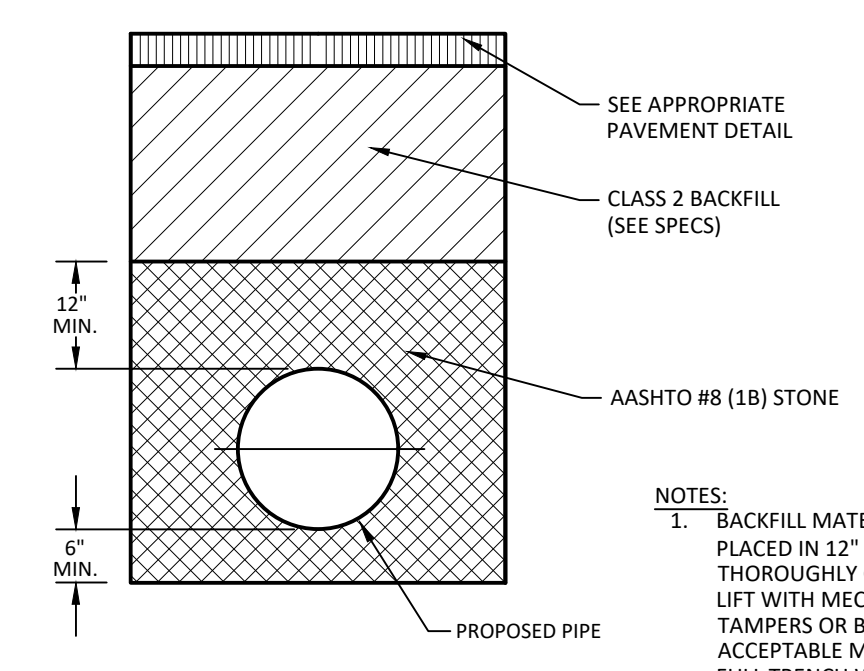


EMERGENCY SPILLWAY DETAIL

NO SCALE

MANAGER: DAVID BITNER, PE	CHD BY: DWB	DATE: 11/27/2023
DESIGN BY: DWB	CHD BY: DWB	SURV. CHIEF: TRIMBLE
DRAWN BY: DWB	DATE: 11/27/2023	
CLIENT: HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687		
TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE PCSM DETAILS AND PROFILES LANCASTER COUNTY, PA		
SHEET NO. 11 OF 20		
JOB NO. 2023108-001		

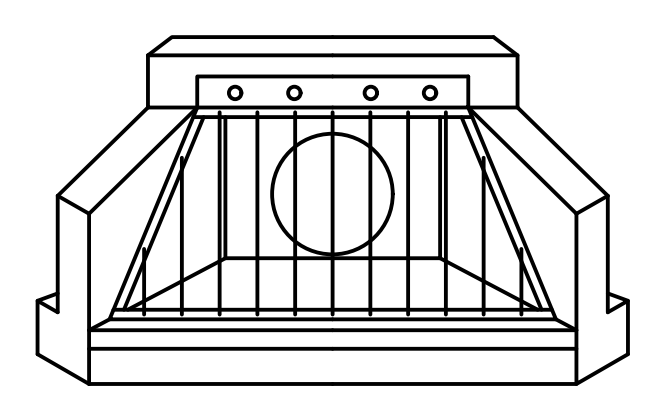
NO.	DATE	REVISION
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
1	2/23/24	PER LCCD COMMENTS



CLASS 2 - THIS MATERIAL SHALL CONSIST OF EXCAVATED MATERIAL FREE FROM CINDERS, ASHES, REFUSE, VEGETABLE OR ORGANIC MATERIAL, BOULDERS, ROCKS NO LARGER THAN FOUR (4) INCHES IN DIMENSION, STONE OR OTHER MATERIAL WHICH IN THE OPINION OF THE ENGINEER IS UNSUITABLE.

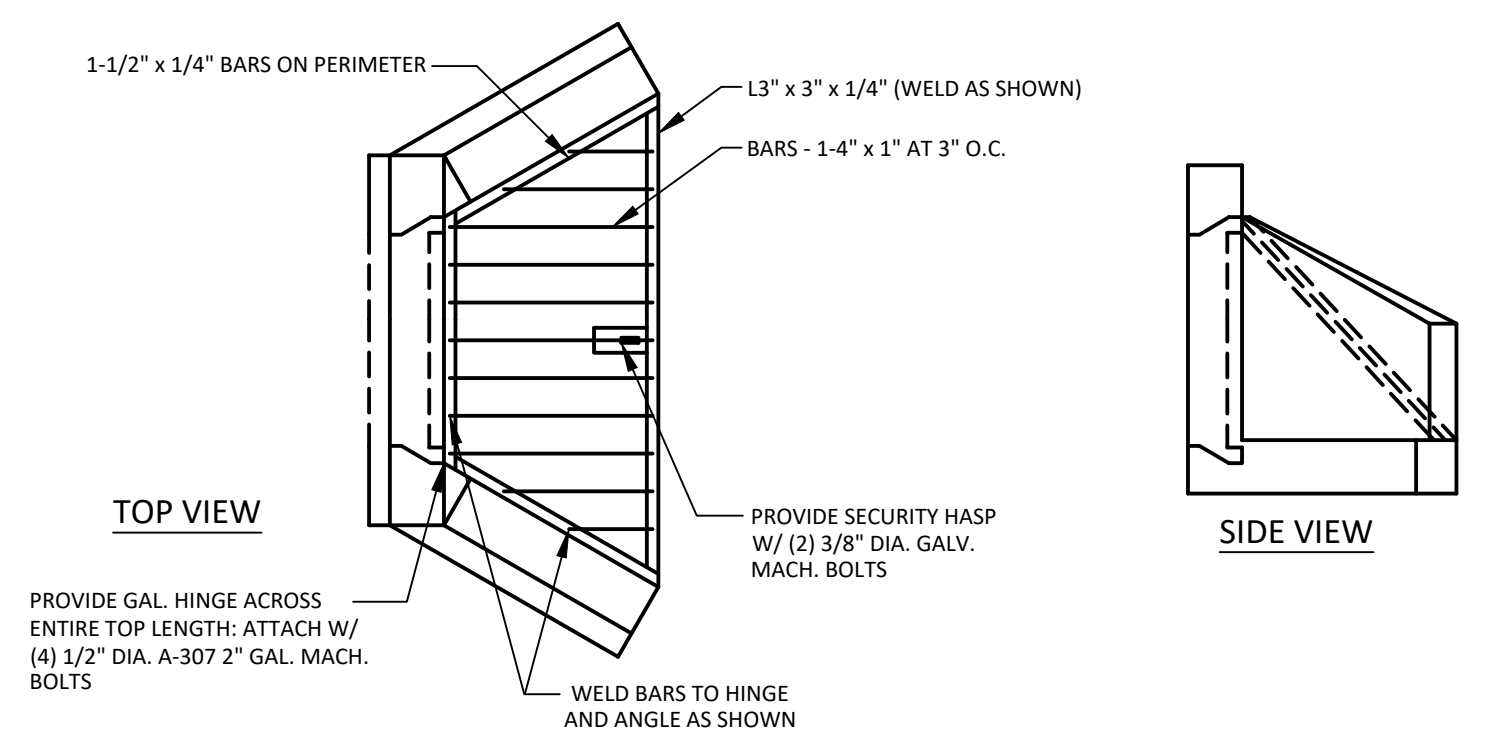
PIPE BEDDING AND TRENCH BACKFILL DETAIL

NO SCALE



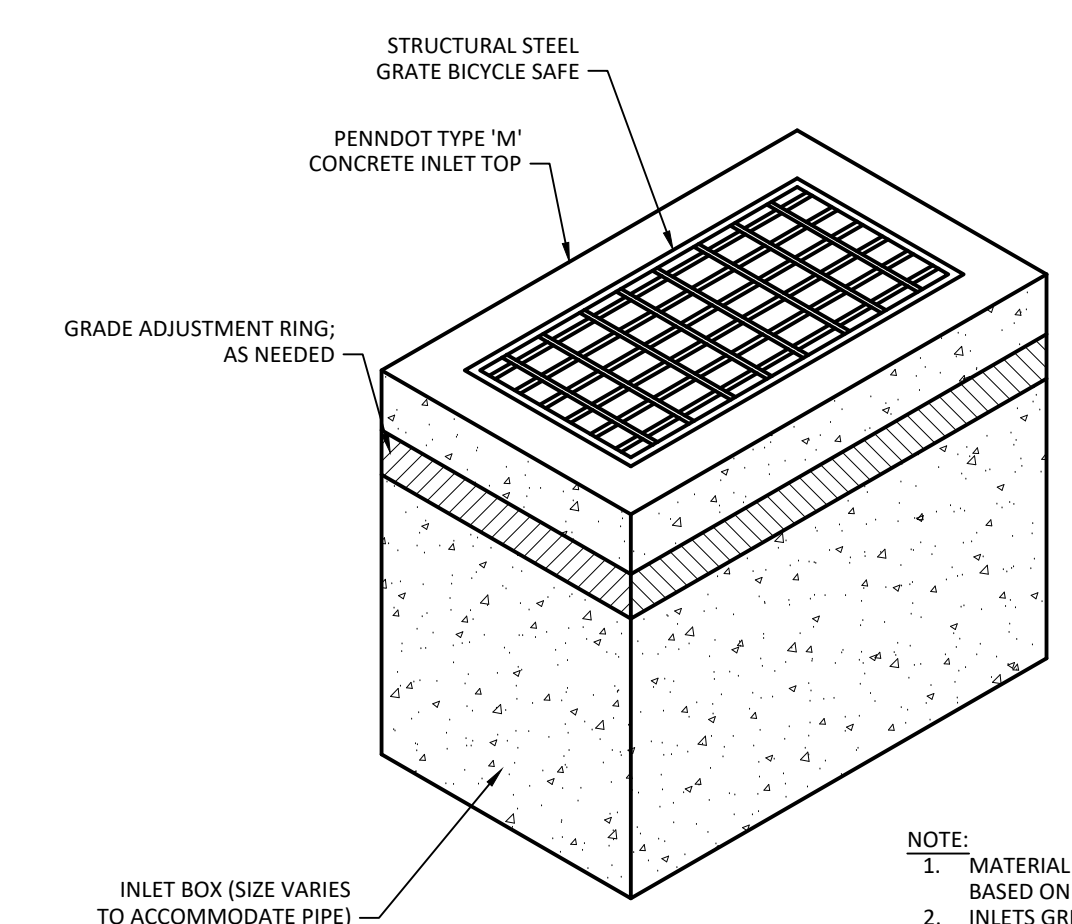
ISOMETRIC

NOTES:
1. MATERIAL TO BE GALVANIZED OR ALUMINUM.
2. DIMENSION APPROPRIATELY FOR SIZE OF HEADWALL UTILIZED.



ENDWALL TRASH RACK DETAIL

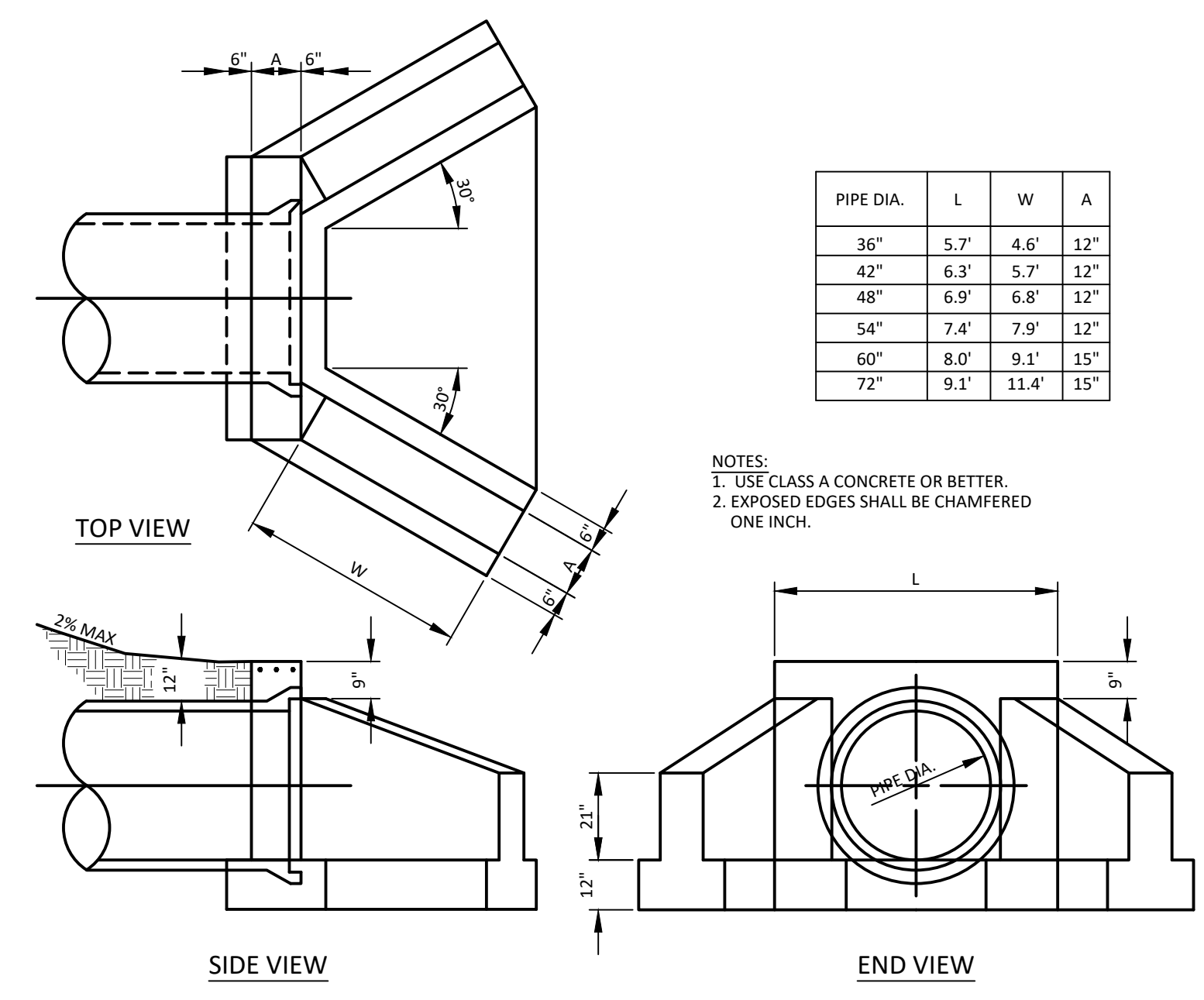
NO SCALE



TYPE "M" INLET DETAIL

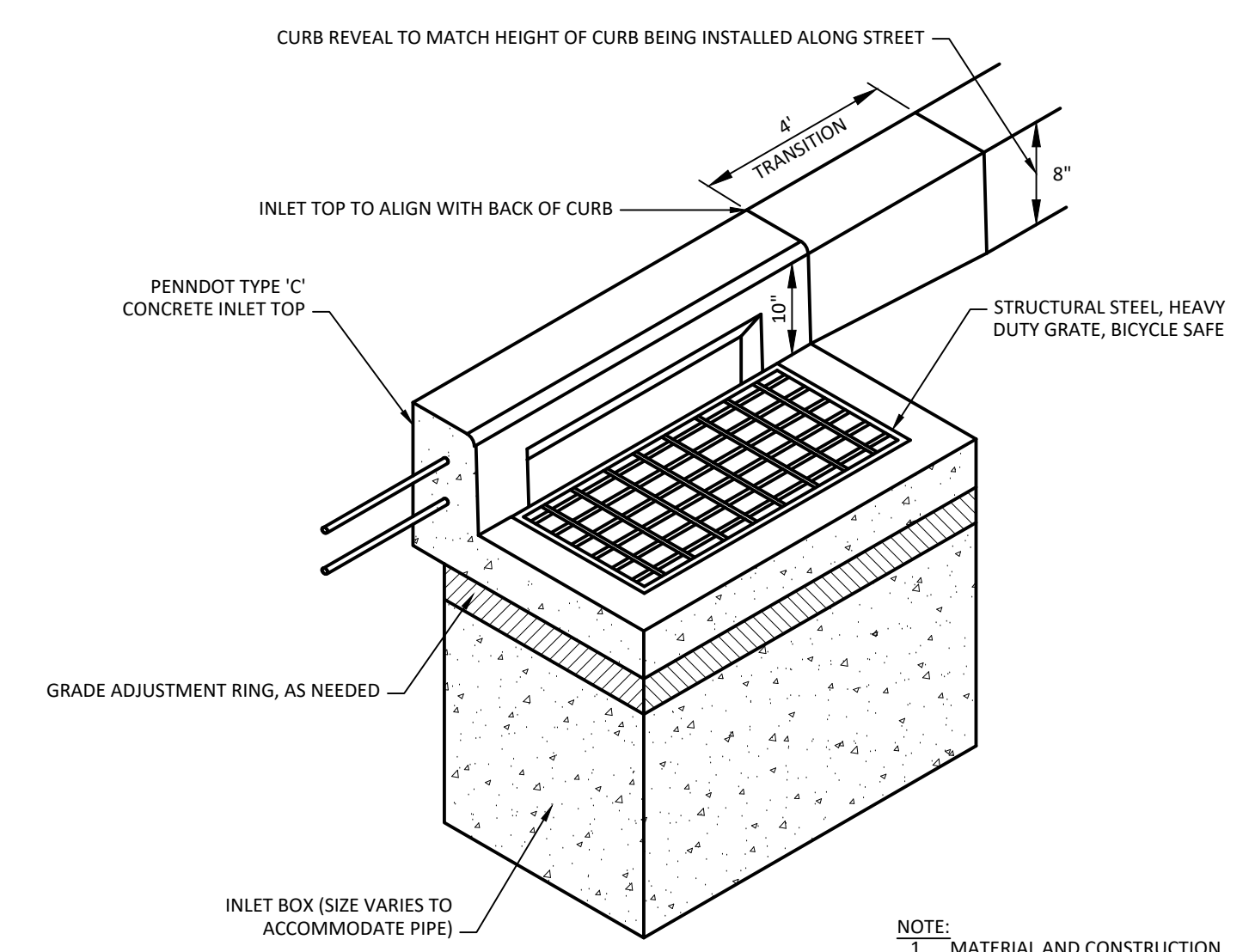
NO SCALE

NOTE:
1. MATERIAL AND CONSTRUCTION BASED ON PENNDOT STANDARDS
2. INLETS GREATER THAN 5' IN DEPTH SHALL BE EQUIPPED WITH LADDER RUNGS.



TYPE D-W ENDWALL DETAIL

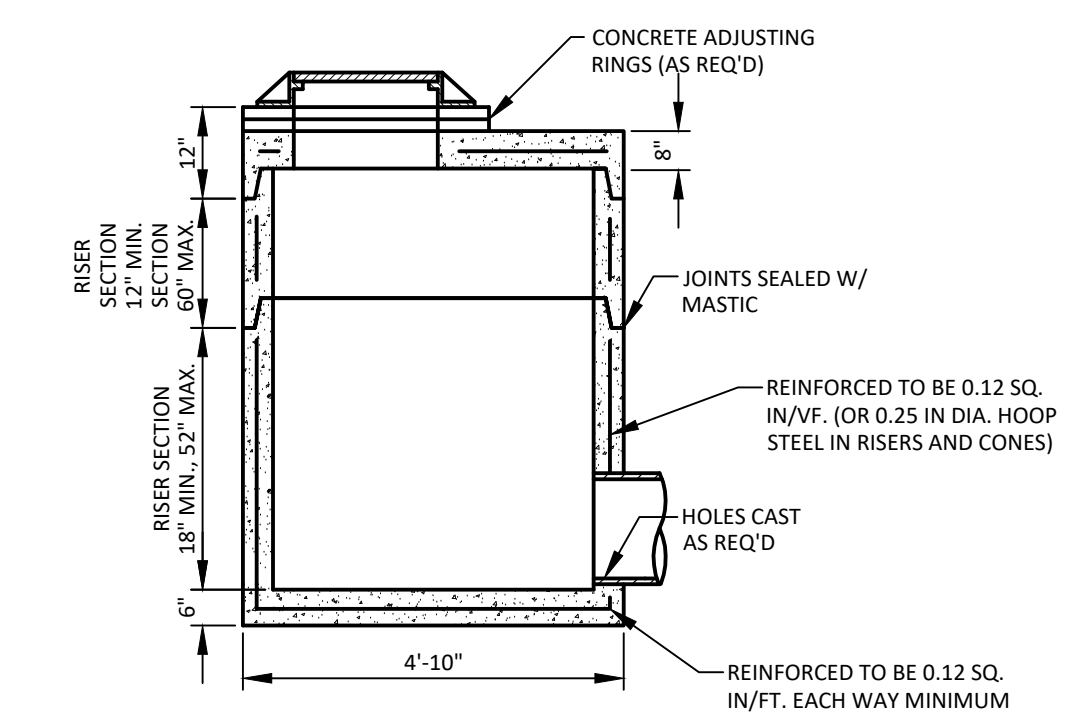
NO SCALE



TYPE "C" INLET DETAIL

NO SCALE

NOTE:
1. MATERIAL AND CONSTRUCTION BASED ON PENNDOT STANDARDS
2. INLETS GREATER THAN 5' IN DEPTH SHALL BE EQUIPPED WITH LADDER RUNGS.



STORM SEWER MANHOLE DETAIL (HOLDING TANK)

NO SCALE

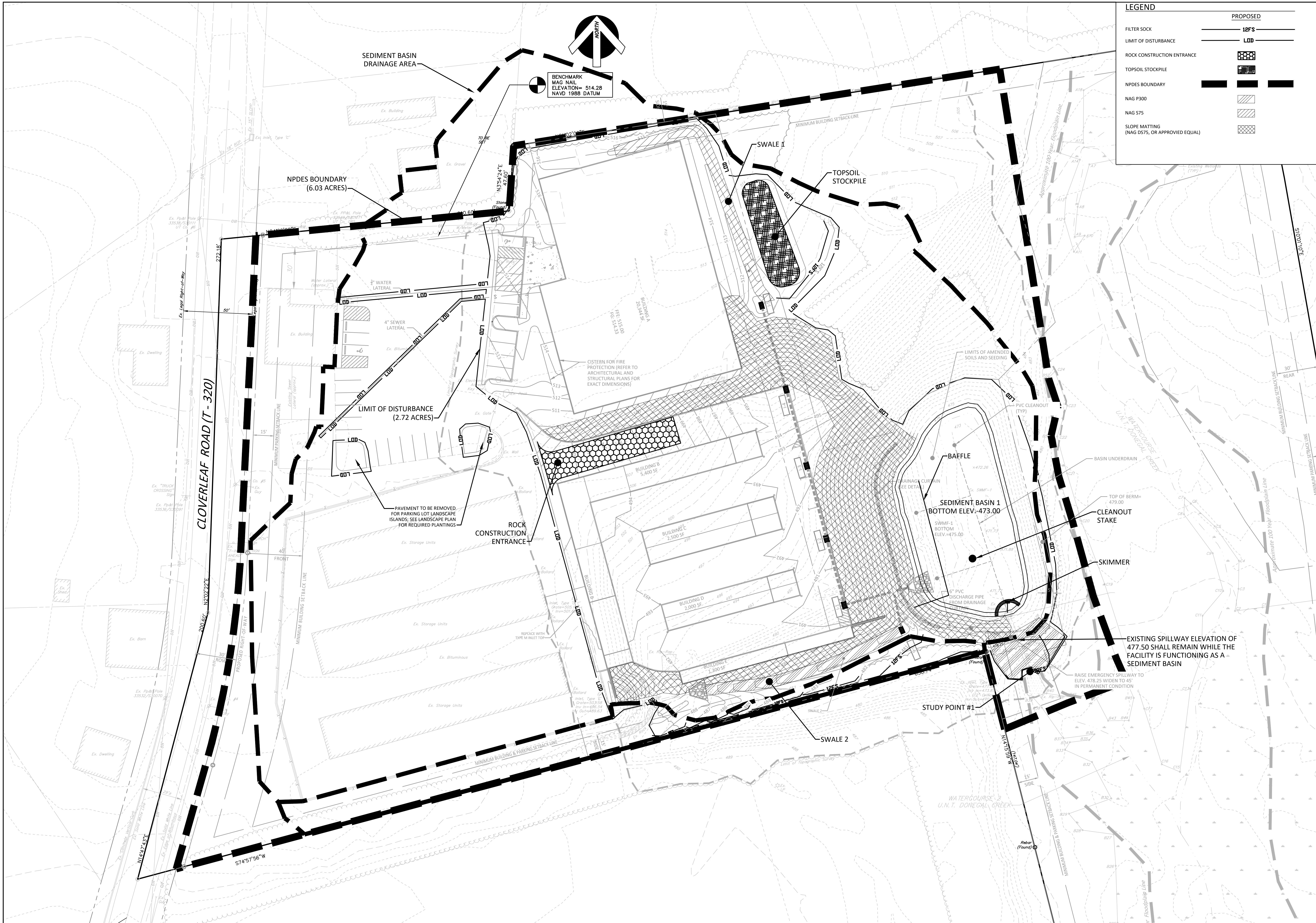
NOTE:
1. STORM SEWER MANHOLE SHALL BE PER MONARCH PRODUCT COMPANY, INC. SPECIFICATIONS OR APPROVED EQUAL.
2. MANHOLES GREATER THAN 5' IN DEPTH SHALL BE EQUIPPED WITH LADDER RUNGS.

MANAGER:	DAVID BITNER, PE	DATE:	11/27/2023
DESIGN BY:	DWB	CHIEF BY:	DWB
DRAWN BY:	DWB	TRIMBLE	

CLIENT
HEARTHIRE HOLDINGS
239 E. MARKET STREET, STE 102
WEST CHESTER, PA 19382
717.884.4687

711 Speedwell Forge Rd • Lititz, PA 17543
717.368.1169 • dave@bitnerengineering.com

TITLE
FINAL PLAN FOR
CLOVERLEAF SELF-STORAGE
PCSM DETAILS
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA



LEGEND		PROPOSED	
FILTER SOCK		12FS	
LIMIT OF DISTURBANCE		LDD	
ROCK CONSTRUCTION ENTRANCE			
TOPSOIL STOCKPILE			
NPDES BOUNDARY			
NAG P300			
NAG S75			
SLOPE MATTING (NAG D575, OR APPROVED EQUAL)			

CLIENT HEARTFIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687		MANAGER: DAVID BITNER, PE DESIGN BY: DWB DRAWN BY: DWB DATE: 11/27/2023 SURV. CHIEF: TRIMBLE
TITLE FINAL PLAN FOR CLOVERLEAF SELF-STORAGE EROSION AND SEDIMENT CONTROL PLAN MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA		SCALE 1" = 30' 0' 15' 30' 60' 90'
REVISIONS		PER TOWNSHIP ENGINEER COMMENTS 2 3/4/24 1 2/23/24 NO. DATE REVISION
SHEET NO. ES13 OF 20 JOB NO. 2023108-001		

CONSTRUCTION SEQUENCE

GENERAL NOTES

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE.
EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED.
CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE LANCASTER COUNTY CONSERVATION DISTRICT.

SEQUENCE OF CONSTRUCTION

- FIELD LOCATE THE PROPOSED LIMITS OF DISTURBANCE AND MARK WITH ORANGE CONSTRUCTION FENCE, CONSTRUCTION STAKES, OR EQUIVALENT.
INSTALL ROCK CONSTRUCTION ENTRANCE AT LOCATION SHOWN ON THE PLANS.
INSTALL FILTER SOCK AS SHOWN ON THE PLANS. DO NOT GRUB AND/OR STRIP TOPSOIL TO INSTALL FILTER SOCK OR SILT FENCE.

TEMPORARY SEEDING SPECIFICATIONS

- IN ORDER TO ESTABLISH A QUICK GRASS COVER OVER DISTURBED AREAS, A TEMPORARY SEED MIXTURE SHALL BE USED.
STABILIZATION EFFORTS DURING THE NON-GERMINATING PERIOD, OCT. 15 TO MARCH 15, SHOULD BE MULCHED WITH CLEAN STRAW AT A RATE OF 3 TONS/ACRE (EQUIVALENT TO 0.75" TO 1" DEEP). CLEAN STRAW MULCH SHOULD NOT BE FINELY CHOPPED OR BROKEN DURING APPLICATION.

Table with 3 columns: SEEDING SCHEDULE FOR TEMPORARY COVER, SEED TYPE, SEEDING RATE. Rows include Annual Ryegrass, Winter Rye, Straw Mulch, and other specifications.

PERMANENT SEEDING SPECIFICATIONS

- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEGUME IN ORDER TO MINIMIZE EROSION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
MULCHING SHALL BE USED TO PROTECT SEEDING AND HELP IN PREVENTING RUNOFF.
CLEAN STRAW MULCH SHALL BE REQUIRED IN ALL DISTURBED AREAS AND APPLIED AT A RATE OF 3 TONS/ACRE (EQUIVALENT TO 0.75" TO 1" DEEP).

EROSION AND SEDIMENT CONTROL NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW.

MAINTENANCE PROGRAM

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AT LEAST WEEKLY.
REPAIR ANY DAMAGE TO MATTING ON THE SWALE.
IF SEEDING HAS BEEN WASHED AWAY, RE-SEED AS ORIGINALLY SPECIFIED.
MULCHING
ANY MULCHING WASHED AWAY SHALL BE REPLACED IN KIND AND TACKED.
FILTER SOCK
REPAIR ANY DAMAGE (KNOCKED DOWN SECTION OR UNDERMINED TOE).
REMOVE SILT WHEN UP TO 1/2" HEIGHT OF SOCK.

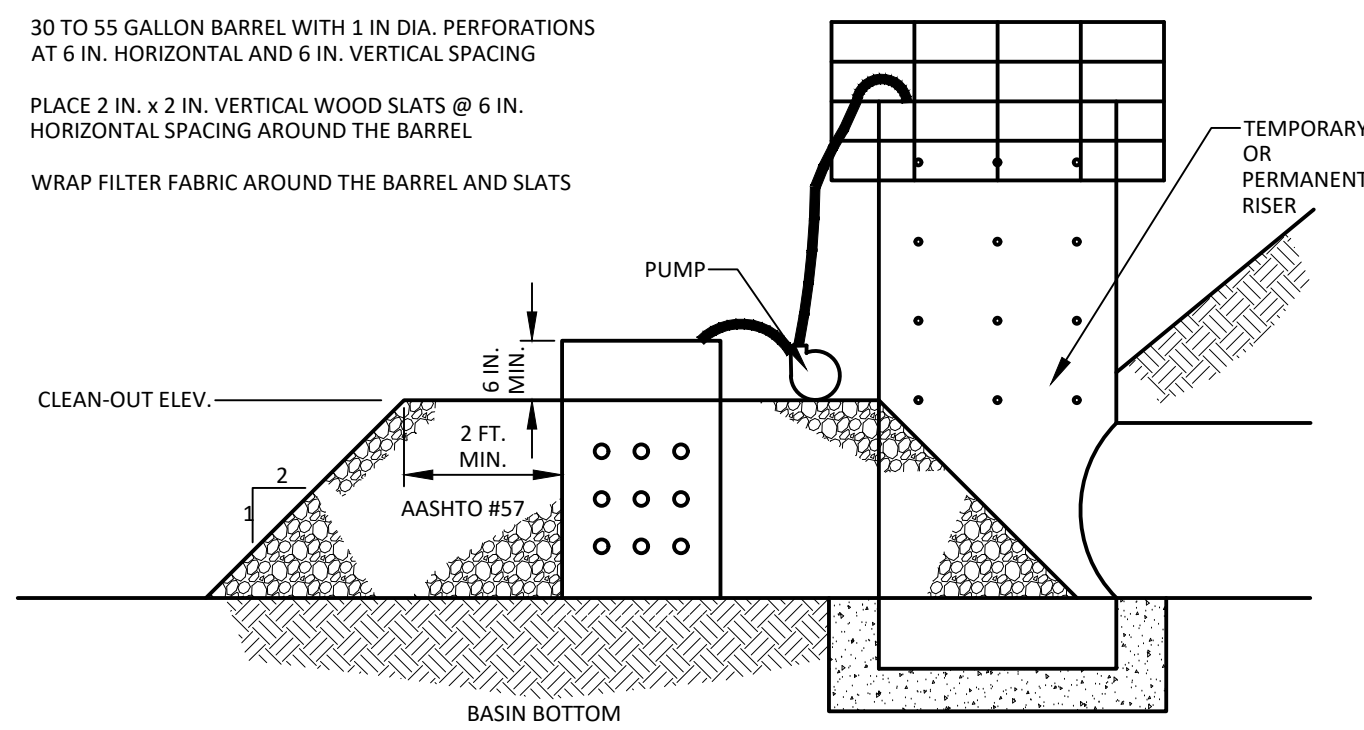
RECYCLING AND DISPOSAL SPECIFICATIONS

- THE RECYCLING AND DISPOSAL OF MATERIAL ASSOCIATED WITH THE INSTALLATION, CONVERSION, REMOVAL AND/OR MAINTENANCE OF THE PCSM BMPs IS ANTICIPATED TO INCLUDE SEDIMENT, VEGETATION, PLASTIC CONVEYANCE PIPING, RIP-RAP, ARBITRARY DEBRIS, AND/OR ANY PACKAGING ASSOCIATED WITH MATERIAL UTILIZED IN THE CONSTRUCTION OF THE PCSM BMP.
CONSTRUCTION WASTE IS ANTICIPATED TO INCLUDE TYPICAL BUILDING MATERIALS (I.E. LUMBER, DRYWALL, MASONRY, CARDBOARD AND PAPER, INSULATION, ASPHALT ROOFING, PLASTIC AND VINYL, PAINTS, STAINS, SOLVENTS AND SEALANTS, ETC.).
ALL MATERIALS AND WASTES ASSOCIATED WITH PCSM BMP INSTALLATION AND/OR BUILDING CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2801 ET SEQ., 271.1, AND 281.1 ET SEQ.

THERMAL IMPACTS ANALYSIS

- THE TEMPERATURE EXTREMES OF STORMWATER RUNOFF CAN SIGNIFICANTLY EFFECT A RECEIVING STREAM'S AQUATIC HABITAT. IMPERVIOUS SURFACES, ESPECIALLY ASPHALT, TEND TO ABSORB HEAT AND LACK THE COOLING PROPERTIES OF VEGETATION.
DESIGN OF PCSM BMPs, SHOULD PROVIDE MITIGATION MEASURES FOR THERMAL IMPACTS PRIOR TO STORMWATER RUNOFF REACHING A RECEIVING WATERCOURSE.

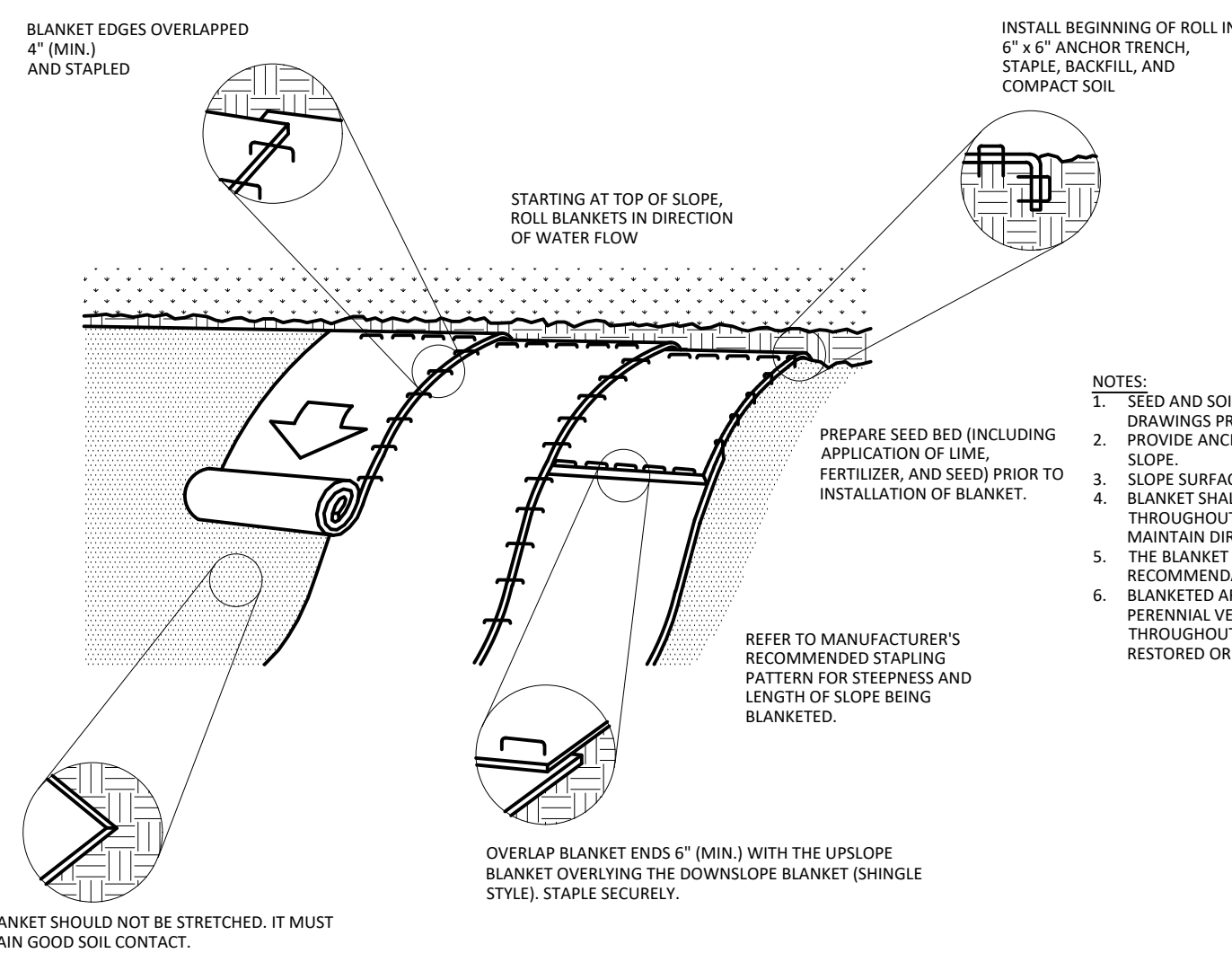
Project information block containing: CLIENT (HEARTHIRE HOLDINGS), MANAGER (DAVID BITNER, PE), DESIGN BY (DWB), DRAWN BY (DWB), SURV. CHIEF (DWB), SCALE (AS NOTED), DATE (11/27/2023), and logos for Bitner Engineering and Cloverleaf Self-Storage.



NOTES:
DEWATERING FACILITY SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF BASIN/TRAP.
PRIOR TO INITIATING OPERATION OF DEWATERING FACILITY, ALL ACCUMULATED SEDIMENT SHALL BE CLEANED FROM THE INSIDE OF THE BARREL.
DEWATERING FACILITY SHALL BE CONTINUOUSLY MONITORED DURING OPERATION. IF FOR ANY REASON THE DEWATERING FACILITY CEASES TO FUNCTION PROPERLY, IT SHALL BE IMMEDIATELY SHUT DOWN AND NOT RESTARTED UNTIL THE PROBLEM HAS BEEN CORRECTED.

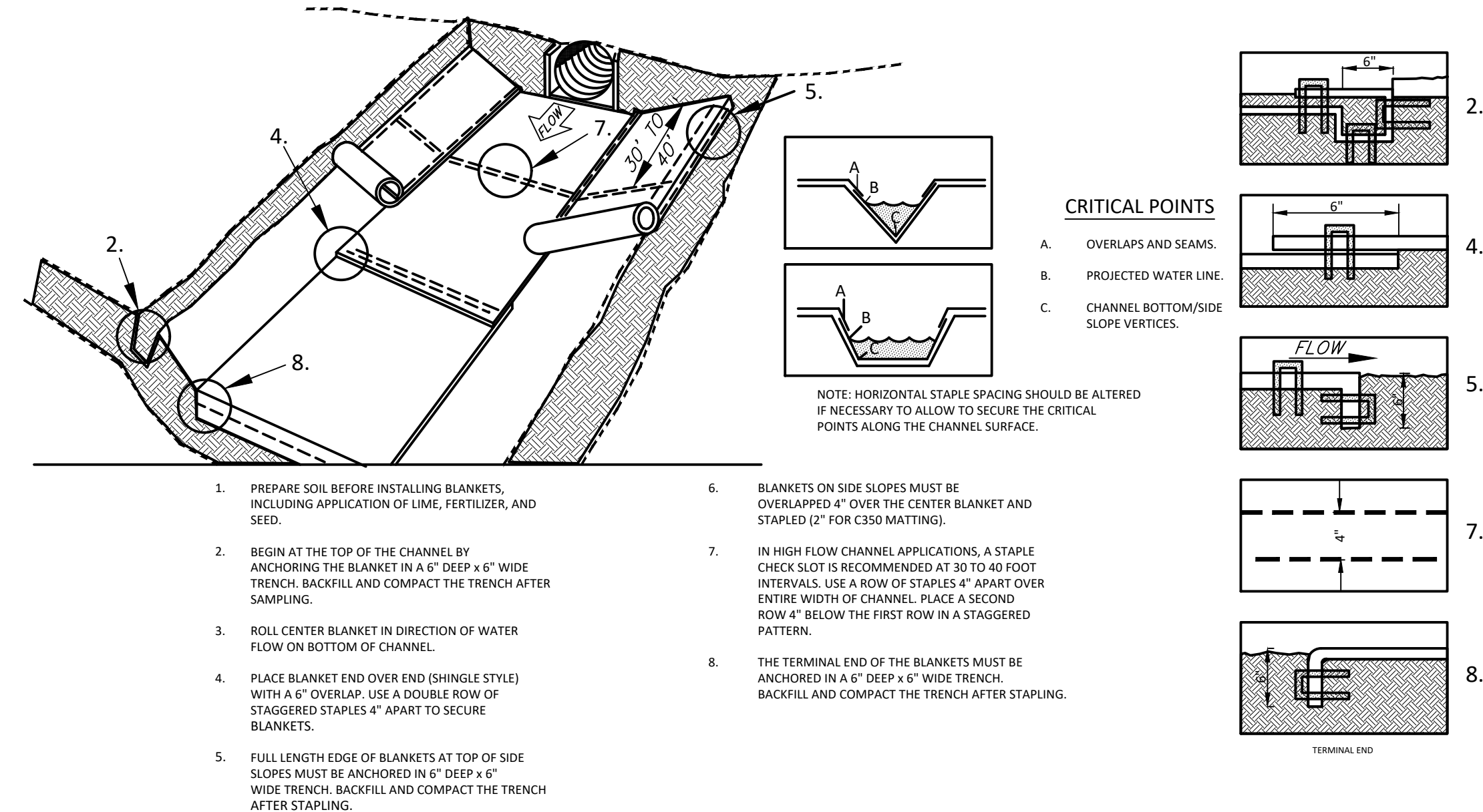
**STANDARD CONSTRUCTION DETAIL #7-18
SEDIMENT BASIN DEWATERING DEVICE**

NO SCALE



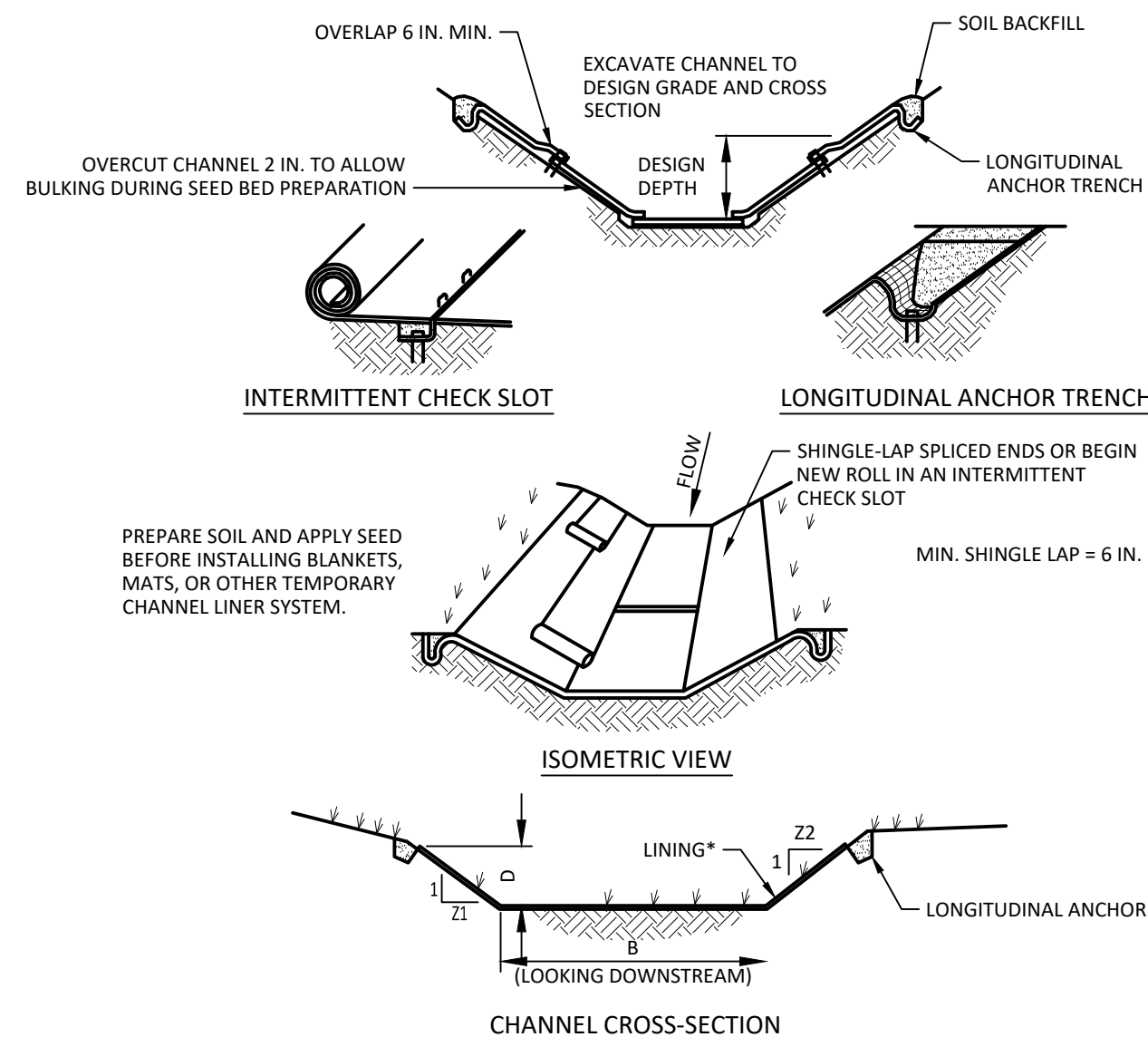
EROSION CONTROL BLANKET INSTALLATION

NO SCALE



INSTALLATION GUIDE TO CHANNEL MATTING

NO SCALE

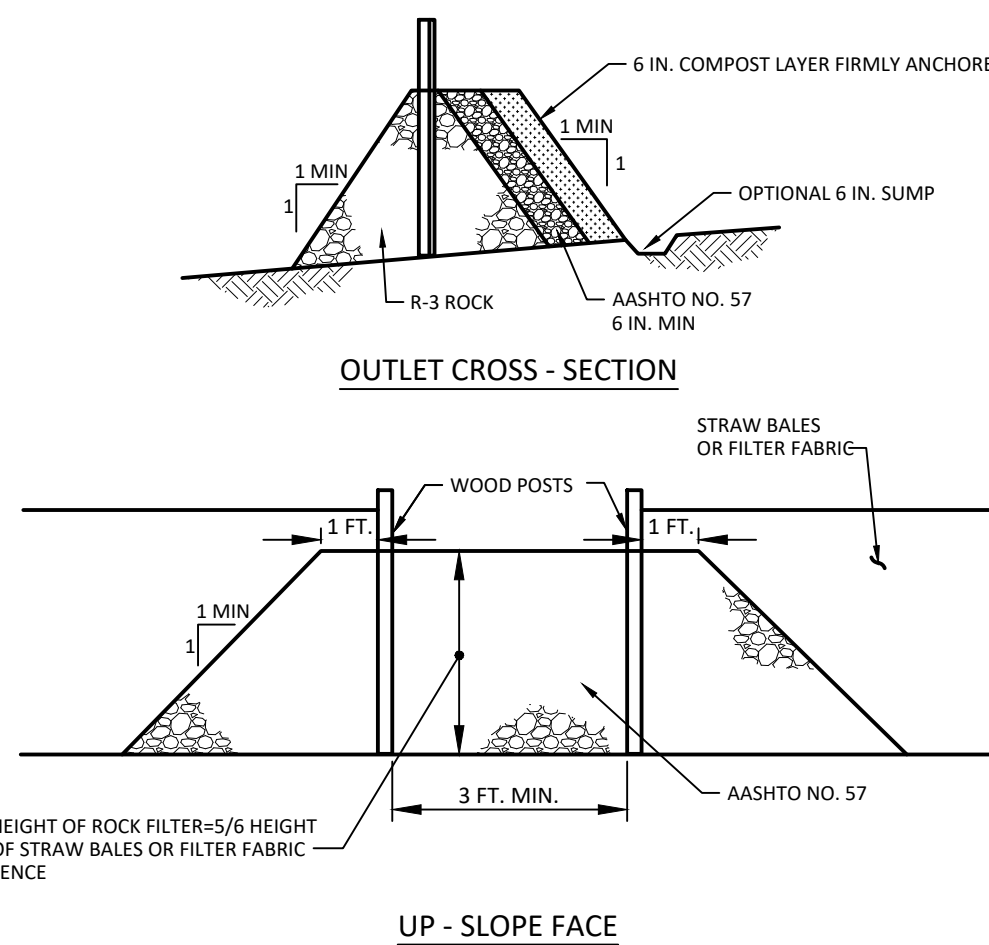


STANDARD CONSTRUCTION DETAIL # 6-1 - VEGETATED CHANNEL							
CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
1	ENTIRE SWALE	2'	1'	10'	4'	4'	NAG S75
2	ENTIRE SWALE	3.5'	1.25'	11.5'	4'	4'	NAG P300

NOTES:
1. ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
2. CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
3. NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

**STANDARD CONSTRUCTION DETAIL #6-1
VEGETATED CHANNEL**

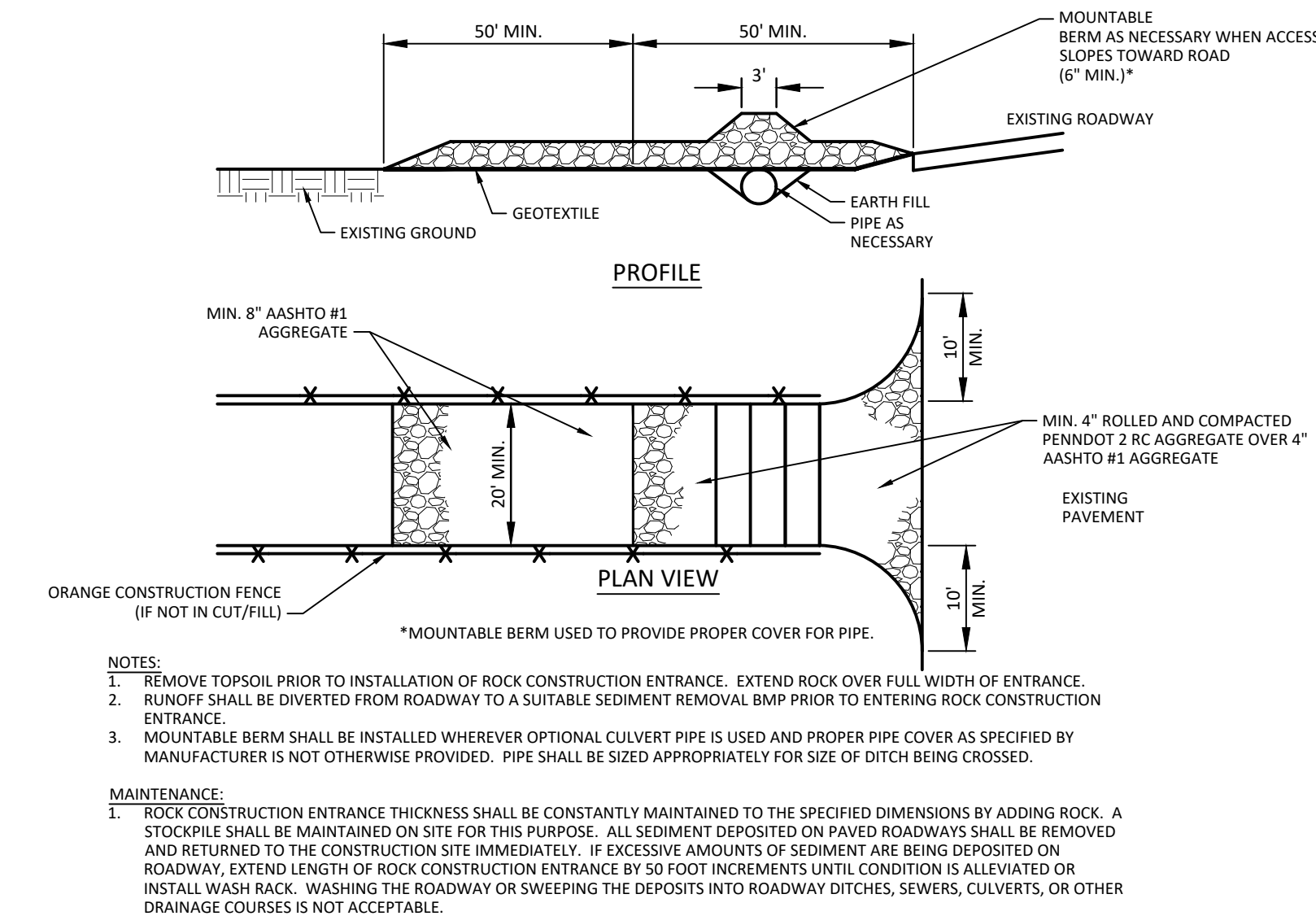
NO SCALE



NOTES:
A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND LV WATERSHEDS.
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

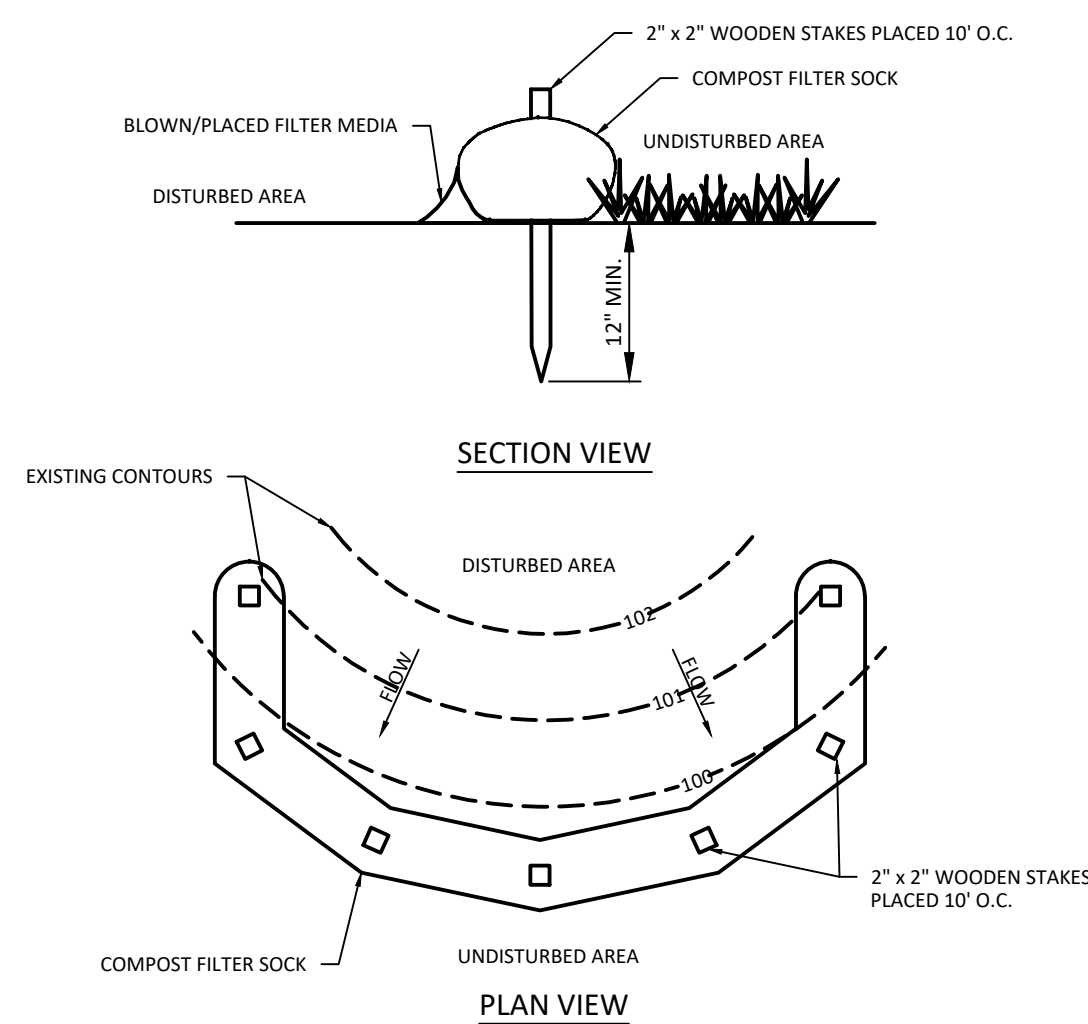
**STANDARD CONSTRUCTION DETAIL #4-6
ROCK FILTER OUTLET**

NO SCALE



**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE DETAIL**

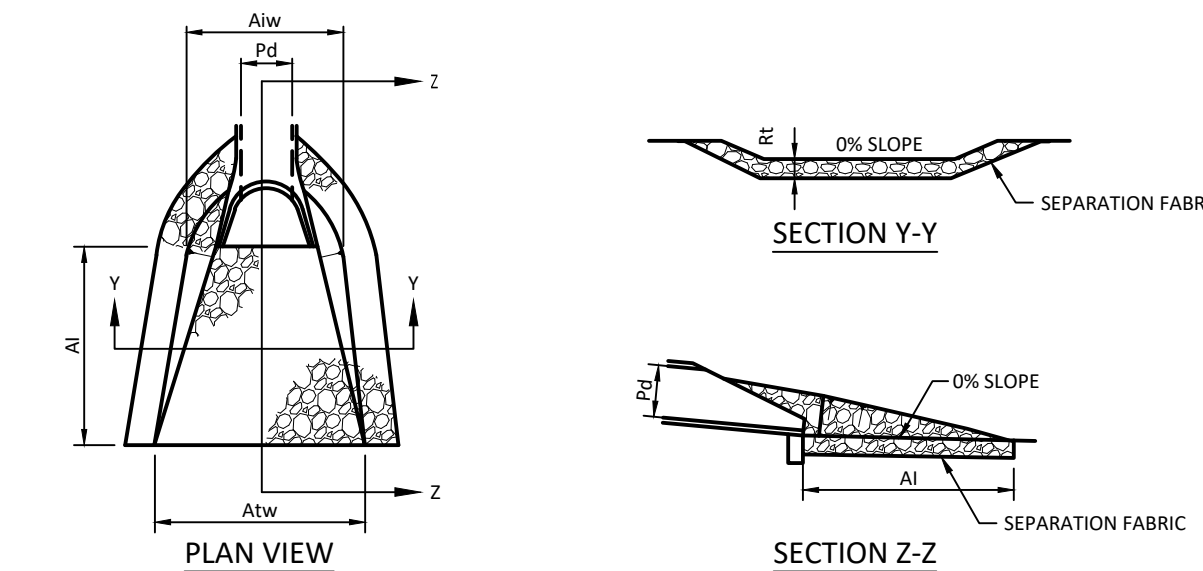
NO SCALE



NOTES:
1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER BERM

NO SCALE

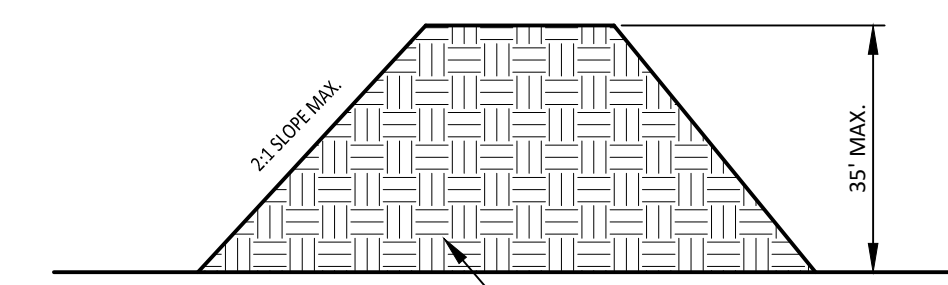


OUTLET NO.	PIPE DIA (IN)	RIPRAP		APRON	
		SIZE R ₁₀	THICK RT (IN)	LENGTH AI (FT)	TERMINAL WIDTH ATW (FT)
EX. EW	18	5	27	12	4.5 16.5
EW-1	15	4	18	12	3.75 15.75

NOTES:
1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

RIP RAP APRON

NO SCALE



NOTES:
1. STOCKPILES SHALL BE PLACED IN AREAS AS SHOWN ON THE PLANS.
2. STOCKPILES SHALL BE STABILIZED WITH A TEMPORARY COVER CROP OF ANNUAL RYE GRASS (1 LB./1000S.F.) OR WINTER RYE (3 TO 5 LB./1000S.F.).
3. ANY EXCESS TOPSOIL SHALL BE RETAINED ON SITE AND SPREAD AS ADDITIONAL LAYER OR FOR CONSTRUCTING BERMS.
4. ANY SEDIMENT CONTROL BARRIERS DOWN SLOPE OF THESE PILES THAT ARE UNDERMINED SHALL BE REPAIRED.
5. ANY DISPLACED SEED OR MULCH SHALL BE REPLACED.

TOPSOIL STOCKPILE

NO SCALE

NO.	DATE	PER LCCD COMMENTS	PER TOWNSHIP ENGINEER COMMENTS
1	2/23/24		
2	3/4/24		

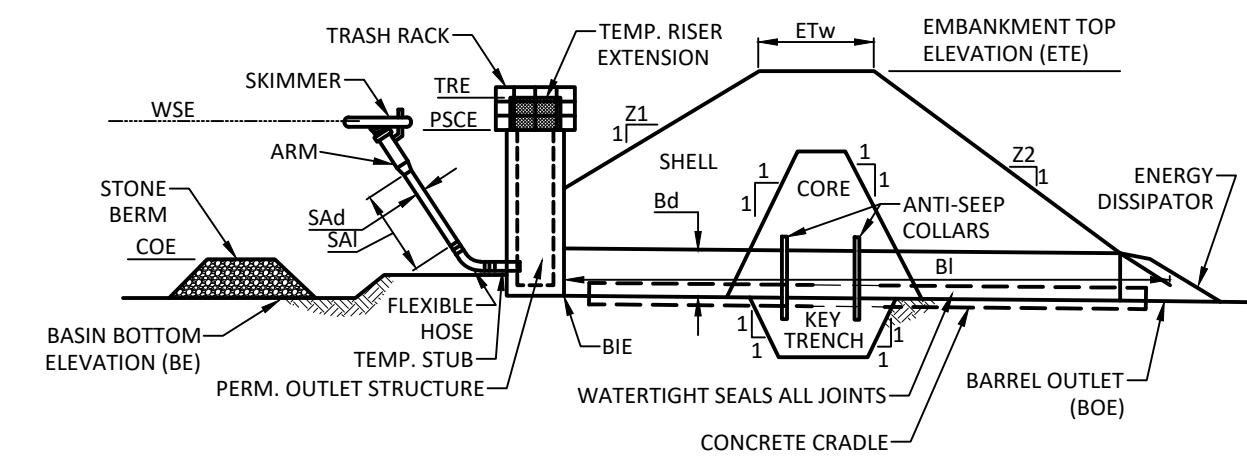
NO.	DATE	REVISION
1	11/27/2023	

MANAGER: DAVID BITNER, PE	CHD BY: DWB	DATE: 11/27/2023
DESIGN BY: DWB	CHD BY: DWB	
DRAWN BY: DWB	CHD BY: DWB	
SURV. CHIEF: TRIMBLE		

CLIENT: HEARTHRE HOLDINGS	SCALE: AS NOTED
239 E. MARKET STREET, STE 102	
WEST CHESTER, PA 19382	
717.884.4687	

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711 Speedwell Forge Rd • Lititz, PA 17543
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TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE EROSION & SEDIMENT CONTROL DETAILS MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA



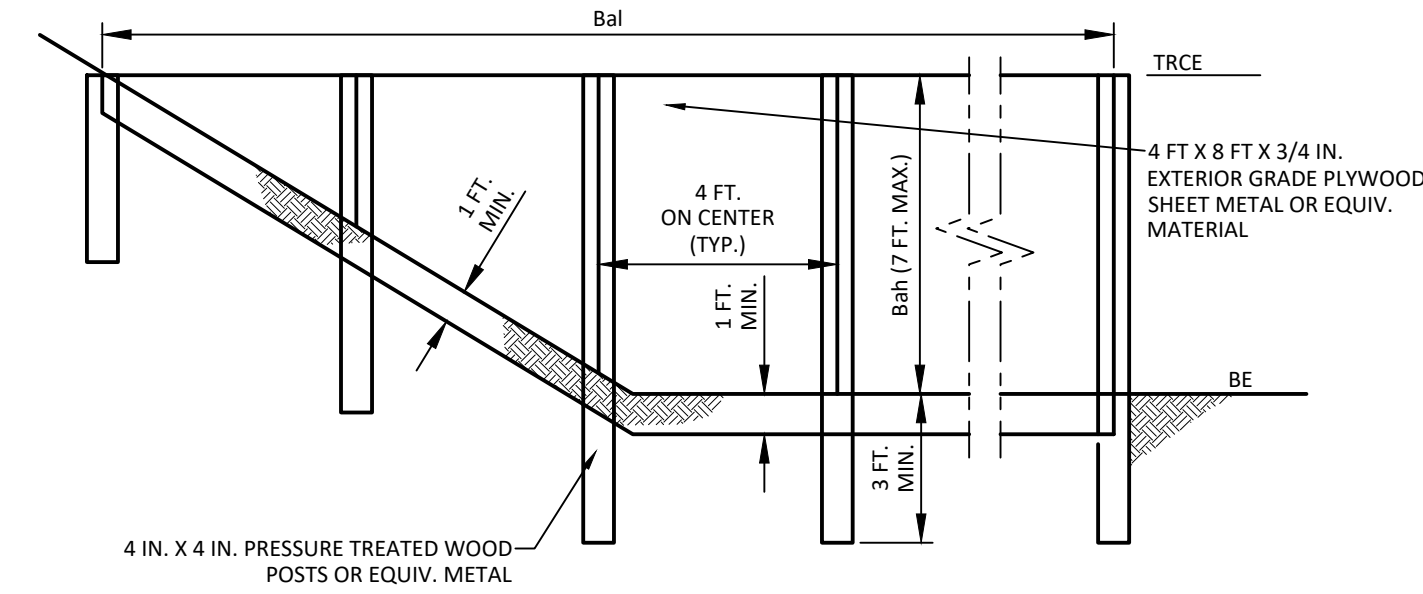
BASIN NO.	Z1 (FT)	Z2 (FT)	TEMP RISER EXT. ELEV. (FT)	EMBANKMENT				CLEAN OUT ELEV. CODE (FT)	BOTTOM ELEV. BE (FT)
				TOP ELEV. ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)		
1	3	3	n/a	479.00	8	EXIST.	EXIST.	474.00	473.00

SKIMMER			OUTLET BARREL			
DIA. Sad (IN)	LENGTH Sal (FT)	MAT'L	DIA. Bd (IN)	INLET ELEV. BIE (FT)	LENGTH BI (FT)	OUTLET ELEV. BOE (FT)
4.0	4.24	PVC	24	470.08	RCP	468.21

STANDARD CONSTRUCTION DETAIL #7-4 SEDIMENT BASIN EMBANKMENT & SPILLWAY WITH SKIMMER

NO SCALE

- NOTES:
- SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.
 - AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION, THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.
 - UPON COMPLETION, THE EMBANKMENT SHALL BE SEED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.
 - INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. PROVIDE ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.
 - BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE IMMEDIATELY. DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATER SHALL BE REPLACED IMMEDIATELY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSIDE THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. THE DEVICE SHOWN IN STANDARD CONSTRUCTION DETAIL #7-16 MAY BE USED TO DEWATER SATURATED SEDIMENT PRIOR TO ITS REMOVAL. ROCK FILTERS SHALL BE ADDED AS NECESSARY.

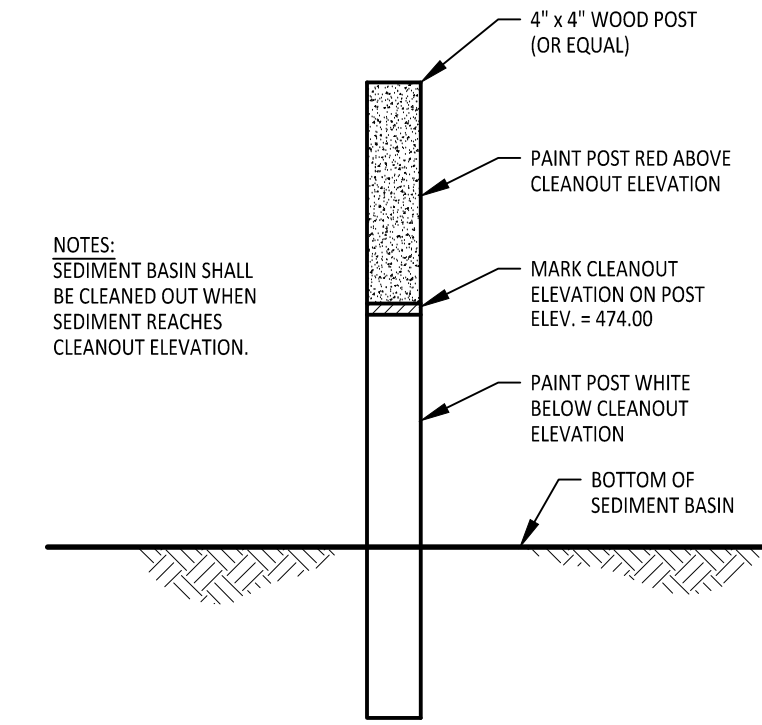


BASIN OR TRAP NO.	BAFFLE		TEMPORARY RISER CREST ELEV. TRICE (FT)	BOTTOM ELEV. BE (FT)
	LENGTH Bal (FT)	HEIGHT Bbh (FT)		
1	115	4.00	477.00	473.00

- NOTES:
- SEE APPROPRIATE BASIN DETAIL FOR PROPER LOCATION AND ORIENTATION.
- AN ACCEPTABLE ALTERNATIVE IS TO INSTALL A SUPER SILT FENCE AT THE BAFFLE LOCATION.
- IN POOLS WITH DEPTHS EXCEEDING 7', THE TOP OF THE PLYWOOD BAFFLE DOES NOT NEED TO EXTEND TO THE TEMPORARY RISER CREST. SUPER SILT FENCE BAFFLES NEED NOT EXTEND TO TRICE ELEVATION.
- BAFFLES SHALL BE TIED INTO ONE SIDE OF THE BASIN UNLESS OTHERWISE SHOWN ON THE PLAN DRAWINGS.
- SUBSTITUTION OF MATERIALS NOT SPECIFIED IN THIS DETAIL SHALL BE APPROVED BY THE DEPARTMENT OR THE LOCAL CONSERVATION DISTRICT BEFORE INSTALLATION.
- DAMAGED OR WARPED BAFFLES SHALL BE REPLACED WITHIN 7 DAYS OF INSPECTION.
- BAFFLES REQUIRING SUPPORT POSTS SHALL NOT BE INSTALLED IN BASINS REQUIRING IMPERVIOUS LINERS.

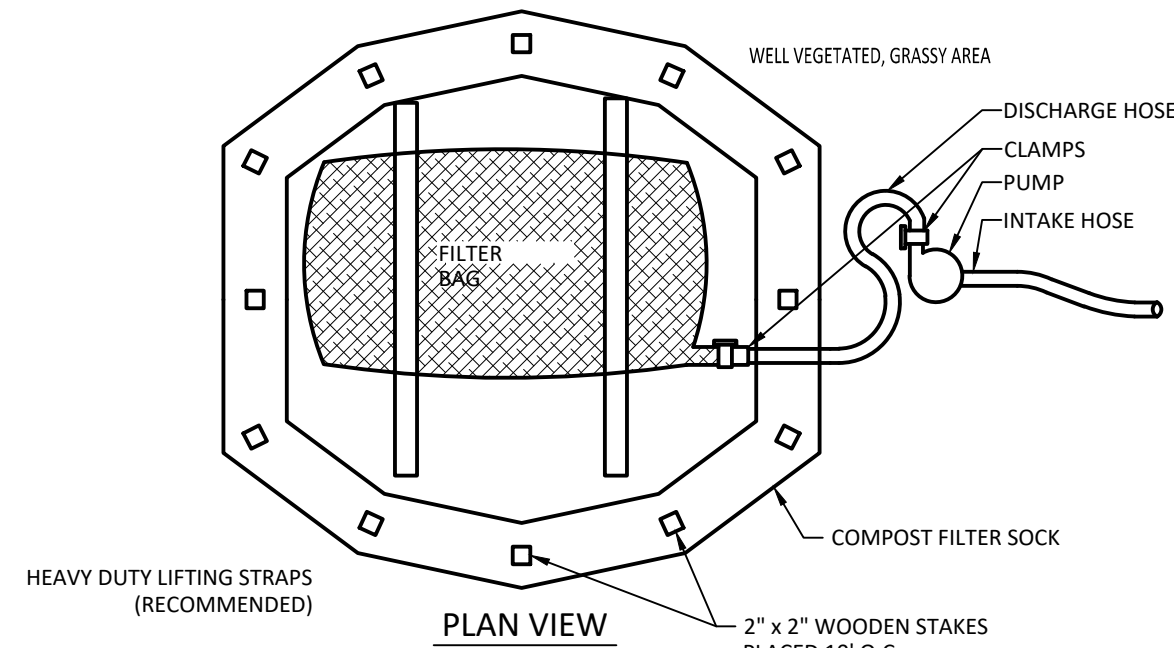
STANDARD CONSTRUCTION DETAIL #7-14 BAFFLE

NO SCALE



CLEANOUT MARKER

NO SCALE



- NOTES:
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIERS IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR BV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

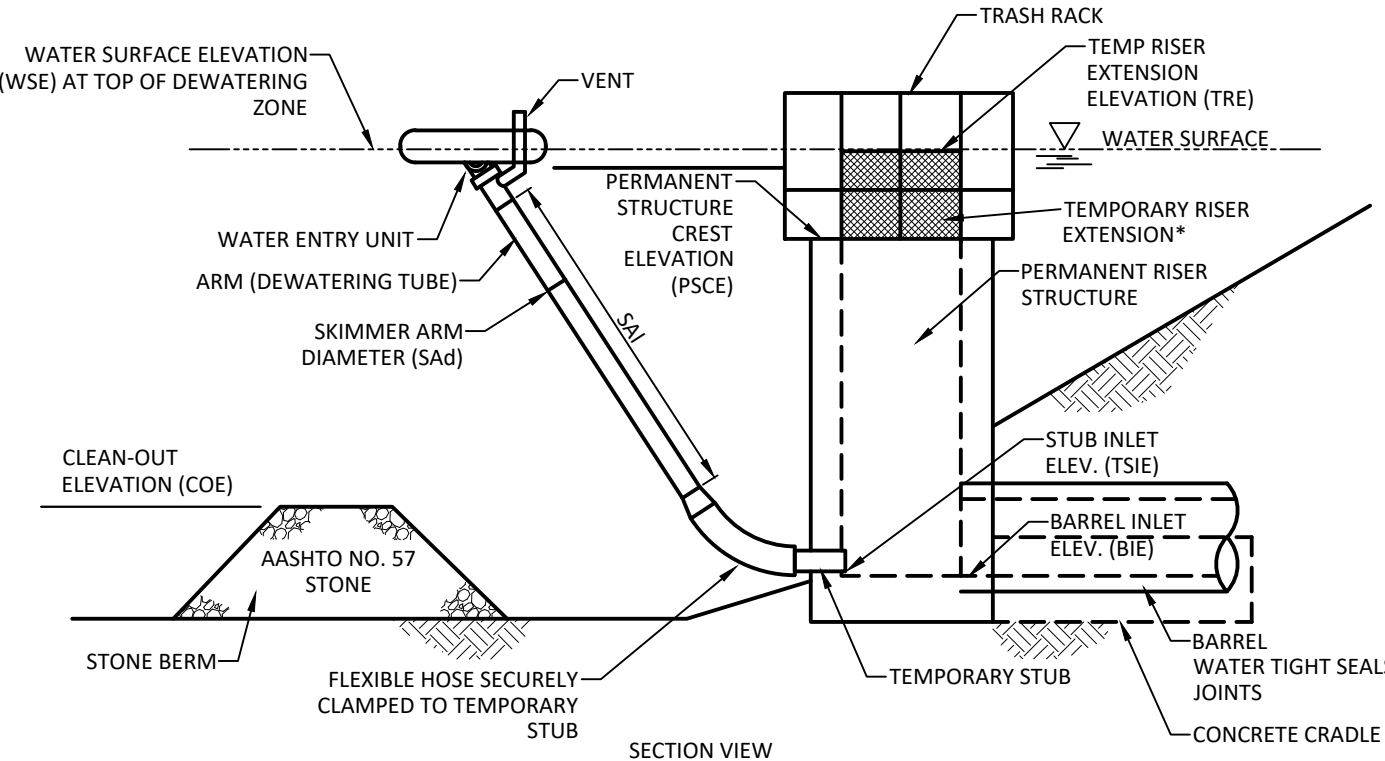
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL 3-16 PUMPED WATER FILTER BAG

NO SCALE



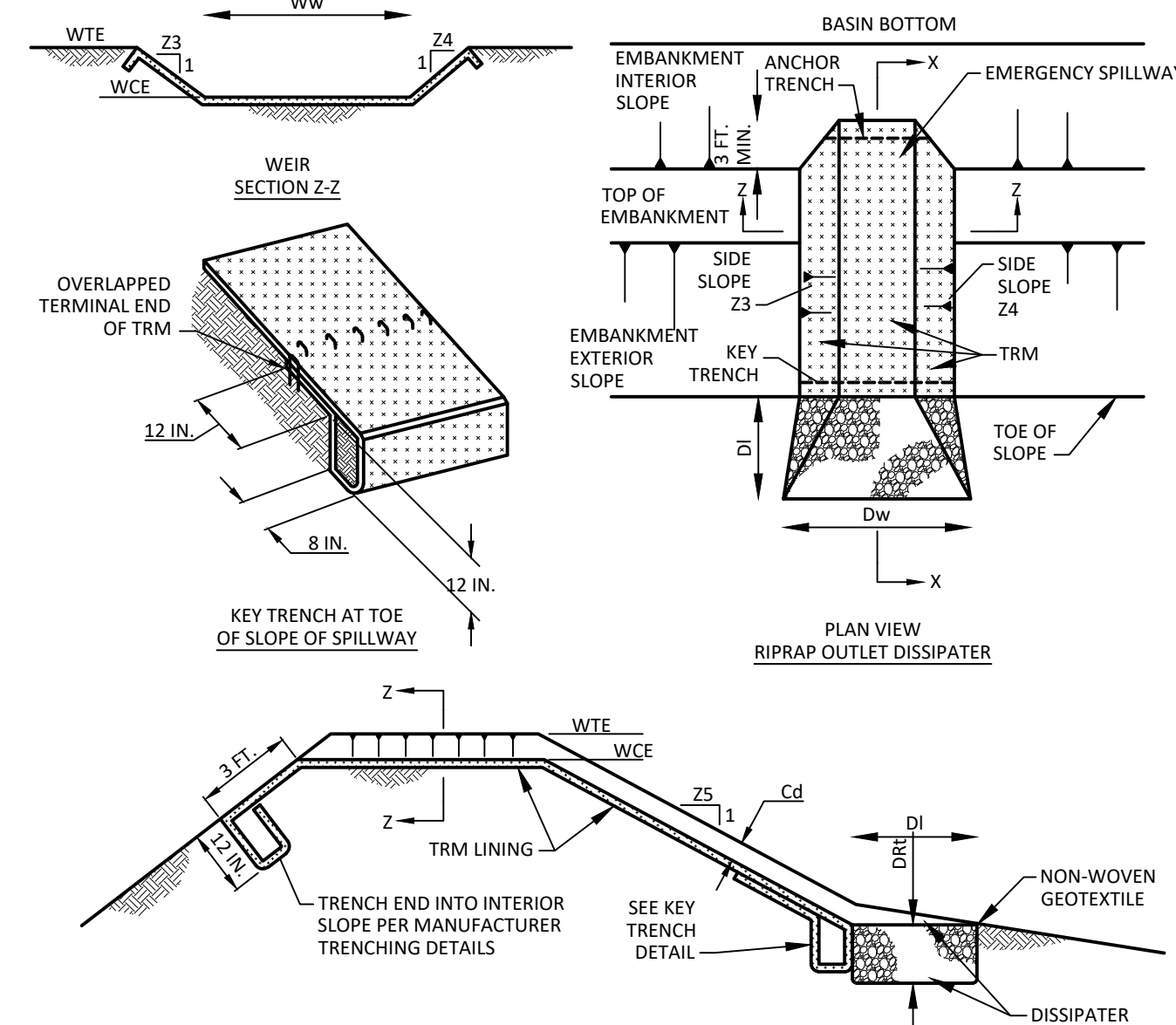
STANDARD CONSTRUCTION DETAIL 7-2 SKIMMER ATTACHED TO PERMANENT RISER

NO SCALE

BASIN NO.	WATER SURFACE ELEV. WSE (FT)	ORIFICE				SKIMMER		FLEXIBLE HOSE	
		DIA. (IN)	HEAD (FT)	DIA. SAL (IN)	LENGTH SAL (FT)	MAT'L	DIA. (IN)	LENGTH (IN)	MAT'L
1	477.00	4.24	4	2.1	4.24	PVC	4	24	FLEX

TEMPORARY STUB				PERMANENT RISER			RISER EXTENSION			BARREL INLET ELEV. BI (FT)
INSIDE DIA. (IN)	INVERT ELEV. TSIE (FT)	MAT'L	LENGTH (FT)	CREST ELEV. PSCF (FT)	HORIZ. OPENING LENGTH EI (FT)	WIDTH EW (FT)	CREST ELEV. TRE (FT)	HORIZ. OPENING LENGTH (FT)	WIDTH (FT)	
1	474.00	PVC	2	477.07	4	2	N/A	N/A	N/A	470.08

- NOTES:
- ALL ORIFICES ON PERMANENT RISER BELOW TEMPORARY RISER EXTENSION SHALL HAVE WATER-TIGHT TEMPORARY SEALS PROVIDED. TEMPORARY STUB INVERT ELEVATION SHALL BE SET AT OR BELOW SEDIMENT CLEAN-OUT ELEVATION.
 - A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.
 - SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.
 - SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE STONE BERM. SEE STANDARD CONSTRUCTION DETAIL #7-3 FOR CONFIGURATION OF STONE BERM.

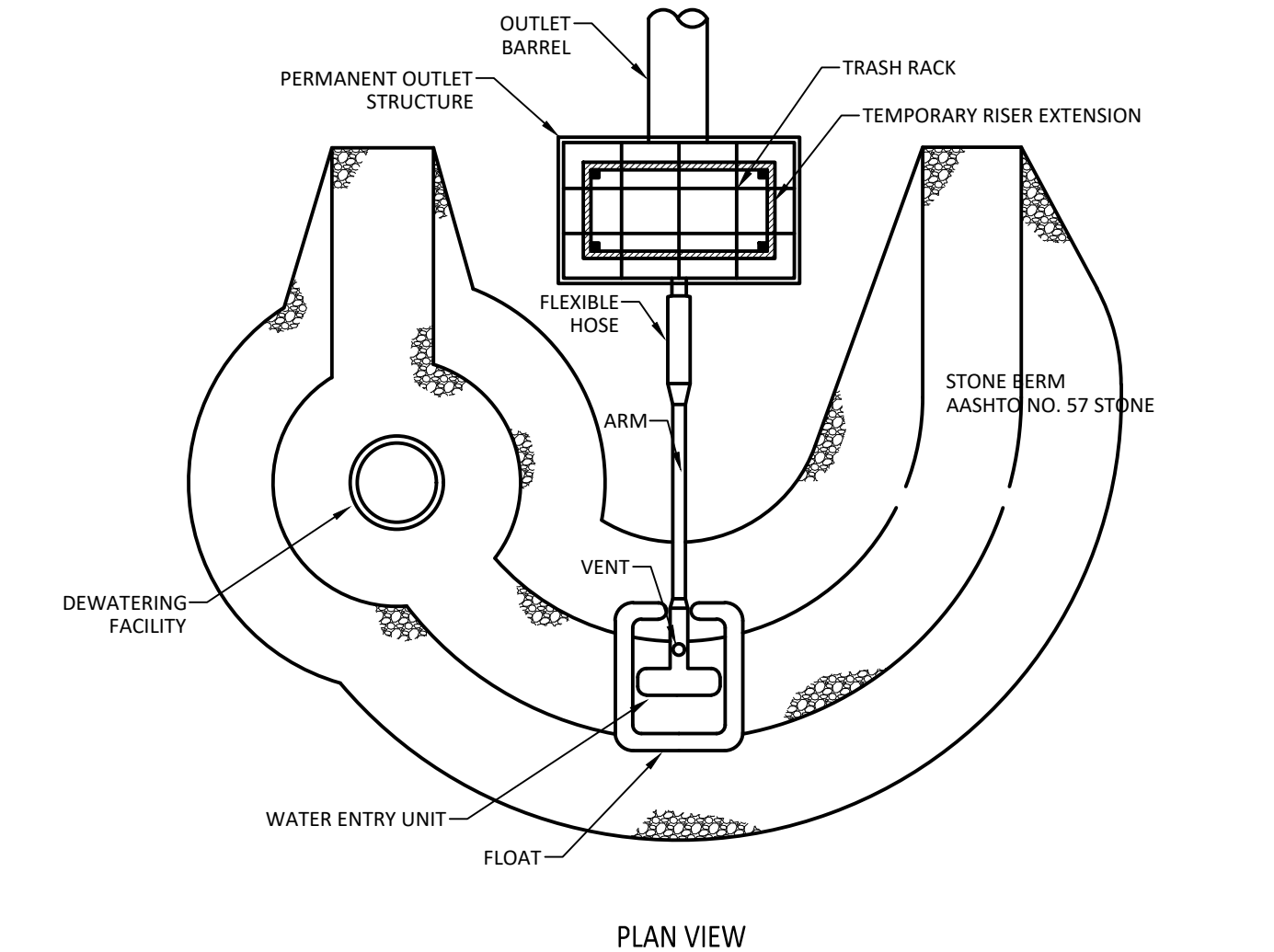


STANDARD CONSTRUCTION DETAIL 7-13 SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING DETAIL

NO SCALE

- NOTES:
- HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
 - DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.
 - RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.
 - THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

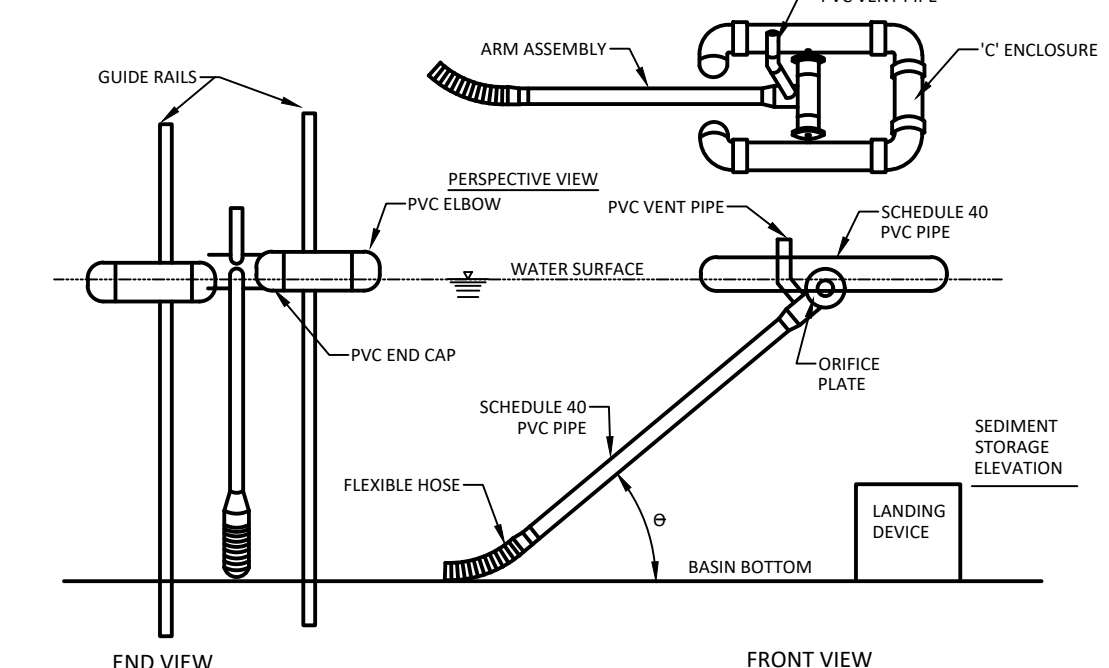
BASIN NO.	WEIR				LINING		CHANNEL		DISSIPATER				
	Z3 (FT)	Z4 (FT)	TOP ELEV. WTE (FT)	CREST ELEV. WCE (FT)	WIDTH Ww (FT)	TRM TYPE	STAPLE PTRN	Z5 (FT)	DEPTH Cd (FT)	LENGTH Dl (FT)	WIDTH Dm (FT)	RIPRAP SIZE (R-) (IN)	RIPRAP THICK. DRT (IN)
1	4	4	479.00	477.50	25	MAG P300	E	3	1	N/A	N/A	N/A	N/A



STANDARD CONSTRUCTION DETAIL 7-3 SKIMMER WITH STONE LANDING BERM

NO SCALE

- NOTES:
- NO GUIDE RAILS SHALL BE REQUIRED FOR THIS INSTALLATION.
- THIS DETAIL SHALL BE USED IN CONJUNCTION WITH STANDARD CONSTRUCTION DETAILS #7-2 AND #7-4.



BASIN NO.	WATER SURFACE ELEVATION (FT)	ARM LENGTH (FT)	ARM DIA. (IN)	ORIFICE DIA. (IN)	TOP OF LANDING DEVICE ELEVATION (FT)	FLEXIBLE HOSE LENGTH (IN)	FLEXIBLE HOSE ATTACHMENT ELEVATION (FT)
1	477.00	4.24	4.0	2.1	474.00	24	474.00

- NOTES:
- ORIFICE DIAMETER MUST BE EQUAL TO OR LESS THAN ARM DIAMETER.
 - A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.
 - SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.
 - ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.
 - SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE LANDING DEVICE.
 - A SEMI-CIRCULAR LANDING ZONE MAY BE SUBSTITUTED FOR THE GUIDE RAILS (STANDARD CONSTRUCTION DETAIL # 7-3).

STANDARD CONSTRUCTION DETAIL 7-1 SKIMMER

NO SCALE

NO.	DATE	REVISION
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
1	2/23/24	PER LCCD COMMENTS

MANAGER: DAVID BITNER, PE	CHD BY: DWB	DATE: 11/27/2023
DESIGN BY: DWB	CHD BY: DWB	TRIMBLE
DRAWN BY: DWB	CHD BY: DWB	
SURV. CHIEF: TRIMBLE	DATE: 11/27/2023	

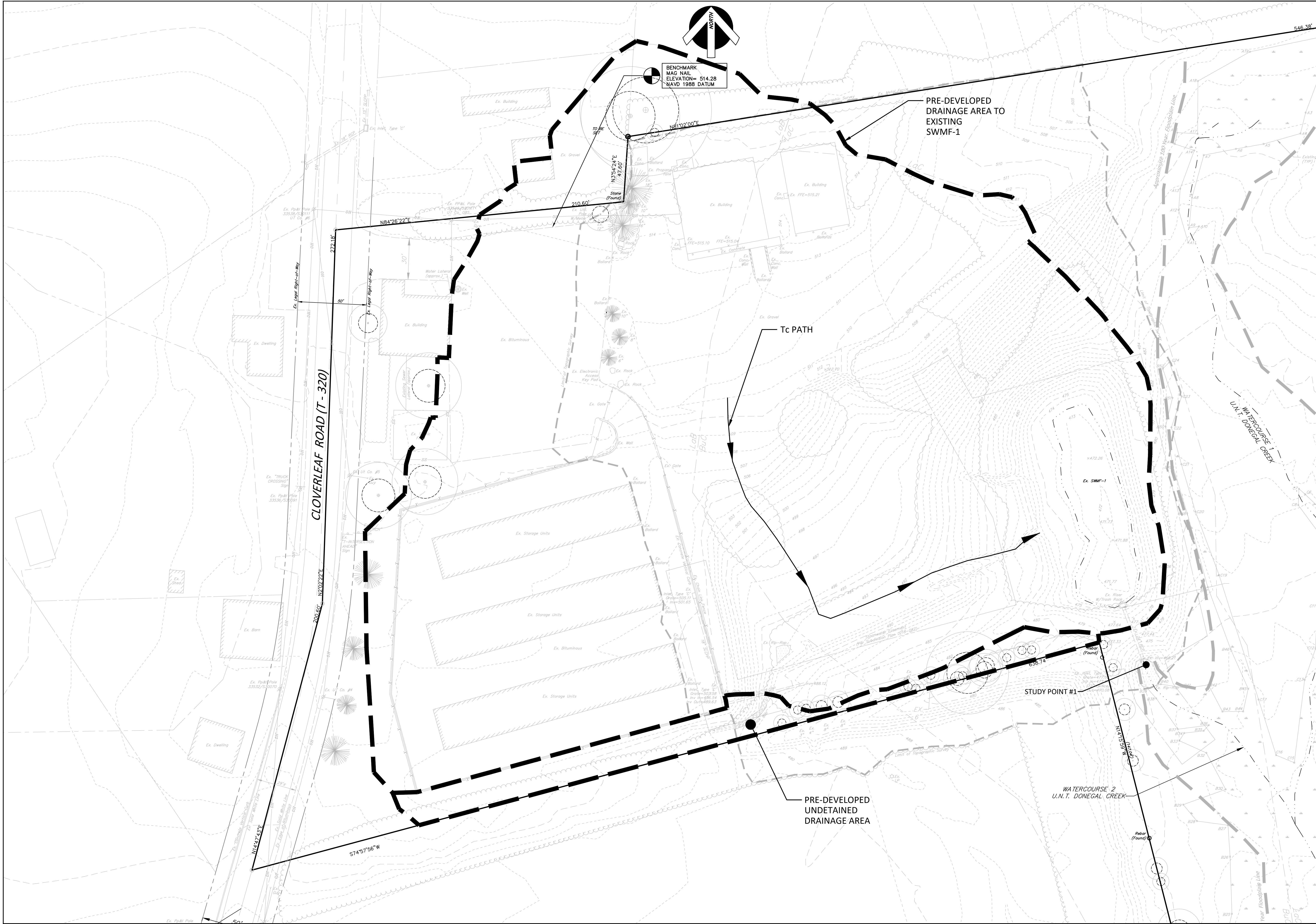
CLIENT: HEARTHIRE HOLDINGS
239 E. MARKET STREET, STE 102
WEST CHESTER, PA 19382
717-884-4687

SCALE: AS NOTED

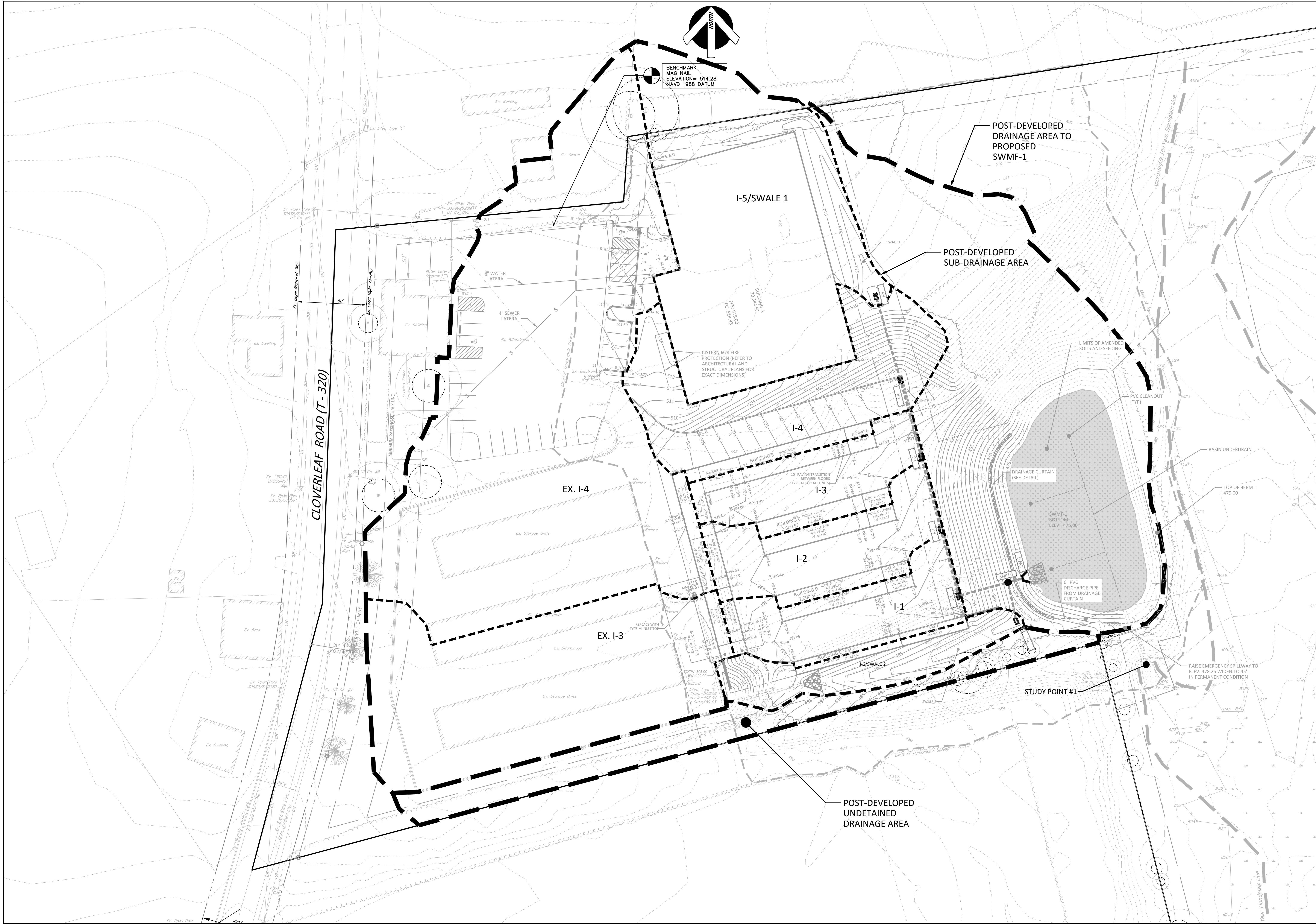
Bitner Engineering
711 Speedwell Forge Rd • Lititz, PA 17543
717.368.1169 • dave@bitnerengineering.com

TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE EROSION & SEDIMENT CONTROL DETAILS MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

SHEET NO. ES16 OF 20
JOB NO. 2023108-001



CLIENT HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687		MANAGER: DAVID BITNER, PE DESIGN BY: DWB DRAWN BY: DWB SURV. CHIEF: TRIMBLE	CHD BY: DWB CHD BY: DWB DATE: 11/27/2023									
TITLE FINAL PLAN FOR CLOVERLEAF SELF-STORAGE PRE-DEVELOPED DRAINAGE AREA MAP MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA		SCALE 1" = 30' 0' 15' 30' 60' 90'										
SHEET NO. DA17 OF 20 JOB NO. 2023108-001		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2/23/24</td> <td>PER LCCD COMMENTS</td> </tr> <tr> <td>2</td> <td>3/4/24</td> <td>PER TOWNSHIP ENGINEER COMMENTS</td> </tr> </tbody> </table>		NO.	DATE	REVISION	1	2/23/24	PER LCCD COMMENTS	2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
NO.	DATE	REVISION										
1	2/23/24	PER LCCD COMMENTS										
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS										



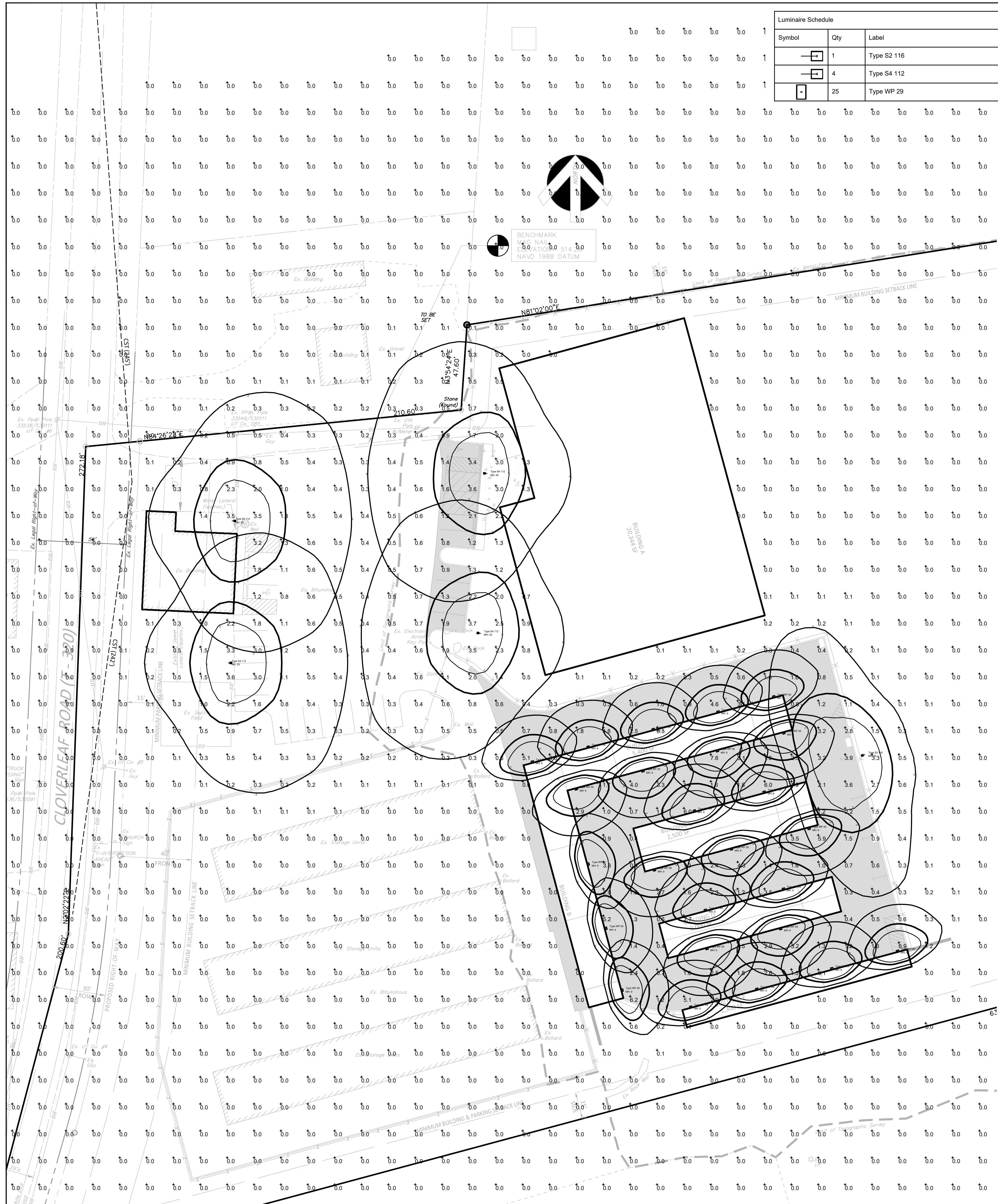
NO.	DATE	REVISION
2	3/4/24	PER TOWNSHIP ENGINEER COMMENTS
1	2/27/24	PER LCCD COMMENTS

MANAGER:	DAVID BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	DWB
SURV. CHIEF:	TRIMBLE
DATE:	11/27/2023

CLIENT:	HEARTHIRE HOLDINGS 239 E. MARKET STREET, STE 102 WEST CHESTER, PA 19382 717-884-4687
SCALE:	1" = 30'

Bitner Engineering
 711 Speedwell Forge Rd • Lititz, PA 17543
 717.368.1169 • dave@bitnerengineering.com

TITLE	FINAL PLAN FOR CLOVERLEAF SELF-STORAGE POST-SUB DRAINAGE AREA MAP
PROJECT	POST-SUB DRAINAGE AREA MAP
LOCATION	MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA
SHEET NO.	DA19 OF 20
JOB NO.	2023108-001



Luminaire Schedule									
Symbol	Qty	Label	[MANUFAC]	Description	Arrangement	LLD	LDD	LLF	BUG Rating
[Symbol]	1	Type S2 116	Leotek Electronics USA LLC	AR13-48N-MV-WW-2-BK-150-PCR7-CR/RWL-S/RME-XBP	SINGLE	0.900	0.800	0.720	B3-U0-G2
[Symbol]	4	Type S4 112	Leotek Electronics USA LLC	AR13-48N-MV-WW-4-BK-150-PCR7-CR/RWL-S/RME-XBP	SINGLE	0.900	0.800	0.720	B3-U0-G3
[Symbol]	25	Type WP 29	LEOTEK ELECTRONICS USA LLC	ES1-24H-MV-WW-W-BK-350	SINGLE	0.900	0.800	0.720	B1-U0-G1

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	LVRatio	Grid Z
Parking Area	Illuminance	Fc	0.92	4.2	0.3	3.07	14.00	N.A.	0
Proposed Storage Paved Areas	Illuminance	Fc	2.31	9.5	0.3	7.70	31.67	N.A.	0

THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS.

ANY SUBSTITUTION REQUESTS MUST BE SUBMITTED 15 DAYS PRIOR TO THE BID AND MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURES IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN.

ALL EXTERIOR LIGHTING PLANS SHALL BE SUBMITTED 15 DAYS PRIOR TO THE BID TO THE LOCAL LIGHTING AUTHORITY TO DETERMINE IF ALL OF THE LOCAL LIGHTING REQUIREMENTS HAVE BEEN MET.

- INSTALLATION NOTES:
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UNDERGROUND STRUCTURES AND UTILITIES, SUCH AS WATER MAINS, SANITARY AND STORM SEWERS, TELEPHONE AND ELECTRIC CONDUITS, AND GAS LINES, ETC. AND ABOVE GROUND UTILITIES WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
 - 2) DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL ELEVATIONS, INVERTS, AND DIMENSIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK.
 - 3) THE PENNSYLVANIA ONE CALL NUMBER IS 1-800-242-1776. THE CONTRACTOR IS REQUIRED TO SUBMIT VERIFICATION TO THE MUNICIPALITY THAT A ONE-CALL HAS BEEN PLACED PRIOR TO THE START OF DEMOLITION WORK.
 - 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE MUNICIPALITY RELATIVE TO THE PROPOSED PROJECT.
 - 5) THE CONTRACTOR SHALL REPAIR ALL UTILITY TRENCHING WORK LOCATED WITHIN EXISTING PAVED STREETS.
 - 6) THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.
 - 7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL.
 - 8) THE CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING, GATES, COVERED PEDESTRIAN WALKWAYS, TRAFFIC BARRIERS, AND SIGNAGE AT THE COMPLETION OF THE PROJECT. ALL AREAS DISTURBED AS A RESULT OF THE INSTALLATION OF THESE TEMPORARY CONTROLS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - 9) THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF SHOWN IN THE LUMINAIRE SCHEDULE.
 - 10) THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED.
 - 11) ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
 - 12) THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

CALCULATION NOTES:
THE LIGHT LOSS FACTOR IS A PRODUCT OF MANY VARIABLES. IT IS UP TO THE FINAL REVIEWING AGENCY TO DETERMINE THE APPROPRIATE LIGHT LOSS FACTOR.

ILLUMINATION VALUES SHOWN (IN FOOTCANDELS) ARE THE PREDICTED RESULTS FOR PLANES OF THE CALCULATION EITHER HORIZONTAL, VERTICAL, OR INCLINED AS DESIGNATED IN THE CALCULATION SUMMARY.

POLE NOTES: 25' SQUARE STRAIGHT STEEL POLES SHALL BE SUPPLIED BY ENERGY LIGHT, INC. (FINISH COLOR TO BE BLACK)

LIGHTING CONTROLS AND SURGE PROTECTION: ALL NEW AR13 FIXTURES ARE TO BE EQUIPPED WITH DIMONOFF RME-XBP PHOTOCELLS AND ABLE POWER PRODUCTS RWL-S SURGE DEVICE. FIXTURES MUST BE EQUIPPED WITH ALL-MODE PROTECTION (L-N, L-G, N-G). SURGE PROTECTION INTEGRAL TO THE PHOTOCONTROL SHOULD HAVE 3 MODES OF PROTECTION, LINE-TO-NEUTRAL, LINE-TO-GROUND AND NEUTRAL-TO-GROUND. THE MINIMUM SURGE PROTECTION SPECIFICATIONS SHOULD BE 10KA IN, 25KA IMAX AND 20KV UOC.

SET ONE SMART PHOTOCELL TO CONTROL ALL AR13 SITE LIGHTING FIXTURES (DIMONOFF #RME-XBP).

FOR PRICING AND COMMISSIONING, PLEASE CONTACT INDEPENDENCE LIGHTING:
INDEPENDENCE LIGHTING
KENT LAZOR
PHONE: 610-363-5271
EMAIL: KLAZOR@COMCAST.NET

NO.	DATE	REVISION
1	11/27/2023	PER TOWNSHIP ENGINEER COMMENTS
2	3/4/24	PER LICD COMMENTS

MANAGER: DAVID BITNER, PE	CHD BY: DWB
DESIGN BY: DWB	CHD BY: DWB
DRAWN BY: DWB	DATE: 11/27/2023
SURV. CHIEF: TRIMBLE	

CLIENT: HEARTHIRE HOLDINGS
239 E. MARKET STREET, STE 102
WEST CHESTER, PA 19382
717-884-4687

SCALE: 1"=30'

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TITLE: FINAL PLAN FOR CLOVERLEAF SELF-STORAGE LIGHTING PLAN
MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA

SHEET NO. LP20 OF 20
JOB NO. 2023108-001

March 21, 2024

Justin Evans
Township Community Development Director/Zoning Officer
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: Justin@mtjoytp.org

Re: Cloverleaf Self-Storage
Preliminary/Final Land Development Plan
Township Permit No. 23-12-FLDP
LCEC Project No: 25-162



LANCASTER CIVIL
★ ★ *engineering company* ★ ★
p.o. box 8972, lancaster, pa 17604-8972
www.lancastercivil.com

Dear Mr. Evans,

We have received a land development plan submission from Bitner Engineering for the above-referenced project. The submission consisted of the following documents:

- Comment response letter dated March 4, 2024
- Modification/waiver request letter revised March 4, 2024
- Proposal for Traffic Engineering Services dated January 29, 2024
- Traffic Impact Fee Analysis dated January 29, 2024
- Preliminary/Final Land Development Plan revised March 4, 2024
- Stormwater Management Report dated March 4, 2024
- Wetland Investigation dated February 26, 2024
- Probable Construction Cost Opinion dated March 4, 2024
- Probable Construction Cost Opinion (Fee-in-lieu- Frontage Improvements) dated March 4, 2024
- Water/Sewer Feasibility Narrative dated March 4, 2024
- Geotechnical Engineering Report revised September 30, 2022

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. At a Zoning Hearing Board meeting on July 5, 2023, the Board granted the following:
 - a. Special Exception per Section 135-163.D to modify the prior special exception approvals to develop a miniwarehouse facility.
 - b. Variance from Section 135-245.F to exceed the maximum building area.
 - c. Variance from Section 135-165.(A)(1) to permit a building less than the minimum building height.
2. The rear yard setback for off-street parking, outdoor storage areas, and loading areas shown in the Zoning/Site Data table shall be corrected (135-165.E(3)).
3. The maximum luminaire mounting height shall be 15 feet (135-298.C(4)(b)).

4. The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the riparian corridor, in a form acceptable to the Township Solicitor (135-306.F).
5. The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the wetland area, in a form acceptable to the Township Solicitor (135-307.E).

Subdivision and Land Development Ordinance

6. A preliminary plan is required (119-25). The applicant has requested a modification of this requirement.

Modification response: The applicant proposes to process this as a preliminary/final plan which includes both preliminary and final plan requirements. This project is not phased and construction of public improvements is not scheduled to begin prior to plan recordation, therefore I have no objection to this modification.

7. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
8. The address of the owner of the subtract tract shown on the Cover Sheet is inconsistent with the address of the owner shown in County records (119-31.B(3)).
9. The Previous Plan Approvals certificate shall include a statement that such list is complete and correct (119-31.B(14) & 119-51.C).
10. Existing features within 200 feet of the subject tract shall be shown on the plans (119-31.C(3) & 113-43.I(5)). The applicant has requested a modification of this requirement.

Modification response: The existing features within 200 feet of the subject tract are shown except for the northern and southern regions of the eastern portion of the subject tract. There are no proposed improvements in these areas and no offsite impacts from this development are expected in these areas. Based on these considerations, I have no objections to a modification of this requirement.

11. The unit of occupancy (1 unit) shown on the Cover Sheet shall be corrected to reflect the two (2) units shown on the plan (the existing office plus the miniwarehouses). The density shown in the Zoning/Site Data table shall be shown as units / acre (119-31.D(3)).
12. The line types of the "Existing Lot Pins" and "Existing Lot Pin To Be Set" in the legend on Sheet 3 of the plans are inconsistent with some of the line types for the corners shown on Sheet 3 of the plans. The name of the "Existing Lot Pin To Be Set" label in the legend of Sheet 3 shall be corrected (i.e. existing pins cannot be set) (119-31.D(14)). The applicant shall confirm whether an existing lot marker is located on the southern property line (near the existing rip-rap apron).
13. The water and sewer feasibility report shall include the nature of the proposed use, the proposed number of employees and whether water will be used for cleanup and/or processing in connection with the use (119-32.A(9)).
14. A traffic impact study is required since the development is a nonresidential development with a building in excess of 1,000 square feet of usable space. The developer intends to make a contribution in lieu of traffic study (119-32.C(2) & 119-32.C(6)). The applicant has requested a modification of the requirement to make a contribution in lieu of traffic study.

Modification response: The applicant is requesting that a contribution in lieu of a traffic study be provided. Per Section 119-32.C(6), the estimated contribution shall be \$1.50 per square foot of usable building floor area. The applicant has provided a January 29, 2024 proposal from

Transportation Resource Group, Inc. for a Traffic Impact Study and has requested the total cost of \$9,000.00 listed on the proposal be considered the contribution in lieu of a traffic study. I have no objections to using the proposal as the contribution in lieu of a traffic study provided the proposal includes costs for the following requirements:

- a. The contribution is in addition to all other review fees.
 - b. All contributions shall be paid prior to recording of the final plan.
 - c. The waiver request letter be updated to reflect the total cost of \$9,000.00 from TRG's TIS proposal.
15. All certificates shall be executed prior to final plan approval (119-35.E).
 16. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
 17. Written notices from the emergency service providers that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)).
 18. Legal descriptions for easements to be dedicated to the Township shall be provided (119-35.E(4)(a)).
 19. Legal descriptions for the right-of-way proposed for dedication to Mount Joy Township shall be provided (119-35.E(4)(b)).
 20. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
 21. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
 22. A construction cost estimate and financial security shall be provided (119-41 & 113-60). The Probable Construction Cost Opinion shall include the topsoil stockpile, bulk grading, finish grading, replacement Type "M" inlet top, 6" PVC discharge pipe, ERNMX-262 seed mix, lot markers, parking lot pavement, retaining wall, endwall/trash rack for the existing 18" SLCPP pipe, and pavement removal. The quantities for the drainage swale and cleanouts should be corrected. The total cost for the concrete wheel stops should be corrected.
 23. The frontage along Cloverleaf Road (a collector street) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Improvements shall include pavement widening. The required cartway width for a collector street outside of the urban growth area is 32 feet (i.e. 22 feet with 5-foot paved shoulders) (119-52.J(3)(a) & (d)). The applicant has proposed a fee-in-lieu of construction improvements. The developer shall deposit funds with the Township in the amount of \$6,853.55 shown on the Probable Construction Cost Opinion dated March 4, 2024.
 24. Deeds to lots which contain clear sight triangles shall provide the same restrictions within General Note #15 on Sheet 2 (119-52.L).
 25. General Note #8 shall be included in all deeds for lots which contain an easement (119-56.B).
 26. Requirements for the drainage easements shall be included in the new deed (119-56.E).
 27. Lot line markers shall be set at all angles in property lines (119-57.D).

28. Plant Guarantee Note #1 shall include the following: "No more than 1/3 of the tree or shrub shall be damaged or dead without replacement. Replacement plants shall conform to all requirements of this section and shall be maintained after replanting for an additional 18 months" (119-59.C).
29. A replacement location for the on-lot sewage system shall be provided (if the Township determines connection to the public sewer is not required) (119-60.C(2)).
30. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

Stormwater Management Ordinance

31. Evidence of NPDES and E&S permit approval by the Lancaster County Conservation District shall be provided (113-31.D, 113-45.B & 113-45.C).
32. The plans shall incorporate the construction recommendation of a "minimum buffer (2 feet in infiltration facilities, and 1 foot in water quality facilities) above limiting zones" described on page 11 of the updated geotechnical engineering report (113-31.L(1)). The revised September 30, 2022 geotechnical engineering report shall be referenced in the Geotechnical Notes on Sheet 2 of the plans.
33. The area of the limit of disturbance shown on the plans (2.72 ac) is inconsistent with the area of the "Total Earth Disturbance" shown in the General Information and Volume Management worksheets (2.79 ac) (113-32).
34. The incremental & storage volumes shown in the Facility Surface Dewatering Computation SWMF-1 worksheet for elevations 476.00 and 477.00 are inconsistent with the Cumul. Volume shown in the Facility Surface Dewatering Computation worksheet (including the amended soils volume). The dewatering times shown in the SWMF-1 and MRC-Dewatering Facility Surface Dewatering Computation worksheets in the PCSM Report are inconsistent (113-32.D).
35. Minimum floor elevations for all structures that would be affected by open conveyance systems where ponding may occur shall be two feet above the one-hundred-year water surface elevation (113-34.F). Currently, there is only 1.08 feet between the 100-year storm ponding depth of Inlet I-1 and the first floor elevation of Building 'E'.
36. The locations of the proposed Endwall Trash Racks shall be shown on the plans (i.e. provide for the existing endwall) (113-37.C(9)(a)).
37. The landowner shall execute the final documents prior to final plan approval (113-41.B).
38. All existing manmade features within 200 feet of the development site boundary shall be shown (113-43.I(5)). The applicant has requested a modification of this requirement.
Modification response: The existing features within 200 feet of the subject tract are shown except for the northern and southern regions of the eastern portion of the subject tract. There are no proposed improvements in these areas and no offsite impacts from this development are expected in these areas. Based on these considerations, I have no objections to a waiver of this requirement.
39. The diameter of Orifice [C] and the crest elevation of Weir [A] shown in Pond Report No. 3 are inconsistent with the diameter of the orifice and crest elevation of the outlet structure shown in the Stormwater Management Facility 1 (Extended Detention) Detail (113-43.J(5)).
40. The crest length of Weir [B] shown in Pond Report No. 3 is inconsistent with the length of the spillway shown in the Emergency Spillway Detail (113-43.J(5)).
41. The "six" inch dimension shown in the Underdrain Detail shall be revised (113-43.J(5)).

42. The proposed outlet structure for SWMF-1 shall be shown on Sheet 6 of the plans (113-43.J(5)).
43. An operation and maintenance (O&M) agreement shall be provided (113-62).

Traffic

44. The proposed development is located within the Transportation Service Area established for the Mount Joy Township Traffic Impact Fee Ordinance. However, trip generation reports have been submitted to confirm that the proposed development will result in no more than five (5) P.M. peak hour trips; therefore, this development is a de minimus application and is exempt from the impact fee.

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,



Benjamin S. Craddock, PE, President

LANCASTER CIVIL

cc: Patricia Bailey, Township Secretary (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Dave Bitner, PE, Bitner Engineering (via email)
Len Spencer, Township SEO (via email)
Del Becker, PE, EAWA (via email)
Nick Viscome, ERSA (via email)
Adam Minichelli, PE, CDM Smith (via email)
Renee Addleman, Planner, LCPC (via email)

**PROPOSED MOTION FOR THE FINAL LAND DEVELOPMENT PLAN
FOR CLOVERLEAF SELF-STORAGE
M.J.T.P.C. File # 23-12-FLDP**

I move that the Township Planning Commission grant waivers of Chapter 119 of the Code of Ordinances of the Township of Mount Joy, i.e. the Mount Joy Township Subdivision and Land Development Ordinance as follows:

- a) §119-31.C(3) – Existing features within 200’ of the site
- b) §119-56.E – Minimum easement width
- c) §113-43.I(5) – Existing features within 200’ of the site

And having granted such waivers, grant approval of the Final Land Development Plan for Cloverleaf Self-Storage (the “Plan”) prepared by Bitner Engineering, Drawing No. 2023108-001, dated November 27, 2023, subject to the following conditions:

1. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Engineer’s review letter dated March 21, 2024.
2. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Solicitor’s review letter dated December 3, 2023.
3. Applicant shall address and comply with all conditions contained in the Mount Joy Township Zoning Hearing Board (MJTZHB) decision dated July 12, 2023.
4. Applicant shall submit a fully executed Storm Water Management Agreement and Declaration of Easement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
5. Applicant shall submit a fully executed Grant of Conservation Easement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
6. Applicant shall submit a fully executed Agreement Providing for Grant of Public Right-of-Way, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
7. Applicant shall pay Mount Joy Township a fee-in-lieu of having to prepare and submit a traffic impact study in the total dollar amount of \$5,500.00. Said payment shall occur prior to the release of the final plan for recording.
8. Applicant shall provide a fee-in-lieu of constructing road frontage improvements along Cloverleaf Road in the amount of \$6,853.55. An executed agreement or similar instrument shall accompany the fee in a form acceptable to the Township Solicitor, if required.
9. Applicant shall submit a fully executed Land Development Agreement, which shall be acceptable to the Township Solicitor. Said Agreement shall be submitted and approved prior to the release of the final plan for recording.

[3/21/2024]

10. Applicant shall submit financial security to guarantee the proper installation of all improvements associated with this land development project prior to the release of the final plan for recording and shall be in a form acceptable to the Township Solicitor. The amount of said financial security shall be in the amount consistent with the construction cost opinion approved by the Township Engineer.
11. Applicant shall apply for and obtain all necessary permits prior to commencing any construction activities.
12. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.

**ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A
FINAL LAND DEVELOPMENT PLAN
IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP
FOR**

**CLOVERLEAF SELF-STORAGE
M.J.T.P.C. File # 23-12-FLDP**

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on March 25, 2024, upon the approval of the Final Land Development Plan for Cloverleaf Self-Storage (the "Plan") prepared by Bitner Engineering, Drawing No. 2023108-001, dated November 27, 2023. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer's agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date: _____

Signature

Printed Name

Title